



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ AGENDA ~

Robert B. Weir,
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, March 11, 2013

7:00 PM

Council Chambers

1. Call to Order

2. Announcements

3. Citizens Time

4. Minutes Approval

- a. Planning Commission - Regular Meeting - Feb 11, 2013 7:00 PM

5. Certificate of Appropriateness/Construction Permits/Zoning Permit Application

6. ARB and Council Update

7. New Business

- a. Capital Improvements Plan 2014

8. Town Planner Report

9. Old Business

- a. Haymarket Baptist Church Final Site Plan
- b. Haymarket Baptist Church - Rezoning
- c. CLG - Historic Overlay
- d. Comp Plan/ZTA's
- e. 15161 Washington Street - Uhaul Business

10. Discussion Items

11. Adjournment

- a. 1 Mile Development



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Robert B. Weir,
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, February 11, 2013

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Board Room, Commencing at 7:00 PM

called the meeting to order.

1. Call to Order

Chair Robert Weir: Present, Councilwoman Rebecca Bare: Present, Ed Robinson: Present, Commissioner Ralph Ring: Present, Commissioner Christopher Johnson: Present.

2. Public Hearing - Funeral Home ZTA

a. This Public Hearing was left open from the January 14, 2013 Planning Commission Meeting. Funeral home in B1 open to public. No one spoke.

Close PH.

RESULT:	CLOSED [UNANIMOUS]
MOVER:	Robert Weir, Chair
SECONDER:	Rebecca Bare, Councilwoman
AYES:	Weir, Bare, Robinson, Ring, Johnson

3. Announcements

Item on by Town Council. Deliver preliminary sense of any thoughts on reducing the Historic District. Will be discussed on item 10 (d).

4. Citizens Time

No citizens spoke.

5. Minutes Approval

a. Planning Commission - Regular Meeting - Jan 14, 2013 7:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Rebecca Bare, Councilwoman
SECONDER:	Ralph Ring, Commissioner
AYES:	Weir, Bare, Robinson, Ring, Johnson

6. Certificate of Appropriateness/Construction Permits/Zoning Permit Application

a. 6590 Jefferson Street - New Business

In accordance with Town Code section 58-177 (17) (18) (19)
Are there any hazardous materials involved?
Applicant here. No. All green. No haz mat conditions.

Minutes Acceptance: Minutes of Feb 11, 2013 7:00 PM (Minutes Approval)

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rebecca Bare, Councilwoman
SECONDER: Ed Robinson
AYES: Weir, Bare, Robinson, Ring, Johnson

b. 6601 Jefferson Street - New Business

58-177 (17)

Are there any hazmat chemicals? Would be up to the building inspector to enforce if there was.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rebecca Bare, Councilwoman
SECONDER: Ralph Ring, Commissioner
AYES: Weir, Bare, Robinson, Ring, Johnson

c. 14711 Alexandras Keep Lane - Deck

In accordance with town code section 58-15 (b)

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rebecca Bare, Councilwoman
SECONDER: Ralph Ring, Commissioner
AYES: Weir, Bare, Robinson, Ring, Johnson

d. 15009 Gossom Manor Place - Deck

In accordance with town code section 58-15 (b)

RESULT: ADOPTED [UNANIMOUS]
MOVER: Ralph Ring, Commissioner
SECONDER: Rebecca Bare, Councilwoman
AYES: Weir, Bare, Robinson, Ring, Johnson

7. ARB and Council Update

Ring. No ARB update. Was absent last month at the meeting.

Bare: Council tasked PC with coming up map for Historic District. Will be discussed later.

8. New Business

a. Haymarket Baptist Church - Rezoning

Marchant Schneider will do a quick presentation of the application.

Talk to clerk about advertising lead time between now and March 4.

Clerk gave notice. May recommend Joint PH.

Weir move to direct staff to advertise a Zoning map amendment 7397-09-2472, 14820 Washington Street.

And a Joint Public Hearing for modifications and waiver 58-702, 703 b, c and d. Joint hearing to be held with Town Council on March 4.

Johnson seconds.

Ring: yes, Bare Yes, Weir yes, Robinson yes, Johnson yes.

b. Haymarket Baptist Church - Final Site Plan

9. Town Planner Report

John Marshall commons rezoning east of town. That has not moved forward so no update.

Came in with Midwood development. Flex industrial office use. Submitted comp plan amendment to switch from

commercial planned to residential. Age restricted housing. In March the PWC BOS will decide to initiate it. Applicants met with Mayor and Marchant.

Weir takes issue with the development competing with the town. Will be interesting to watch.

Heathcote development, North of town. Replace abandoned houses. Going to PH soon.

A possible request to look at old garage on Jordan lane. R1. Interest to see if town is willing to look at replanning that lot for commercial.

Sheetz still in conversation with ARB. Will come in with site plan.
McDonalds also in conversation with ARB.

Self storage presentation later.

No movement on Fire House. No feedback from County. Hired a realtor.

PACE west, not heard anything.

10. Old Business

a. 15161 Washington Street - Uhaul Business

Continue tabled larger issue site plan for entire site

RESULT:	TABLED [UNANIMOUS]
MOVER:	Robert Weir, Chair
SECONDER:	Rebecca Bare, Councilwoman
AYES:	Weir, Bare, Robinson, Ring, Johnson

b. Funeral Home - Zoning Text Amendment

Public Hearing held last month. Was continued to this meeting.
Amended application to exclude crematory. Other SUP in B1 zoning.
There is a time line to make a recommendation. Needs to be made this evening.

COMMENTS:

Ring: no comment

Bare: As originally stated makes more sense in the B2 zone than the B1. There are issues in B1.

Ed: Heard from public last month. They weren't real excited about this. Does know there is a need for this service, just not in that area.

Chris: Concurs with Ed. Would like to abstain from discussion.

Weir: Shares everyone concerns. Traffic, parking. Looked at map. What's available in the B1. Literally half if not more backs to someone's back yard. Few residents came in at last months Public Hearing and addressed concerns with traffic and parking. Asking if that use in that location comports with town plan, and the vision for a walking town.

Weir calls for a 10 minute recess.

Weir calls the meeting back to order.

Goes on to say he had gone to a funeral last Friday in Winchester. There were very similar circumstances to this. There was a Church to the right. Business section to the left and residential to the back. Parking lot was full. The church was full. Residential neighborhood stacked with cars. He cannot support in B1 either. Can't justify use. Type of use.

FIRST MOTION:

Ring motions:

Whereas the Planning Commission has held a public hearing regarding an application for a Zoning Text Amendment to allow for Mortuary and Funeral Home Uses in the B-1 Zoning District, and

Whereas the Planning Commission must consider whether the Amendment furthers the public necessity, convenience, general welfare and good zoning practice, and

Whereas the Planning Commission must consider whether the Amendment is consistent with the Town's Comprehensive Plan, and

Whereas the Planning Commission must consider the impact of the Amendment on the services, character and needs of the community, and

Whereas the Planning Commission has determined that the Amendment is not consistent with the existing uses and character of the B-1 Zoning District, and

Whereas the Planning Commission has determined that properties in the B-1 Zoning District are not suitable for the uses contemplated in the Amendment, and

Whereas the Planning Commission has determined that the Amendment is not consistent with the Town's Comprehensive Plan, and

Whereas the Planning Commission has determined that the Amendment would have a negative impact on the Town's transportation infrastructure, and

Whereas the Planning Commission has determined that the Amendment would negatively impact the value of neighboring properties, and

Whereas the Planning Commission has determined that the Amendment would not encourage the most appropriate use of the land throughout the Town, and

Whereas each finding is severable,

Now therefore the Planning Commission of the Town of Haymarket, finds that the Amendment does not further the public necessity, convenience and general welfare; does not constitute good zoning practice, and is inconsistent with the Town's Comprehensive Plan, and recommends that the Haymarket Town Council deny the request for an Amendment to allow for Mortuary and Funeral Home Uses in the B-1 Zoning District.

Bare seconds.

Roll Call: Ring: yes. Bare: yes Weir: yes Robinson: yes Johnson: abstains

Weir continues. The Town Council has directed them to consider an alternative. Agree with Robinson. There is a place for it somewhere in the town. And a need for it in the Western part of the County. Only area could fit into is B2. He has drafted some language for B2 zoning for funeral homes. At this point are we willing to forward to Town Council for their review? Or just let it die at this point.

Ring agrees. Forward for B2 area to Town Council. There is a need for this service. Codifying would be appropriate.

Bare - Agrees. Move forward to Town Council with B2 text.

Ed agrees. And Johnson.

ZTA121012A new number.

SECOND MOTION:

Weir moves to amend the Town's Zoning Ordinance to add certain definitions and to amend the Use Regulations for the B-2 Neighborhood Business Commercial District as follows:

Add the following definitions to be inserted into the Code in proper alphabetical location.

Funeral home means a facility used for the preparation of the deceased for burial and the display of the deceased and ceremonies connected therewith before burial, and may include storage of caskets, funeral urns, and other related funeral supplies and the storage of funeral

vehicles, but does not include facilities for cremation.

Amend Sec. 58-11. - Minimum off-street parking.

(7) For mortuaries and liquor stores, at least ten parking spaces.

Amend Sec. 58-218. - Special Uses.

The following uses shall be permitted in the B-2 district with a special use permit:

(11) Funeral home subject to the following conditions:

- (a) Such use shall be located:
1. Within a parcel comprising at least two acres;
 2. Within a freestanding building and be the sole principal use on the lot.
 3. On a parcel of land fronting on, and with direct access to, an existing collector or arterial road with dedicated turn lane(s).
- (b) Sufficient car stacking space shall be provided on the lot such that a collector or arterial road need not be used for the forming of funeral processions. The area of the lot used for the forming of funeral processions shall have direct, but limited, access to the collector or arterial road.
- (c) Off street parking requirements: 1 space / 4 persons in permitted occupancy approved by the Fire Marshall plus 1 space / employee and 1 space / business vehicle and 2 loading spaces.

Bare seconds.

Roll Call:

Ring: yes, Bare: yes, Weir: yes, Robinson: yes, Johnson yes.

c. Comp Plan and ZTA's

Still on hold.

d. Certified Local Government

Skip to 11 b. Haymarket Self Storage.

Dave Wolfe - owner. 6 acres would like to propose open storage parking motor homes, boats and trailers.

Invited them already but realize he needs an SUP with the town.

There is a need for this parking since PWC law prohibits parking in the street and HOA's don't allow it. Had a lot of calls. Convenience of it being at 15/66 intersection. Ties in with storage business. Bill Putnam with B&N here. Shows map. Shows proposed SWM facility.

Would like to keep property way it is. It is working the way it is with stone and gravel. Zoning requires paving. Wolfe would like to request that they do not pave at this time. Doesn't seem the environmental issue would be any deterrent. Paving is more for environmental runoff. Expenses are another factor. Would like to submit the SUP with amendment to allow gravel or minimum pavement.

Marchant says any use in the I1 must be paved. This instance would have to be paved. The intent is to deal with the Industrial areas frequent traffic and storage of materials.

Motorized vs non motorized. Proffers with land require SWM approach. Would submit ZTA to separate storage of motorized vs non. Need to submit a SUP and a site plan. Motorized would need to be paved. Non motorized would not need to be paved.

Will the mats be permanent? They do have permanent that are weighted and vinyl. If they don't pave, channel thru berms or other methods, into retention pits. Filter media. Designed to take care of BMP. If goes into a pond it gets filtered out. Just like any other BMP filter media.

Would be replace periodically. A lot of jurisdictions prefer this. Is the size of the pond itself in relation to number of expected vehicles? It's based on the drainage area. Collect all SW runoff and run thru filter media.

Wolfe predicts about 20% of the vehicles will be motorized and 80% non motorized. Would like to keep original request as is. Amend the ordinance to allow non paved surface.

Ring ask about security access lighting? Right now no electricity. No fencing. Camera on road can see access. Road controlled access?

No. Wolfe had applied for a permit for a gate. Was tabled because he didn't get proper signatures. Would really help if could have the gate.

Would be remote controlled. Issue at the time was easement. Ring says not so much zoning as a public welfare issue.

Johnsons main concern is the environmental aspect. Motor homes. Risk is limited? But if not paved and something leaks? How often are filters changed? It's variable. There are recommended inspection programs. Based on size and not one media. Based on inspection. Could be 10 years.

Weir not opposed to it but his concerns are environmental as well. But additionally, they couldn't have located this in any more of an environmentally sensitive area in the town. Would be hesitant to allow as curious what D.E.Q. might do to the Town in the future. Afraid if not done properly there could be liability for the town. Would like to see lot more detail. Restriction on vehicles. Heavy diesel. Semi's.

Also what people would do with the waste from their campers if they were renting a space. Would like to see something more than a gate. Perimeter security. Lighting. You are creating a circumstance where there is potential for a public nuisance. An irresistible target. Kids could hang out. Adults could steal equipment. Want to see something more concrete in terms of perimeter security and lighting. Something in place to deter, or easier to detect.

Bare - partial paving/gravel is what she's leaning towards more. The caveat , if trailer landscaping equipment, gas etc, it needs to be on paved.

Ed doesn't sound like business would be targeted? Yes some landscapers parking there now. Not really a lot of nuisance there now.

If could trade off paving for fencing and lighting. This has to work financially for the applicant. Or the applicant could move out of town and find a lot elsewhere. We don't want that to happen. Hope we can work together.

Johnson - Will there be repairs on the lot? NOT permitted now. Won't let that happen.

Consensus is everyone wants to see the combo of paving and gravel.

BACK TO CLG:

At the last Council meeting, they tasked the PC to come up with a suggested initial draft of a reduced Historic District. Weir took the map presented last year. Tweaked it with comments from ARB. Came up with map shown. ARB said anything 50 years or older is historic. It can't be claimed historic just because of it's age. That's most of Madison Street. They're not historic.

We need to protect the gateways. Can we do anything with Sheetz? Probably not. Weir is open to any suggestions. Deadline tonight though.

Eliminated Madison street and court. They don't have HOA's either. Do we have to include newer homes in 18th century?

Goes to the structure of the ordinance. Don't have to. No problem exempting 18th century. Include ones that are immediately adjacent to Parish hall and across from rectory and across from St Paul church.

Bare said we could take a 2 prong approach. New buildings within the Historic District now. We may not be able to keep gateways as too many new buildings there.

Weir to revise according to the census of the PC commissioners. Revise and send to Town Council. Then do map and text amendment.
As a courtesy, get ARB's input. Ring to show them.

11. Discussion Items

a. Advantage Landscaping - Rezoning

This item was not discussed. Applicant was not attending.

b. Haymarket Self Storage - Outdoor Equipment Storage

Discussed previously.

12. Adjournment

Bare

Weir seconds.



TO: Town of Haymarket Planning Commission

SUBJECT: Capital Improvements Plan

DATE: 03/11/13



TO: Town of Haymarket Planning Commission

SUBJECT: Haymarket Baptist Church Final Site Plan

DATE: 03/11/13

Recommendation.

ATTACHMENTS:

- BAPTIST CHURCH SITE PLAN (PDF)



INTEROFFICE MEMORANDUM

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST CHURCH – BUILDING ADDITION AND PARKING EXPANSION FINAL SITE PLAN, 14820 WASHINGTON STREET

DATE: 03-11-13

CC: STAFF

At its February 2013 meeting, the Planning Commission motioned to schedule a joint public hearing with the Town Council to solicit public comment on the Applicant's co-processed rezoning application. The Commission also motioned to schedule a joint public hearing regarding alternative landscape screening and landscape buffer yard modifications associated with the final site plan; however, the hearing will be rescheduled for April 1, 2013.

BACKGROUND

The Town Council approved the corresponding preliminary site plan in 2008. The application proposes a sanctuary addition and paved parking for the church and pre-school. The Church has proposed alternative vegetative screens and buffer yards as described in the attached narrative. Staff comments and Applicant responses along with a copy of the final site plan are also attached.

DRAFT MOTION(S)

1. I move that the Planning Commission forward the site plan application to a future meeting for further consideration.

Or,

2. I move that the Planning Commission forward the site plan application to the Town Council with a recommendation of [approval] [denial].

Or,

3. I move an alternate motion



Ross, France & Ratliff, Ltd.

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Thomas A. Dougher
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R. Michael Massey II
Vice President, Secretary

Larry J. Ratliff
Vice President, Treasurer

February 6, 2013

Via Courier

R. Marchant Schneider
Town Planner
Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Re: Haymarket Baptist Church
Alternative Screens and Modifications Request

Dear Marchant:

As a follow-up to our recent meeting and on behalf of Haymarket Baptist Church (the "Church"), attached please find an 11x17 copy of the Landscape Plan, dated May 15, 2007, last revised January 25, 2013, which is sheet 6 of 10 of the site plan.

Pursuant to Section 58-699(c) and Section 58-703(f) of the Town Code, and on behalf of the Church, we formally request approval of the alternative screen provided along the Church's western property line, and approval of a waiver of any perimeter parking lot landscaping requirement along a portion of the property's eastern property line. The specific requests are as follows:

1. Modification to Section 58-701 and -702, Buffer Yard. Zoning Ordinance § 58-702 requires a 25' opaque screen between B-1 and R-1 zoned properties. As depicted on the Landscape Plan, the Church is proposing a 6' tall wooden fence along the entirety of its western property line to satisfy the buffer yard requirement, which will provide a completely opaque screen in this location. Currently, there is a 6' tall fence along the boundary with GPIN 7397-09-0555, and a new 6' tall fence is proposed along the boundary with GPIN 7397-09-1178. The Church's request is justifiable because i) the use of the property is compatible with the B-1 zoning of the commercial properties, i.e. it is dissimilar from a traditional residential use, ii) there is insufficient room to provide a 25' buffer considering the location of the existing Church structure and the location of the proposed stormwater management facility and tot lot, and iii) additional buffer area is

being installed adjacent to the R-2 zoning district along the northern property boundary. The additional buffer is shown on attached sheet 6.

2. Modification to Section 58-703(b),(c) or (d), Perimeter Parking Lot Landscaping. It is questionable whether perimeter parking lot landscaping is even required for the Church's eastern property line, since there is not a public street adjacent to this property line (per § 58-703(c)), or another parking lot (per § 58-703(d)). Nonetheless, the Church requests a waiver of the perimeter parking lot landscaping requirement, to the extent one is determined to exist, so that no landscaping is required along that portion of the eastern property line where the Town's new storm drainage pipe will be located. There is insufficient room to accommodate both the storm drain pipe and perimeter landscaping. Additionally, the Church permits parking in its lot during Haymarket Day, and perimeter parking lot landscaping would frustrate passage to the Town's adjacent property. Please note that landscaping is provided along the eastern property line where it can be installed.

Please do not hesitate to let me know if you should have any questions or need additional information. I appreciate your assistance in this regard.

Very truly yours,



R. Michael Massey II, P.E., L.S.

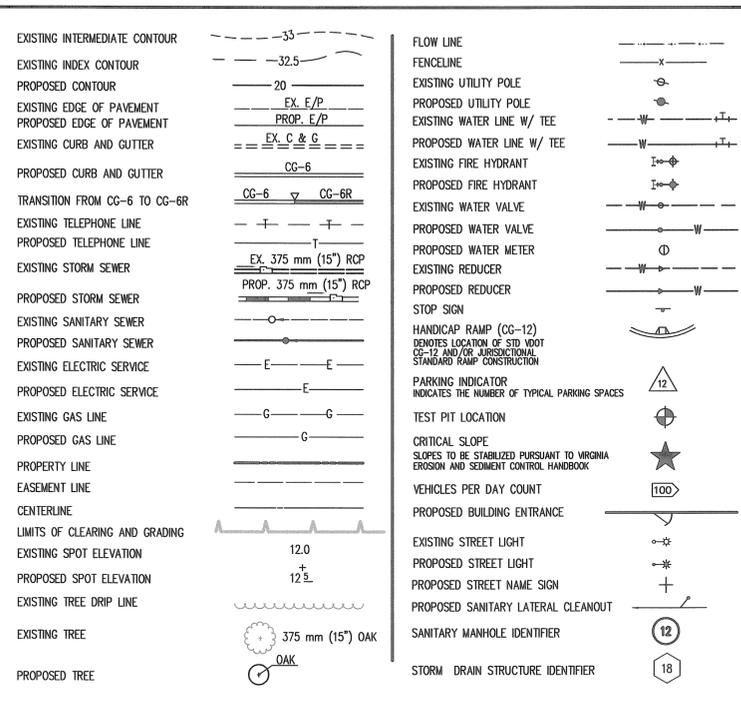
Enclosure

cc: Mrs. Otelia Frazier, People of Hope Committee, Haymarket Baptist Church
Michael J. Coughlin, Esq.
Jessica Sacksteder

GENERAL NOTES

- 1. This site has been addressed by the Prince William County Mapping Office as: 14800 WASHINGTON STREET (addresses for subdivision lots shall appear on the approved plat for recordation).
2. Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing. It is the responsibility of the developer to inform the Town of Haymarket of Mapping before a change in layout occurs and to submit complete and accurate information for re-addressing. Town of Haymarket does not assume any responsibility where re-addressing is required even though tenants have already occupied a portion of the building.
3. Methods and materials used in the construction of the improvements herein shall conform to the current Town construction standards and specifications and/or current VDOT standards and specifications.
4. The contractor or developer is required to notify the Town of Haymarket Department of Public Works in writing three (3) days prior to the beginning of the construction and specifically request inspection before beginning ---
A. Installation of approved erosion control devices.
B. Clearing and Grading.
C. Subgrade excavation.
D. Installing storm sewers or culverts.
E. Setting curb and gutter forms.
F. Placing curb and gutter.
G. Placing other concrete.
H. Placing gravel base.
I. Placing any bituminous surfacing.
*J. Installing water mains outside the Service Authority's boundaries.
*K. Installing sanitary sewer outside the Service Authority's boundaries.
5. Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to issuance of the site development permit. The approval of these plans in no way relieves the developer or his agent of the responsibilities contained in the Virginia Erosion and Sediment Control Handbook.
6. A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Town of Haymarket, prior to construction in existing State right-of-way, 366-1900.
7. Approval of this plan does not guarantee issuance of an entrance permit by VDOT when such permit is required under State law.
8. The exact location of all guard rails will be determined by VDOT personnel. "A joint inspection will be held with the Developer, County Representatives, and Representatives, of the Virginia Department of Transportation (VDOT) to determine if and where guard rail and/or paved ditches will be needed. The developer will be responsible for providing guardrail and paved ditches as determined by this joint inspection." Refer to Virginia Department of Transportation (VDOT) Guard Rail and Paved Ditch Specifications.
9. An approved set of plans and all applicable permits must be available at the construction site. Also, a representative of the developer must be available at all times.
10. Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
11. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
12. All pavement sections on the approved plans are based on a minimum CBR value of 10. CBR tests are to be performed by the engineer and submitted to the Town of Haymarket Planning Office for review prior to placement of base material. CBR values less than 10 will require submittal of revised pavement section.
13. All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the field inspection.
14. All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet. The pipe shall be minimum 150 mm (6") diameter and conform to VDOT standard SB-1.
15. All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied.
16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be provided at the construction site.
17. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the contractors responsibility to clean streets, alley dust, and to take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
18. * Notification shall be given to the appropriate utility Company (Service Authority, Virginia-American Water Company, or Dale Service Corporation) prior to construction of water and/or sanitary sewer lines. Information should also be obtained from the appropriate authority concerning permits, cut sheets, and connections to existing lines.
19. All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of Town of Haymarket and/or the Service Authority.
20. The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by Town of Haymarket and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be responsible for honoring these plans and the finished grades in the installation of their utility lines.
21. Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition. Names and telephone numbers of the operators underground utility lines in Town of Haymarket appear below. These numbers shall also be used to serve in an emergency condition.
* Washington Gas Light Co.
Virginia Power Co.
Northern Virginia Electric Co-op
Columbia Gas of Virginia
Continental Telephone of VA
Colonial Pipeline Co.
Transcontinental Gas Pipe Line Corp.
Service Authority 335-7900 (After hours-Emergency 335-7990)
Virginia-American Water 491-2136
Dale Service Corporation 494-4161
22. The location of existing utilities shown in these plans are taken from existing records. It shall be the contractors responsibility to verify the exact horizontal and vertical location of all existing utilities as needed prior to construction. The contractor shall inform the engineer of any conflicts arising from his existing utility verification and the proposed construction.
23. The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within or contiguous to the existing right-of-way.
24. All utilities placed under existing streets shall be bored or jacked.
25. When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to Prince William County Planning Office prior to issuance of grading and/or site development permits.
26. The developer will be responsible for the relocation of any utilities which is required as a result of his project. The relocation should be done prior to construction.
27. Before burning, blasting, transportation or storage of explosives in Prince William County, a permit shall be obtained from the Fire Marshal's Office, 792-6360.
28. Fire and Rescue Services must be notified immediately (792-6810) in the event that unusual items such as tanks, cylinders, unidentified containers, etc. which could contain potentially hazardous materials are discovered or observed. All activities must cease and not be resumed until authorization to proceed is given by the Fire Marshal's Office.
29. Sidewalk underdrains shall be installed per Section 650 of the Design and Construction Standards Manual.
30. All walkways outside of the right-of-way limits will be maintained by the homeowners association.
31. Maintenance of the Storm Drainage or Storm Water Management facilities located therein shall be pursuant to Section 700 of the Prince William County Design and Construction Standards Manual.
32. If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the issuance of any occupancy permits. (Detached single family subdivision exempt.)
33. These plans identify the location of all known gravesites. Gravesites shown on this plan will be protected in accordance with state law. In the event gravesites are discovered during construction, the County's Planning Office must be notified immediately (792-6830). All activities must cease and not be resumed until authorization to proceed is given by the County Planning Office.
34. Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.
35. Individual sign permits will be required from the Zoning Office for all free standing and facade signs prior to erecting the signs.
36. All buffer areas shall be screened according to the Design and Construction Standards Manual.
37. For proffers statement and proffers analysis, see sheet(s) N/A of _____.
38. For waivers see sheet(s) N/A of _____.
39. Anticipated sewage flows: 400 SEATS @ 5GPD/SEAT=2,000 GPD
40. Anticipated fire flows: 4,340 GPM @ 20psi
41. Distance to nearest existing school or proposed school site: 500' PACE WEST

LEGEND



- 1. NO HISTORIC SITES OR CEMETERIES ARE KNOWN TO EXIST WITHIN THE PROJECT LIMITS SHOWN ON THIS PLAN.
2. THE DEVELOPER/BUILDER SHALL CONTACT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY TO DISCUSS UTILITY PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT. PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SEWER MAINS AND CERTIFICATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.

DESIGNATED PLANS EXAMINER CERTIFICATE

Table with columns for 1ST and 2ND SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION, DESIGNATED PLANS EXAMINER, REG. NUMBER, and DATE.

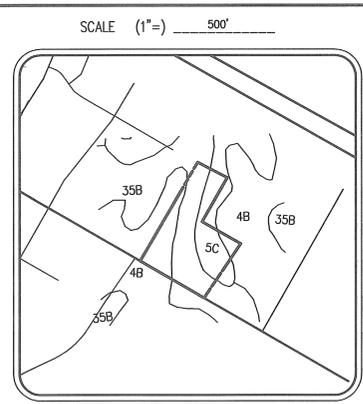
BOND ESTIMATE

Table with columns for ITEM, TOWN BOND, and VDOT BOND. Rows include TOTAL CONSTRUCTION COST, ADMINISTRATIVE COST (15%), INFLATION COST (3%), TOTAL PERFORMANCE BOND AMOUNT, TOTAL SILTATION AND EROSION CONTROL ESCROWS, and TOTAL LANDSCAPE ESCROW.

SURVEY AND TOPOGRAPHIC INFORMATION

- 1. Horizontal and vertical control surveys were performed by ROSS, FRANCE & RATLIFF, LTD. in 2006 (Year)
2. All elevations must be referenced to the National Geodetic Vertical Datum of 1988 (NGVD).
3. Source of topographic mapping is ROSS, FRANCE & RATLIFF, LTD. dated 2006
4. Boundary survey was performed by ROSS, FRANCE & RATLIFF, LTD. dated 2006
5. The application of the professional's seal and signature as required by Section 1.14 of the STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one-half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility for the work shown hereon.

SOILS MAP



SOILS DATA

Table with columns: SOIL #, SOIL NAME, SURFACE RUNOFF, EROSION HAZARD, DEPTH TO BEDROCK, SHRINK-SWELL, FLOODING, SLOPES, CATEGORY. Rows include 4B ARCOLA SILT LOAM, 5C ARCOLA-NESTORIA COMPLEX, and 35B MANASSAS SILT LOAM.

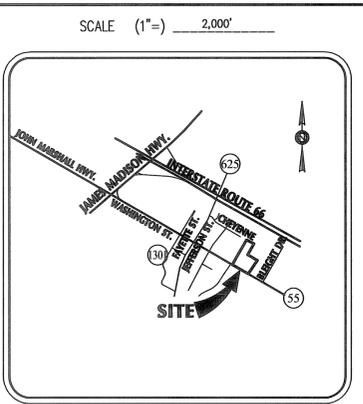
REVISIONS

Table with columns: DATE, DESIGNER, NO., DESCRIPTION. Lists revisions from 12/12/08 to 02/07/13.

REVIEWED BY: _____ APPROVED BY: _____

This plan has been reviewed and has been found to be in general conformance with the requirements of Town of Haymarket. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements. If not bonded or permitted (if applicable) within five (5) years of the authorized date or lawfully extended, this authorization will expire. A valid agreement and bond with Town of Haymarket must be maintained to assure plan and permit validity.

VICINITY MAP



SHEET INDEX

- 1 COVER SHEET
2 STANDARD EROSION CONTROL DETAILS/NOTES
3 SITE PLAN & GENERAL NOTES
3A DETAILS
4 DEMOLITION & PHASE I EROSION & SEDIMENT CONTROL PLAN
5 PHASE II EROSION & SEDIMENT CONTROL & DRAINAGE DIVIDE PLAN
6 LANDSCAPE PLAN
6A BMP PLAN & COMPUTATIONS
7 PROFILES & STORM SEWER COMPUTATIONS
8 UNDERGROUND SWM COMPUTATIONS
8A UNDERGROUND SWM COMPUTATIONS
9 UNIT PRICE LIST
10 PWCSA STANDARD SHEET
10A PLAN & PROFILE-SIGHT DISTANCE
10B PLAN & PROFILE-SIGHT DISTANCE
10C STORMTECH SHEET
10D STORM-PURE DETAILS & SPECIFICATIONS

PRINCE WILLIAM COUNTY/TOWN OF HAYMARKET

COVER SHEET



Table with project information: Project Name: HAYMARKET BAPTIST CHURCH, Subdivision or Site Plan Name: HAYMARKET BAPTIST CHURCH - BUILDING ADDITION & PARKING EXPANSION, Magisterial District: TOWN OF HAYMARKET, Owner: TRUSTEES HAYMARKET BAPTIST CHURCH, Developer: TRUSTEES HAYMARKET BAPTIST CHURCH, Name, Address & Telephone No. of Engineer: ROSS, FRANCE & RATLIFF, LTD., 8802 SUDLEY ROAD, MANASSAS, VA. 20110, PHONE: (703) 361-6188, FAX: (703) 361-6353, Project Number: SP #1592, Plan Number: 08-HAY03-R0, Plan Type: FS, Revision Number: 05, Date of Plan: (Month, Day, Year) MAY 15, 2007, Parcel Identification Number: G.P.I.N. 7397-09-1844, 7397-09-2672, 7397-09-3460, Total Area: 3.207 AC., Project Area: 2.60 AC., Disturbed Area: 2.60 AC., Impervious Area: 1.48 AC., BMP Storage/Acre: 2538 cf/ac.

Town of Haymarket File Number: 08-HAY03-R0 Subdivision/Site Plan Name: HAYMARKET BAPTIST CHURCH - BUILDING ADDITION & PARKING EXPANSION Attachment: BAPTIST CHURCH SITE PLAN (1360 - Haymarket Baptist Church Final Site Plan)



August 6, 2012

Haymarket Baptist Church
c/o Michael J. Coughlin
Walsh Colucci Lubeley Emrich and Walsh PC
4310 Prince William Parkway, Suite 300
Woodbridge, Virginia 22192

Via E-mail and First Class Mail

RE: Zoning Determination - Haymarket Baptist Church
14700 Washington Street, G.P.I.N. 7397-09-3544
14800 Washington Street, G.P.I.N. 7397-09-1945
14820 Washington Street, G.P.I.N. 7397-09-2472

Dear Mr. Coughlin,

This correspondence is in response to your letter dated July 16, 2012, in which you request, on behalf of the Haymarket Baptist Church ("Owner"), a determination regarding the applicability of certain Town of Haymarket Zoning Ordinance ("Ordinance") requirements in reference to an approved Preliminary Site Plan and pending Final Site Plan for the above-mentioned properties. The Town Council, in its capacity as zoning administrator, having reserved such authority unto itself, offers the following information in response to your request:

1. The Church's sanctuary addition as shown on the approved Preliminary Site Plan and the pending Final Site Plan is vested and compliance with the R-1 lot coverage requirement is not required.

Response: A Preliminary Site Plan entitled "Preliminary Site Plan, Haymarket Baptist Church" was approved by the Town Council on February 19, 2008. The accompanying motion references Preliminary Site Plan #PRE20071221, submitted by Ross France and Ratliff, dated 12/20/07. While zoning district references on the Preliminary Site Plan are inconsistent, the structure identified as "Proposed Sanctuary Addition" is in the R-1 zoning district. The requisite building setback for the sanctuary addition is neither referenced nor identified on the Preliminary Site Plan as otherwise required by Section 58-506(2)(c) of the Ordinance. Compliance with Section 58-55 of the Ordinance is required; however, in so far as the Certificate of Take for right-of-way associated with the Washington Street Improvement Plan Phase 1A precludes the Owner from meeting the building setback requirement, the Town will render the sanctuary addition a lawfully non-conforming structure at such time a

The Prince William County Geographic Parcel Identification Number (GPIN) does not correspond to those GPINs identified on the preliminary site plan subject to this zoning determination request. It is recommended that the Owner resolve this inconsistency.

P.O. Box 1230 • Haymarket, VA 20168 • (703) 753-2600 • Fax: (703) 753-2800

Page 2 of 3

Final Site Plan is approved and the sanctuary addition is constructed as depicted on the Preliminary Site Plan. The Owner may alternatively amend the Final Site Plan to meet the building setback requirement.

2. The Church is not required to construct streetscape improvements depicted on the right-of-way plans recorded with the Certificate of Take affecting the Church's property.

Response: The Owner of the subject properties will not be required to construct those improvements specifically depicted on the right-of-way plans recorded with a Certificate of Take affecting the above-mentioned properties. The corresponding project, Washington Street Improvement Plan Phase 1A, is funded. However, with regard to those improvements required pursuant to Sections 58-713 through 58-726 of the Ordinance in conjunction with the development of the properties as depicted on the approved Preliminary Site Plan, the Town acknowledges the noted street improvement plan will meet said requirements.

3. The Church's lot coverage as depicted on its approved Preliminary Site Plan and pending site plan is vested, and compliance with the R-1 lot coverage requirement set out in the Zoning Ordinance § 58-63 is not required.

Response: Section 58-63 of the Zoning Ordinance was a zoning ordinance amendment adopted by the Town Council in 2009, subsequent to the Town Council's approval of the Preliminary Site Plan in 2008. As such, pursuant to § 15.2-2307 of the Code of Virginia, the approved Preliminary Site Plan and pending Final Site Plan is not subject to a maximum lot coverage requirement.

PLEASE NOTE: This opinion is valid only as of the date of this letter, and this opinion does not and shall not relieve the owner or any occupant of the property in question from the obligation to comply with all applicable Town of Haymarket Zoning Ordinance and other Town Ordinance requirements. This opinion is based upon the text of the Town of Haymarket Zoning Ordinance as it exists today, August 6, 2012, and such text is subject to change. This determination applies solely to the referenced properties and is not binding upon the Town, the Zoning Administrator or any other official with respect to any other properties. No person may rely upon this determination with respect to any property other than the referenced properties.

Please be advised that any person aggrieved, or any officer, department, board or bureau of the town affected by an order, requirement, decision or determination made by an administrative officer in the administration or enforcement of the provisions of the Zoning Ordinance may appeal said decision within thirty days to the Board of Zoning Appeals in strict accordance with Section 15.2-2311 of the Code of Virginia. This decision is final and unappealable if not appealed within 30 days. An application package for an appeal to the Board of Zoning Appeals may be obtained by visiting Haymarket Town Hall, 15000 Washington Street, Suite 100, Haymarket, VA. The completed application must be submitted to Town Hall with the fee payment of \$350.00 within 30 days from the date of this letter.

August 6, 2012
Page 3 of 3

Please feel free to contact Town Hall if you need further assistance.

Very Truly Yours,

David Leake
Mayor
Town of Haymarket

Cc: Haymarket Town Council
Members of the Haymarket Planning Commission
Jennifer Preil, Town Clerk

LEGEND

EX. EXISTING	EDGE OF PAVEMENT	PWCSA	PRINCE WILLIAM COUNTY SERVICE AUTHORITY
E.P. PAVEMENT	PAVEMENT	STD	STANDARD
PE. PEDESTAL	PEDESTAL	10'R, R=10'	10 FOOT RADIUS
		A=10'	10 FOOT ARC
		NOVEC	NORTHERN VIRGINIA ELECTRIC COOPERATIVE
		C&G	CURB AND GUTTER
		H.C.	HEADER CURB
		R.D.	ROOF DRAIN
		D.S.	DOWN SPOUT
		U.D.	UNDERDRAIN
		C/A, E	CENTERLINE
		IPF	IRON PIPE FOUND
		IPS	IRON PIPE SET
		GFA	GROSS FLOOR AREA
		AC	ACRE
		SQ.FT.	SQUARE FEET
		---	PROPERTY LINE
		---	ADJOINER PROPERTY LINE
			WHEELSTOP
			CHAIN LINK FENCE
			WALK
			ASPHALT
			STANDARD PARKING SPACE (9' x 18')
			HANDICAP ACCESSIBLE SPACE (8' x 18')
			TYPICAL
			SIGHT DISTANCE
			B.R.L. BUILDING RESTRICTION LINE
			EASEMENT
			G.P.I.N. GEOGRAPHIC PARCEL IDENTIFICATION NUMBER
			INSTR. # INSTRUMENT NUMBER
			SHT. SHEET
			D.B. DEED BOOK
			W.B. WILL BOOK
			PAGE
			⊗ DENOTES PAVEMENT SECTION "A".
			366.26 PROPOSED GRADING BY OTHERS

SEE COVER SHEET FOR ADDITIONAL LEGEND

NOTES:

- METES AND BOUNDS SHOWN ARE THE RESULTS OF A CURRENT FIELD SURVEY.
- THE PRINCE WILLIAM COUNTY GEOGRAPHIC PARCEL IDENTIFICATION NUMBER (G.P.I.N.) AND ADDRESS FOR THE PROPERTY SHOWN HEREON IS AS FOLLOWS:
G.P.I.N. 7397-09-1844 / ZONE: R-1 / 14800 WASHINGTON STREET
G.P.I.N. 7397-09-2472 / ZONE: EX. B-1 PROPOSED R-1 / 14820 WASHINGTON STREET
G.P.I.N. 7397-09-3460 / ZONE: R-1 / 14770 WASHINGTON STREET

- THE PROPERTY WAS ACQUIRED BY TRUSTEES HAYMARKET BAPTIST CHURCH BY DEED RECORDED IN DEED BOOK 321, ON PAGE 184 AND DEED BOOK 1264, ON PAGE 28 ALL OF THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
- PARKING TABULATION:
REQUIRED: 1 SPACE PER 5 FIXED SEATS = 400 SEATS / 5 = 80 SPACES
PROVIDED: 146 SPACES (INCLUDES 8 HANDICAP ACCESSIBLE SPACES)
- TRIP GENERATION:
400 SEATS X 0.63 = 252 TRIPS PER DAY (ITE VOLUME 3, 7TH EDITION) PAGE 1015
- FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS FOR PRINCE WILLIAM COUNTY, MAP# 51153C0211 D, EFFECTIVE DATE JANUARY 5, 1995, SHOWS THAT THERE IS NO 100 YEAR FLOOD PLAIN WITHIN THE LIMITS OF THIS PROPERTY.
- THERE ARE NO MAPPED CHESAPEAKE BAY RESOURCE PROTECTION AREAS (RPA) ON THE PARCELS SHOWN HEREON.
- STORM WATER MANAGEMENT WILL BE PROVIDED ON SITE.
- THE EXISTING CHURCH IS SERVICED BY PUBLIC SEWER AND WATER WHICH ARE BOTH LOCATED ALONG WASHINGTON STREET.
- TOTAL ESTIMATE OF ANTICIPATED SEWAGE FLOWS: 2 GPD/SEATx400 SEATS=800 GPD.
- PROJECT SHALL BE COORDINATED WITH TOWN ENGINEER TO INSURE THAT THIS PROJECT REFLECTS THE APPROPRIATE RIGHTS-OF-WAYS THAT ARE IN COMPLIANCE WITH THE FEDERALLY FUNDED WASHINGTON STREET ENHANCEMENT PROJECT C-502, AS APPROVED BY VDOT.

11) ZONING TABULATION

- R-1**
- SETBACK REQUIREMENT
FRONT: 35 FEET (SEE ZONING DETERMINATION LETTER THIS SHEET)
SIDE: 10 FEET
REAR: 25 FEET
 - SITE COVERAGE: 30% OF THE TOTAL AREA
*SITE COVERAGE PROVIDED 72.3% (SEE ZONING DETERMINATION LETTER THIS SHEET)
 - MAX. BUILDING HEIGHT: 35'
PROPOSED ADDITION HEIGHT: 26.4'

*SEE "ZONING DETERMINATION LETTER" THIS SHEET

MAINTENANCE AGREEMENT NOTE:

THE FEE TITLE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORM DRAINAGE SYSTEMS AND THE UNDERGROUND STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES FACILITY TO ENSURE THAT THEY FUNCTION PROPERLY.

SUBJECT TO OTHER LIMITATIONS, THE FEE TITLE OWNER MAY LANDSCAPE THE EASEMENTS TO INCLUDE VEGETATION, SIGNS, AND FENCES, PROVIDED THAT DRAINAGE AND THE TOWN OF HAYMARKET OR THE OWNER'S ABILITY TO ACCESS THE EASEMENT IS NOT COMPROMISED AND THAT THE TOWN OF HAYMARKET IS NOT IN ANY WAY RESPONSIBLE FOR THE REPAIRS TO THESE LANDSCAPE ITEMS, EVEN IF DAMAGED BY TOWN OF HAYMARKET FORCES.

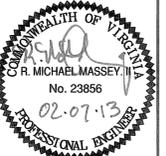
CHECK:	RAM	DESIGN:	RAM	DRAWN:	JWK	SCALE:	1" = 30'
REVISION:							
DATE:							

HAYMARKET BAPTIST CHURCH

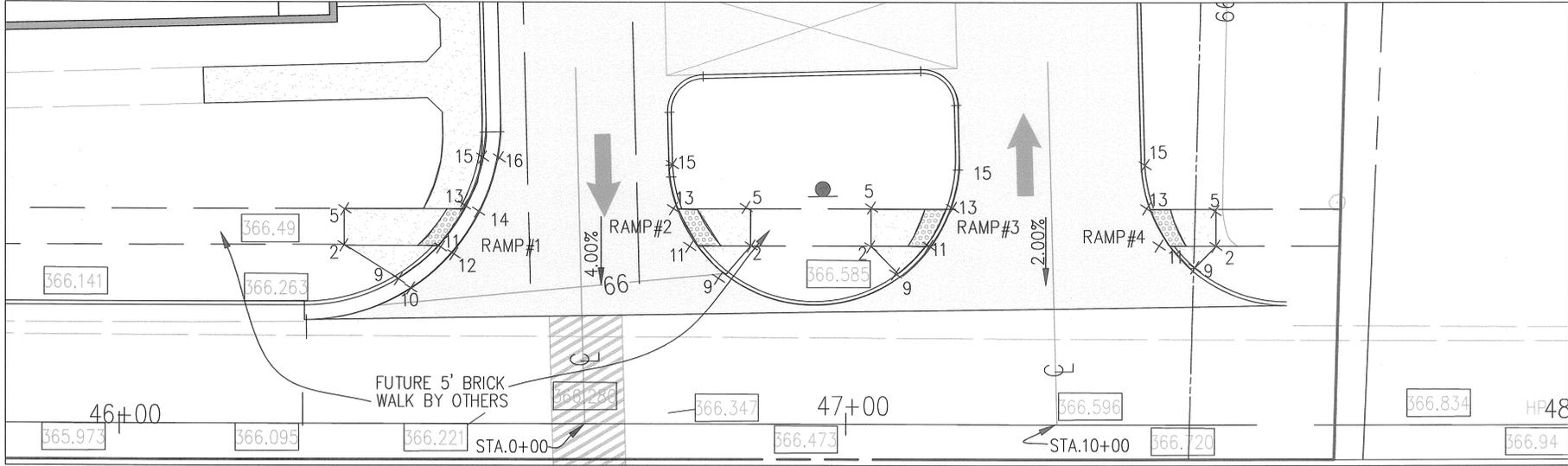
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

SITE PLAN

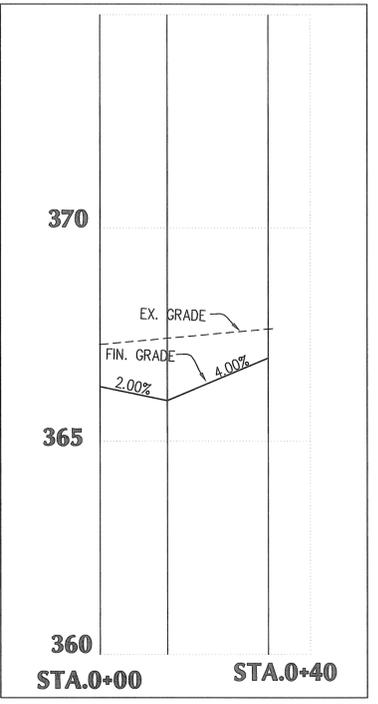
Ross, France & Ratliff, Ltd.
CIVIL ENGINEERING - LAND SURVEYING
8802 SUDLEY ROAD
MANASSAS, VIRGINIA 20110
(703) 361-4188 FAX (703) 361-6353



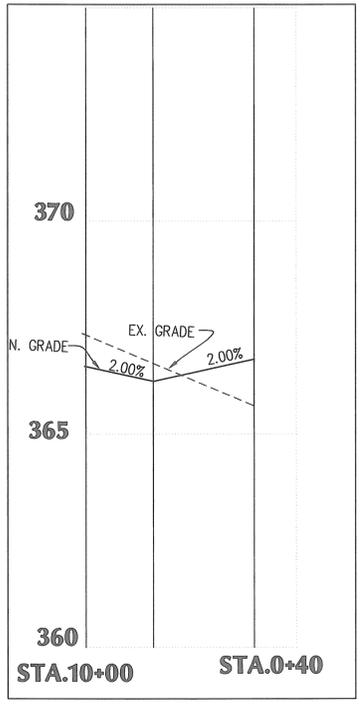
MODIFIED CG-12 CONSTRUCTION DETAIL																																						
RAMP NUMBER	CG-12 TYPE	INVERT #1	INVERT #2	INVERT #3	INVERT #4	INVERT #5	INVERT #6	INVERT #7	INVERT #8	INVERT #9	INVERT #10	INVERT #11	INVERT #12	INVERT #13	INVERT #14	INVERT #15	INVERT #16	LENGTH L1	LENGTH L2	LENGTH L3	LENGTH L4	LENGTH L5	LENGTH L6	LENGTH L7	LENGTH L8	LENGTH L9	LENGTH L10	LENGTH L11	LENGTH L12	LENGTH L13	LENGTH L14	LENGTH L15	LENGTH L16					
1	A	-	-	-	-	-	-	-	-	-	66.59	66.26	66.32	66.42	66.52	67.01	66.68	-	-	7	3.86%	-	-	7	10%	8.33%	5.00%	5.00%	8.33%	1.39%	-	-	-	-	-	-	-	
2	A	-	66.38	-	66.48	-	-	-	-	66.50	-	66.18	-	66.28	-	66.86	-	-	7	4.57%	-	-	7	8.33%	-	-	-	-	-	-	-	-	-	-	-	-	-	2.00%
3	A	-	66.59	-	66.69	-	-	-	-	66.60	-	66.20	-	66.30	-	66.88	-	-	6	5.71%	-	-	7	6.67%	-	-	-	-	-	-	-	-	-	-	-	-	2.60%	
4	A	-	66.50	-	66.60	-	-	-	-	66.70	-	66.36	-	66.46	-	67.06	-	-	6	5.66%	-	-	6	6.67%	-	-	-	-	-	-	-	-	-	-	-	3.00%		



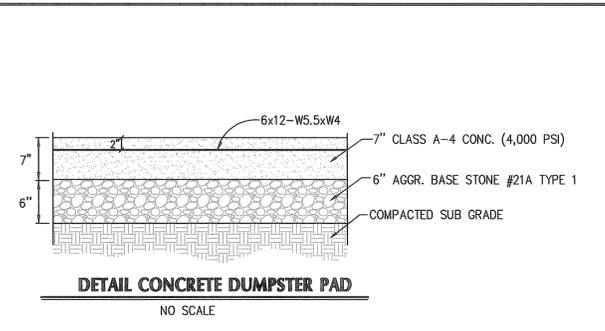
CG-12A RAMP PLAN
SCALE: 1" = 10'



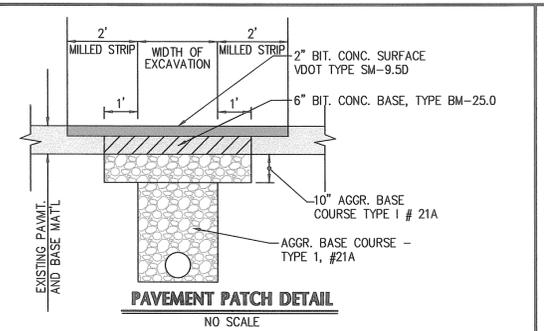
ENTRANCE #1 C PROFILE
SCALE: HORIZ: 1" = 50', VERT: 1" = 5'



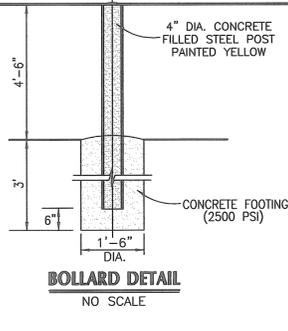
ENTRANCE #2 C PROFILE
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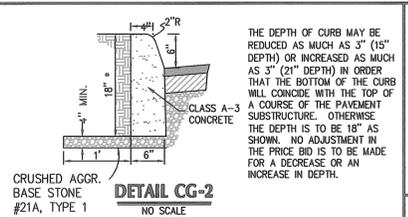
DETAIL CONCRETE DUMPSTER PAD
NO SCALE



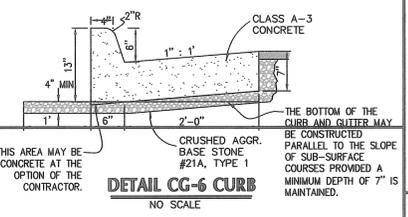
PAVEMENT PATCH DETAIL
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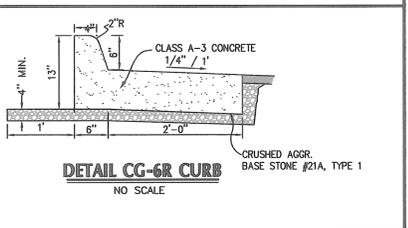
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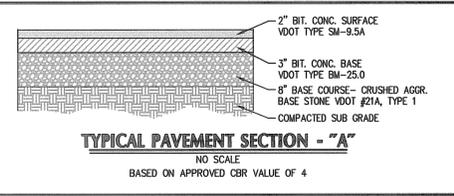
DETAIL CG-2
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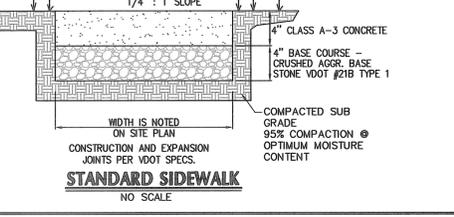
DETAIL CG-6 CURB
NO SCALE



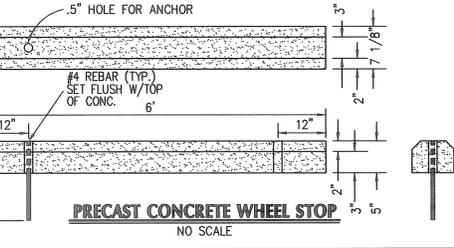
DETAIL CG-6R CURB
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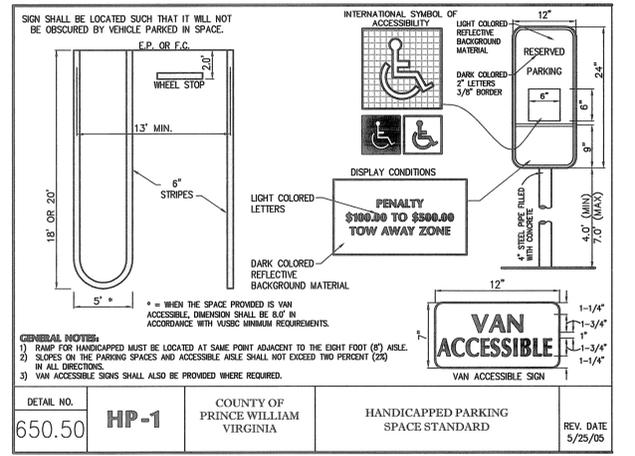
TYPICAL PAVEMENT SECTION - "A"
NO SCALE
BASED ON APPROVED CBR VALUE OF 4



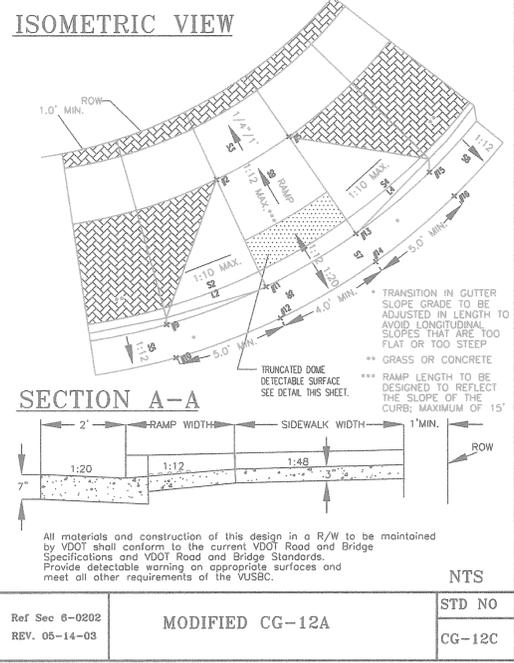
STANDARD SIDEWALK
NO SCALE



PRECAST CONCRETE WHEEL STOP
NO SCALE



HP-1
COUNTY OF PRINCE WILLIAM VIRGINIA
HANDICAPPED PARKING SPACE STANDARD
REV. DATE 5/25/05



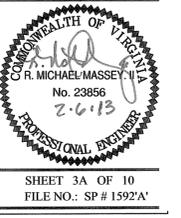
Ref Sec 6-0202
REV. 05-14-03
MODIFIED CG-12A
STD NO
CG-12C

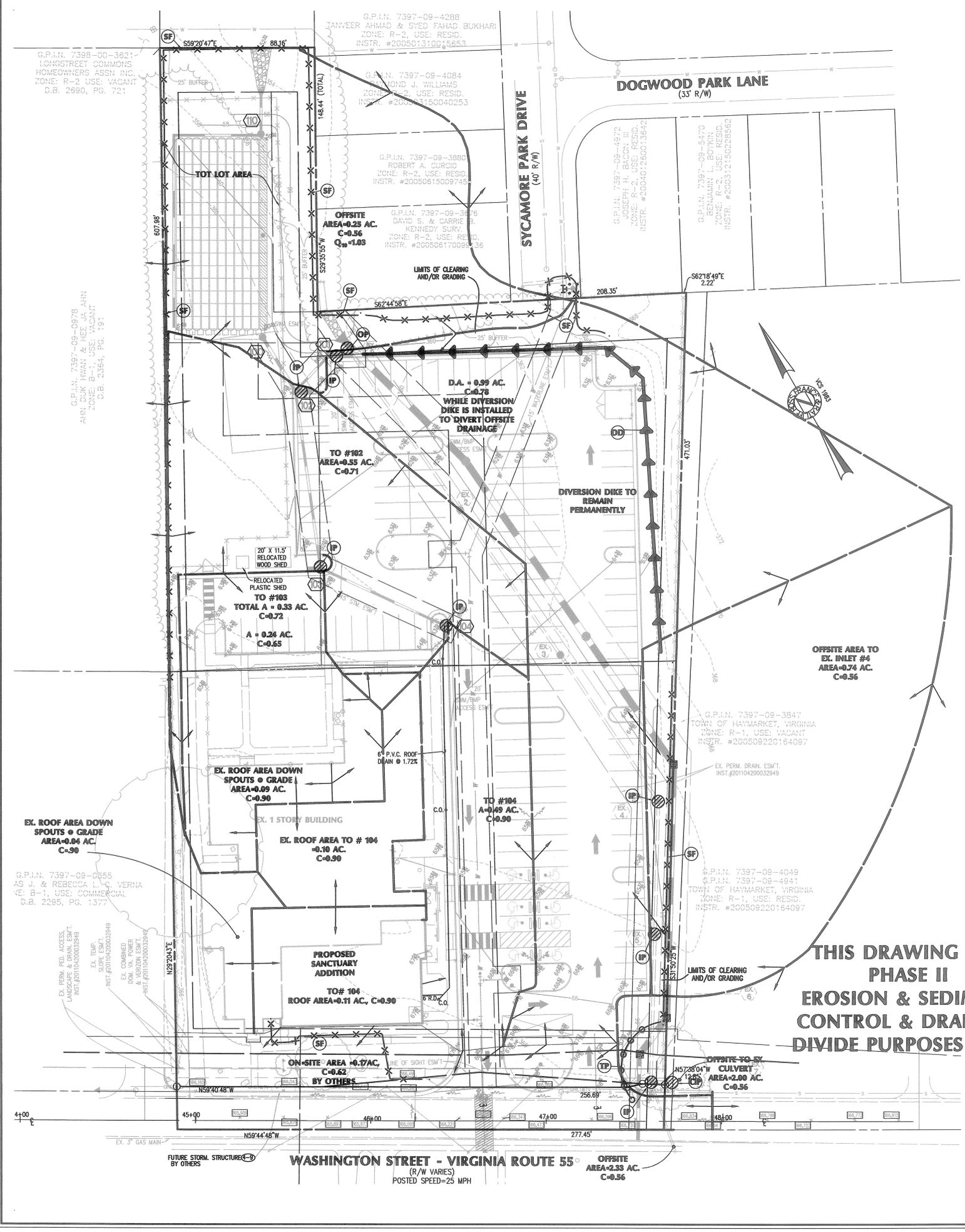
DATE	BY	REVISION

HAYMARKET BAPTIST CHURCH
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

DETAILS

Ross, France & Ratliff, Ltd.
CIVIL ENGINEERING - LAND SURVEYING
8802 SUDLEY ROAD
MANASSAS, VIRGINIA 20110
(703) 361-4188 FAX (703) 361-6353





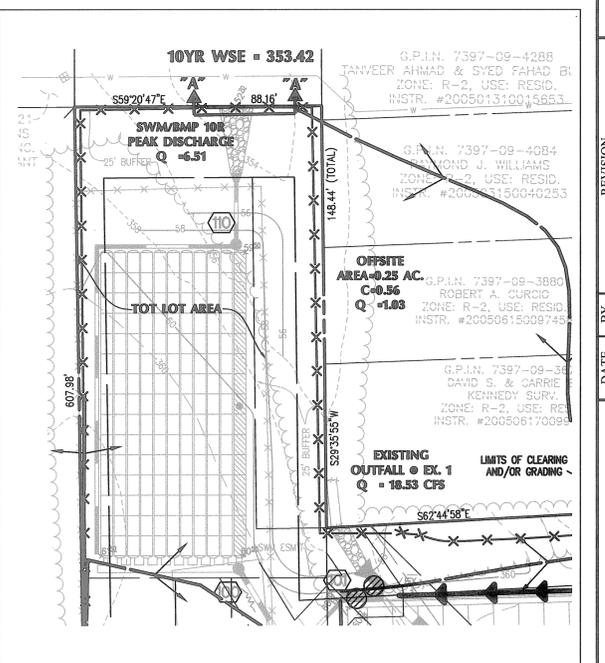
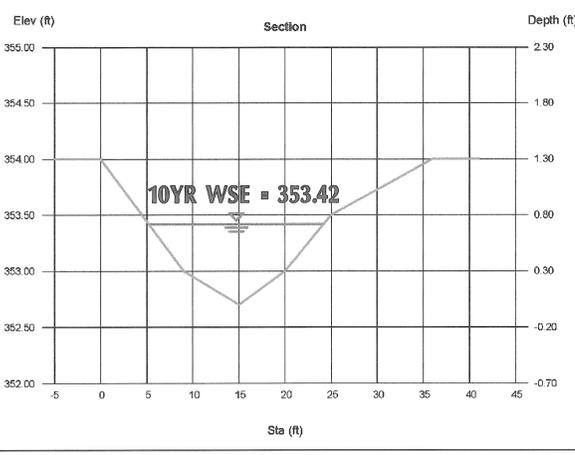
Channel Report

Hydroflow Express Extension for AutoCAD/CAD Civil 3DC 2009 by Autodesk, Inc. Monday, Sep 24 2012

CROSS SECTION A_A

User-defined	Invert Elev (ft)	= 352.70	Highlighted	Depth (ft)	= 0.72
	Slope (%)	= 2.00		Q (cfs)	= 26.07
	N-Value	= 0.035		Area (sqft)	= 7.95
				Velocity (ft/s)	= 3.28
Calculations	Known Q	= 28.07		Wetted Perim (ft)	= 19.04
Compute by	Known Q			Crit Depth, Yc (ft)	= 0.69
Known Q (cfs)				Top Width (ft)	= 18.98
				EGL (ft)	= 0.89

(Sta, El, n)-(Sta, El, n)---
 (0.00, 354.00)-(0.00, 353.00), (0.00, 353.00)-(15.00, 352.70), (15.00, 352.70)-(20.00, 353.00), (20.00, 353.00)-(35.00, 353.50), (35.00, 353.50)-(38.00, 354.00), (38.00, 354.00)-(0.00, 354.00)



EROSION CONTROL NARRATIVE

PROPERTY DESCRIPTION:
 THIS SITE CONSISTS OF 3.207 ACRES FOR AN EXISTING CHURCH, WHICH 2.60 ACRES WILL BE DISTURBED. THE SITE IS LOCATED ON THE NORTHERN SIDE OF WASHINGTON STREET IN HAYMARKET. THE SITE IS MODERATELY SLOPED. ALL CLEARING AND GRADING SHALL BE LIMITED TO THE AREAS OUTLINED ON THE SITE AND EROSION CONTROL PLAN. SLOPES RANGE FROM 2 TO 33 PERCENT. THE SITE DRAINS INTO EXISTING CHANNELS NEAR THE NORTHERN AND SOUTHERN PROPERTY LINE.

OFFSITE AREAS:
 AS PART OF THIS PLAN, LIMITED WORK WILL BE CONDUCTED WITHIN THE EXISTING RIGHT-OF-WAY FOR THE ENHANCEMENTS TO THE SITE AND UTILITY CONNECTIONS.

SOILS:
 SEE THE SOILS MAP LOCATED ON THE COVER SHEET.

THE SITE INSPECTOR SHALL HAVE THE AUTHORITY TO ADJUST OR REQUIRE ADDITIONAL EROSION MEASURES IF REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE DISTURBED AREAS.

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF PRINCE WILLIAM COUNTY AND THE THIRD EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SPECIFIC AREA TO BE CLEARED SHALL BE IDENTIFIED PRIOR TO BEGINNING CONSTRUCTION. REFER TO THE PLAN FOR THE PROPOSED LIMITS OF CLEARING AND GRADING.

STRUCTURAL PRACTICES:

- CONSTRUCTION ENTRANCE - 3.02. A STABILIZED STONE PAD WITH A FILTER FABRIC UNDERLAYER LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE (TO INCLUDE WASH-RACK).
- SILT FENCE - 3.05. SILT FENCE SEDIMENT BARRIERS WILL BE INSTALLED DOWN SLOPE OF DISTURBED AREAS TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOWS AS SHOWN ON THE PLAN.
- STORM DRAIN INLET PROTECTION - 3.07. A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN DROP INLET OR CURB INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEMS PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA.
- CULVERT INLET PROTECTION - 3.08. A SEDIMENT FILTER LOCATED AT THE INLET TO STORM SEWER CULVERTS WHICH PREVENTS SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSPORTED BY THE CULVERT. IT ALSO PROVIDES EROSION CONTROL AT CULVERTS DURING THE PHASE OF A PROJECT WHERE ELEVATIONS AND DRAINAGE PATTERNS ARE CHANGING, CAUSING ORIGINAL CONTROL MEASURES TO BE INEFFECTIVE.
- PERMANENT DIVERSION DIKE - 3.09 AND TEMPORARY SEDIMENT FILTERS. A SYSTEM OF PERMANENT DIVERSION DIKES WILL BE INSTALLED TO DIRECT FLOW INTO THE SEDIMENT FILTERS BELOW MAJOR GRADED AREAS AS INDICATED ON THE EROSION & SEDIMENT CONTROL PLAN. SPECIFIC DETAILS OF THE SEDIMENT TRAPS ARE SHOWN ON THE DETAIL SHEET.
- TEMPORARY SEDIMENT TRAPPING AREA. FORMED BY CONSTRUCTING AN EARTHEN EMBANKMENT WITH A STONE OUTLET ACROSS A DRAINAGE SWALE, TO DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS FOR ENOUGH TIME TO ALLOW MOST OF THE SUSPENDED SOLIDS TO SETTLE OUT. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS.
- OUTLET PROTECTION - 3.18. STRUCTURALLY LINED APRONS OR OTHER ACCEPTABLE ENERGY DISSIPATING DEVICES PLACED AT THE OUTLETS OF PIPES OR PAVED CHANNEL SECTIONS TO PREVENT SCOUR AND MINIMIZE THE POTENTIAL FOR DOWNSTREAM EROSION.
- RIEPP - 3.19. A PERMANENT EROSION RESISTANT GROUND COVER OF LARGE LOOSE ANGLULAR STONE WITH FILTER FABRIC UNDERLINING TO SLOW THE VELOCITY OF CONCENTRATED RUNOFF AND PROTECT THE SOIL FROM EROSION FORCES.
- TREE PRESERVATION AND PROTECTION - 3.38. PROTECTING EXISTING TREES FROM MECHANICAL AND OTHER INJURY DURING LAND-DISTURBING AND CONSTRUCTION ACTIVITY TO ENSURE THE SURVIVAL OF DESIRABLE TREES WHERE THEY WILL BE EFFECTIVE FOR EROSION AND SEDIMENT CONTROL AND PROVIDE OTHER ENVIRONMENTAL AND AESTHETIC BENEFITS.

PERMANENT STABILIZATION:
 PERMANENT OR TEMPORARY SOIL STABILIZATION BY SEEDING AND MULCHING SHALL BE APPLIED TO THE DENuded AREAS WITHIN 7 CALENDAR DAYS OF COMPLETING ROUGH GRADING, ROADS, TRAVELWAYS AND PARKING FACILITIES SHALL BE STABILIZED WITH BASE COURSE STONE WITHIN 7 DAYS AFTER FINAL GRADING. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 7 CALENDAR DAYS TO DENuded AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT FOR MORE THAN 14 DAYS. PERMANENT SOIL STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE DORMANT FOR MORE THAN 6 MONTHS. IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED, SEEDING/SOIL WILL BE APPLIED TO ALL DENuded AREAS AS PERMANENT STABILIZATION. THESE AREAS INCLUDE BUT ARE NOT LIMITED TO YARDS, PARKING ISLANDS, AND UTILITY EASEMENTS. FOR WINTER STABILIZATION, ANY AREA DENuded FOR LONGER THAN 14 DAYS AFTER NOVEMBER 1 TO MARCH 1 SHALL BE MULCHED AND SEEDING APPROPRIATE TO THE SEASON AND SITE CONDITIONS.

SEEDING CONTROL PHASE I:
 THE PHASE I MEASURES SHALL BE INSTALLED AS THE FIRST STEP AND PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES. THE PHASE I EROSION AND SEDIMENT CONTROL MEASURES INCLUDE THE FOLLOWING:
 1. TEMPORARY SEDIMENT TRAPS, SILT FENCE, ORANGE SAFETY FENCE, DIVERSION DIKES, CULVERT INLET PROTECTION, CHECK DAM AND CONSTRUCTION ENTRANCE WITH WASH RACK.

INSTALLATION SCHEDULE:

- OBTAIN AN EROSION CONTROL PERMIT FROM TOWN OF HAYMARKET.
- OBTAIN TEMPORARY CONSTRUCTION ENTRANCE PERMIT FROM VIRGINIA DEPARTMENT OF TRANSPORTATION. (IF APPLICABLE).
- INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE AND WASHRACK. THE CONTRACTOR SHALL EITHER BY MEANS OF ON-SITE FACILITIES OR TEMPORARY STORAGE, PROVIDE WASH WATER TO WASH MUD FROM VEHICLES AND CONSTRUCTION EQUIPMENT PRIOR TO THEM ENTERING THE RIGHT-OF-WAY.
- STAKE-OUT THE LIMITS OF CLEARING AND/OR GRADING.
- STAKE-OUT THE LOCATION OF PERIMETER CONTROLS.
- INSTALL THE PERIMETER CONTROLS AS INDICATED ON THE PHASE I EROSION AND SEDIMENT CONTROL PLAN.

NOTE: CONTRACTOR TO STABILIZE DIVERSION DIKES IMMEDIATELY AFTER INSTALLATION WITH PERMANENT VEGETATION. DIVERSION DIKE WILL REMAIN IN PLACE PERMANENTLY.

7. OBTAIN APPROVAL FROM TOWN OF HAYMARKET OF THE PERIMETER CONTROLS.

8. INSPECT AND RESTORE EXISTING CONTROLS AS NEEDED ON SITE. THE STRUCTURES SHALL BE INSPECTED AND APPROVED BY TOWN OF HAYMARKET.

9. CLEAR AND GRUB ANY AREAS SHOWN TO BE CLEARED ON THE SITE PLAN.

10. PROVIDE TEMPORARY SEEDING AS REQUIRED FOR ANY AREAS IN ACCORDANCE WITH V&SCH.

11. NO BURYING OF STUMPS, OR ANY OTHER TRASH, JUNK, OR DEBRIS WILL BE ALLOWED ON THE SITE.

12. REMOVE ALL CLEARING DEBRIS, TRASH, CONCRETE, AND DEBRIS FROM THE SITE.

13. MAINTAIN SILTATION AND EROSION CONTROL MEASURES IN AN OPERATIVE CONDITION THROUGHOUT THE ENTIRE PERIOD OF THE CONSTRUCTION PROJECT.

14. THE TOWN INSPECTOR SHALL HAVE THE AUTHORITY TO MAKE ADJUSTMENTS IN THE FIELD TO THE EROSION AND SEDIMENT CONTROL MEASURES IF HE FEELS CORRECTIVE ACTION IS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE.

SEDIMENT CONTROL PHASE II:
 1. ONCE THE PHASE I ITEMS HAVE BEEN CONSTRUCTED, PHASE II LAND DISTURBING ACTIVITIES MAY BEGIN. MAINTAIN PHASE I EROSION CONTROL IN AN OPERATIVE CONDITION.
 2. ONCE THE REMAINDER OF THE STORM SEWER HAS BEEN INSTALLED, AND THE INLETS ARE FUNCTIONAL, INSTALL THE INLET PROTECTION. RPP-RAP OUTLET PROTECTION MUST BE INSTALLED ONCE THE OUTLET STRUCTURE IS IN PLACE.
 3. ONCE ROUGH GRADING OF THE PARKING LOTS AND TRAVELWAYS HAS BEEN COMPLETED, THE AGGREGATE SUBBASE SHALL BE INSTALLED TO STABILIZE THE AREA.
 4. THE FILL SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION TO REDUCE THE CHANCE OF SHEET AND FILL EROSION. CONCENTRATED FLOWS SHALL BE DIVERTED AWAY FROM FILL SLOPES AND INTO A STABILIZED CHANNEL. TEMPORARY SLOPE DRAINS SHALL BE INSTALLED TO CONVEY CONCENTRATED RUNOFF DOWN SLOPE AND FILL SLOPES.
 5. UPON COMPLETION OF ALL CONSTRUCTION AND LAND DISTURBING ACTIVITIES, AND WHEN THE DISTURBED AREAS HAVE BEEN STABILIZED, THE SEDIMENT CONTROL MEASURES MAY BE REMOVED. WITH THE APPROVAL OF THE INSPECTOR. CONVERSION OF THE SEDIMENT BASIN TO STORMWATER MANAGEMENT/BMP SHALL BE COMPLETED AT THIS TIME. DIVERSION DIKE WILL REMAIN IN PLACE PERMANENTLY.

STORMWATER RUNOFF:
 THE INCREASE IN IMPERVIOUS AREA, DUE TO THE CONSTRUCTION OF THE PROPOSED CHURCH, WILL BE CONTROLLED BY AN ON-SITE BEST MANAGEMENT PRACTICES AND STORMWATER MANAGEMENT FACILITY, WHICH WILL BUILT WITH THE DEVELOPMENT OF THE SITE.

MAINTENANCE:
 ALL MEASURES ARE TO BE INSPECTED DAILY BY THE SITE SUPERINTENDENT AND INSPECTOR. ANY DAMAGED DEVICES WILL BE REPAIRED BY THE CLOSE OF THE DAY. ALL TRAPS SHALL BE CLEANED OUT MONTHLY AND AFTER ANY RAINFALL OF 1 INCH OR MORE. IN ADDITION, THE FOLLOWING MAINTENANCE SCHEDULE SHALL BE EMPLOYED:

- SEDIMENT TRAPS SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF OF THE HEIGHT OF THE NET STORAGE.
- STONE FILTERS SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF OF THE HEIGHT OF THE FILTER.
- SILT FENCE SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF OF THE HEIGHT OF THE FENCE.
- THE SEEDED AREAS WILL BE CHECKED REGULARLY TO INSURE THAT A GOOD STAND IS MAINTAINED.
- TEMPORARY STOCKPILES SHALL BE GRADED TO DRAIN FREELY AND HAVE PERIMETER EROSION CONTROLS INSTALLED IF TO REMAIN LONGER THAN 14 DAYS.
- DIVERSIONS SHOULD BE INSPECTED EVERY OTHER MONTH THE FIRST YEAR AFTER CONSTRUCTION AND ANNUALLY THEREAFTER. THE DIVERSIONS AND DRAINS SHOULD BE INSPECTED IMMEDIATELY AFTER ANY STORM EVENT EQUAL TO OR LARGER THAN THE 10-YEAR STORM EVENT. INSPECT BERMS FOR WEAR/TEAR, REPLACE DAMAGED LINING OR SOIL STABILIZERS AS NEEDED.

TEMPORARY SEEDING:
 SPECIFICATIONS
 PRIOR TO SEEDING, INSTALL NECESSARY EROSION CONTROL PRACTICES SUCH AS DIKES, WATERWAYS, AND BASINS.

PLANT SELECTION:
 SELECT PLANTS APPROPRIATE TO THE SURFACE AND SITE CONDITIONS FROM TABLES 3.31-8.

SEEDING PREPARATION:
 TO CONTROL EROSION ON BARE SOIL SURFACES, PLANTS MUST BE ABLE TO GERMINATE AND GROW. SEEDING PREPARATION IS ESSENTIAL.

- FERTILIZER SHALL BE APPLIED AT 600 LBS./ACRE OF 10-20-10 (14 LBS./1,000 SQ.FT.) OR EQUIVALENT NUTRIENTS. FERTILIZER SHALL BE INCORPORATED INTO THE TOP 2 TO 4 INCHES OF THE SOIL IF POSSIBLE.
- SURFACE ROUGHENING: IF THE AREA HAS BEEN RECENTLY LOOSENEED OR DISTURBED, NO FURTHER ROUGHENING IS REQUIRED. WHEN THE AREA IS COMPACTED, CRUSTED, OR HARDENED, THE SOIL SURFACE SHALL BE LOOSENEED BY DISCING, RAKING, HARROWING, OR OTHER ACCEPTABLE MEANS.
- TRACKING: TRACKING WITH BULLDOZER CLEATS IS MOST EFFECTIVE ON SANDY SOILS. THIS PRACTICE OFTEN CAUSES UNIFORM COMPACTION OF THE SOIL SURFACE, ESPECIALLY IN CLAYEY SOILS, AND DOES NOT ALLOW PLANT GROWTH AS EFFECTIVELY AS OTHER METHODS OF SURFACE ROUGHENING.

SEEDING:
 SEED SHALL BE EVENLY APPLIED WITH A BROADCAST SEEDER, DRILL, CULPACKER SEEDER OR HYDROSEEDER. SMALL GRAINS SHALL BE PLANTED NO MORE THAN ONE INCH DEEP. GRASSES AND LEGUMES SHALL BE PLANTED WITH NO LESS THAN 1/4" SOIL COVER.

MULCHING:
 1. TEMPORARY SEEDINGS MADE UNDER FAVORABLE SOIL AND SITE CONDITIONS DURING OPTIMUM SPRING AND FALL SEEDING DATES MAY NOT REQUIRE MULCH.
 2. SEEDINGS MADE IN FALL FOR WINTER COVER AND DURING HOT AND DRY SUMMER MONTHS SHALL BE MULCHED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. APPLICATION SHALL BE AS FOLLOWS:
 APPLICATION:
 MULCH MATERIAL SHALL BE SPREAD UNIFORMLY, BY HAND OR MACHINE.
 WHEN SPREADING STRAW MULCH BY HAND, DIVIDE THE AREA TO BE MULCHED INTO APPROXIMATELY 1,000 SQ.FT. SECTIONS AND PLACE 70-90 LBS. (1-1/2 TO 2 BALES) OF STRAW IN EACH SECTION TO FACILITATE UNIFORM DISTRIBUTION.

MULCH ANCHORING:
 STRAW MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT DISPLACEMENT. THE FOLLOWING METHODS OF ANCHORING STRAW MAY BE USED:
 1. MULCH ANCHORING TOOL (OFTEN REFERRED TO AS A KRIMPER OR KRIMPER TOOL). THIS IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL SURFACE. THIS METHOD PROVIDES GOOD EROSION CONTROL WITH STRAW. IT IS LIMITED TO USE ON SLOPES NO STEEPER THAN 3:1, WHERE EQUIPMENT CAN OPERATE SAFELY. MACHINERY SHALL BE OPERATED ON THE CONTOUR.
 2. FIBER MULCH: A VERY COMMON PRACTICE WITH WIDESPREAD USE TODAY. APPLY FIBER MULCH BY MEANS OF A HYDROSEEDER AT A RATE OF 500-750 LBS./ACRE OVER TOP OF STRAW MULCH OR HAY. IT HAS AN ADDED BENEFIT OF PROVIDING ADDITIONAL MULCH TO THE NEWLY SEEDING AREA.
 3. LIQUID MULCH BONDERS: APPLICATION OF LIQUID MULCH BONDERS AND TACKIFIERS SHOULD BE HEAVIEST AT EDGES OF AREAS AND AT CRESTS OF RIDGES AND BANKS. TO PREVENT DISPLACEMENT, THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BONDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR MAY BE SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL.

RE-SEEDING:
 AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEED AS SOON AS SUCH AREAS ARE IDENTIFIED.

**THIS DRAWING FOR
 PHASE II
 EROSION & SEDIMENT
 CONTROL & DRAINAGE
 DIVIDE PURPOSES ONLY**

CHKD:	RAM
DES:	RAM
DWN:	JWK
MSL:	MSL

REVISION

DATE	BY

HAYMARKET BAPTIST CHURCH
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

**PHASE II
 EROSION & SEDIMENT
 CONTROL & DRAINAGE
 DIVIDE PLAN**

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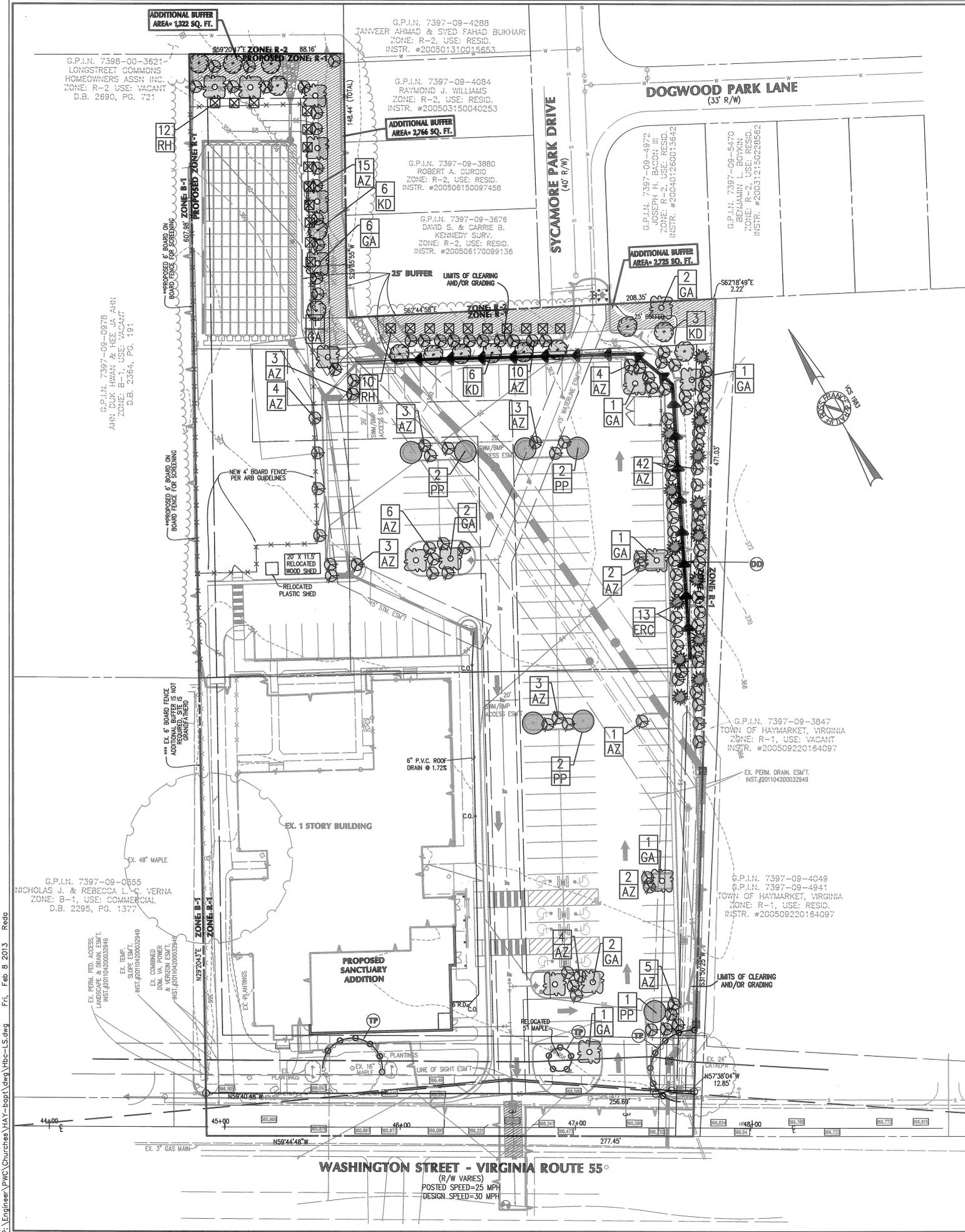
SCALE: 1"=30' CONTOUR INTERVAL = 2'
 MAY 15, 2007

Attachment: BAPTIST CHURCH SITE PLAN (1300 - Haymarket Baptist Church Final Site Plan)

COMMONWEALTH OF VIRGINIA
 R. MICHAEL MASSEY
 No. 23856
 2-6-13
 PROFESSIONAL ENGINEER

SHEET 5 OF 10
 FILE NO.: SP # 1592

Packet Pg. 19



BUFFER NARRATIVE

PROJECT DESCRIPTION:
THIS SITE CONSISTS OF 3.36 ACRES FOR HAYMARKET BAPTIST CHURCH OF WHICH 2.60 ACRES WILL BE DISTURBED FOR A BUILDING ADDITION, PARKING EXPANSION, AND AN UNDERGROUND DETENTION SYSTEM. THE SITE IS LOCATED ON THE NORTH SIDE OF WASHINGTON STREET IN HAYMARKET. THE SITE IS PRESENTLY DEVELOPED AS A CHURCH. THERE IS A WOODED AREA TO THE NORTH ALONG THE ADJOINING SINGLE FAMILY PROPERTIES WHICH PROVIDES A BUFFER.

SCREENING AND BUFFER YARD MATRIX:

SITE ZONE R-1
*THE NORTHERN PART OF THE SITE IS R-1 ZONE AND ADJOINING LAND USE ZONED R-2, A 10 FOOT BUFFER YARD WITH A TRANSPARENT SCREENING IS REQUIRED. THE PLAN PROPOSED A 25 FOOT WIDE BUFFER YARD WITH A TRANSPARENT SCREENING, AN ADDITIONAL 15 FOOT WIDE BUFFER YARD IS PROPOSED THROUGHOUT THE NORTHERN SIDE TO HELP AREAS WHERE THE STANDARD CANNOT BE MET.

****THE NORTHWESTERN PART OF THE SITE PROPOSED R-1 ZONE (EXISTING ZONE B-1) AND ADJOINING LAND USE ZONED B-1, A 25 FOOT WIDE BUFFER YARD WITH AN OPAQUE SCREENING IS REQUIRED. HOWEVER THE UNDERGROUND STORMWATER MANAGEMENT IS PROVIDED 5 FEET OUTSIDE THE PERIMETER OF ADJOINING AREA AND A 6 FOOT BOARD ON BOARD FENCE HAS BEEN PROPOSED AS AN ALTERNATIVE SCREENING.**

*****THE SOUTHWESTERN PART OF THE SITE EXISTING ZONED R-1, AND ADJOINING LAND USE ZONED B-1, A 25 FOOT WIDE BUFFER YARD WITH AN OPAQUE SCREENING IS REQUIRED. HOWEVER THERE IS NO IMPROVEMENT IN THIS AREA AND AN EXISTING 6 FOOT BOARD ON BOARD FENCE HAS BEEN PROVIDED AS AN ALTERNATIVE SCREENING METHOD. NO ADDITIONAL METHOD IS APPLIED.**

THE EASTERN PART OF THE SITE ZONED R-1, AND ADJOINING LAND USE ZONED R-1, NO BUFFER IS REQUIRED

NOTE:

1. THE OWNER OF FEE TITLE TO ANY PROPERTY ON WHICH PLANT MATERIAL HAS BEEN ESTABLISHED IN ACCORDANCE WITH AN APPROVED LANDSCAPE/PLANTING PLAN, SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE APPROVED PLANT MATERIAL, AS REQUIRED BY THE ORDINANCE.
2. THE WASHINGTON STREET IMPROVEMENT PLAN PHASE 1A PROJECT WILL MEET THE STREETSCAPE REQUIREMENTS OF SECTIONS 58-713 THROUGH 58-526 AS PART OF THE BUILDING ADDITION AND PARKING LOT EXPANSION. SEE ZONING DETERMINATION ON SHEET 3.

***SCREENING AND BUFFER YARD MATRIX. SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: R-2 SCREEN A (SA)**

G.P.I.N. 7398-00-3621, 7397-09-4288, 7397-09-4084, 7397-09-3880, 7397-09-3676, 7397-09-4972

REQUIRED BUFFER WIDTH: 10'	PROVIDED BUFFER WIDTH: 25'
REQUIRED BUFFER AREA: 4,450 SQ. FT.	PROVIDED BUFFER AREA: 6,813 SQ. FT.
TYPE OF PLANT: ALT.1	
1/1000 SQ.FT. CANOPY TREES, 4450/1000 = 5 REQUIRED	9 PROVIDED
1/500 SQ.FT. ORNAMENTAL TREES, 4450/500 = 9 REQUIRED	14 PROVIDED
0 EVERGREEN TREES, = 0	
1/100 SQ.FT. SHRUBS, 4450/100 = 45 REQUIRED	48 PROVIDED
TOTAL NUMBER OF TREES REQUIRED	59 REQUIRED 70 PROVIDED

***SCREENING AND BUFFER YARD MATRIX. PROPOSED SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: B-1 SCREEN C (SC) G.P.I.N. 7397-09-0978**

REQUIRED BUFFER WIDTH: 25'

****THE STANDARD BUFFER CANNOT BE MET PURSUANT TO SECTION 58-702. PER SECTION 58-699(c), AN ALTERNATE SCREEN IS PROVIDED BY A 6 FOOT BOARD ON BOARD FENCE ADJACENT TO G.P.I.N. 7397-09-0978 AND ADDITIONAL BUFFER AREAS ADJACENT TO THE R-2 ZONING DISTRICTS ALONG THE NORTHERN PROPERTY BOUNDARY.**

SEE BUFFER NARRATIVE THIS SHEET.

***SCREENING AND BUFFER YARD MATRIX. EXISTING SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: B-1 SCREEN C (SC) G.P.I.N. 7397-09-0355**

REQUIRED BUFFER WIDTH: 25'

*****THE STANDARD BUFFER CANNOT BE MET PURSUANT TO SECTION 58-702. PER SECTION 58-699(c), AN ALTERNATE SCREEN IS PROVIDED BY AN EXISTING 6 FOOT BOARD ON BOARD FENCE ADJACENT TO G.P.I.N. 7397-09-0355 AND ADDITIONAL BUFFER AREAS ADJACENT TO THE R-2 ZONING DISTRICTS ALONG THE NORTHERN PROPERTY BOUNDARY.**

SEE BUFFER NARRATIVE THIS SHEET.

SCHEDULE C PARKING LOT INTERIOR PLANTING

- 1) AREA OF PARKING: 61,017 SQ. FT.
- 2) INTERIOR LANDSCAPED AREA REQUIRED: 3,051 SQ. FT. (5%)
INTERIOR LANDSCAPED AREA PROVIDED: 3,946 SQ. FT. (6.5%)
INTERIOR PARKING: 61,017 SQ. FT. (GROSS) 5% = 3,051 SQ. FT. REQUIRED = 3,721 SQ. FT. PROVIDED

PARKING SPACES PROVIDED: 143
CANOPY TREES REQUIRED: 1/10 SPACES=14
SHRUBS REQUIRED: 16
SHRUBS PROVIDED: 3/10 SPACES=43
SHRUBS PROVIDED: 43

SCHEDULE E PARKING LOT PERIMETER AREA G.P.I.N. 7397-09-3847

REQUIREMENT: 2 TREES AND 6 SHRUBS FOR EVERY 30 LINEAR FEET OF LANDSCAPE PARKING STRIP.

- 1) LENGTH OF LANDSCAPE PARKING STRIP: 340 FT.
- 2) NUMBER OF PLANTS REQUIRED:
340 FT./30 FT.=11 (22 TREES & 66 SHRUBS)
LENGTH OF LANDSCAPE STRIP PROVIDED = 220'
- 3) NUMBER OF PLANTS PER REQUIRED PROVIDED LENGTH:
210 FT./30 FT. = 7 (14 TREES & 42 SHRUBS)

***THE STANDARD PERIMETER PARKING LOT LANDSCAPE CANNOT BE MET PURSUANT TO SECTION 58-703(d). PER SECTION 58-703(d), AN ALTERNATE SCREEN IS PROVIDED ADJACENT TO G.P.I.N. 7397-09-3847 DUE TO DRAINAGE INFRASTRUCTURE ASSOCIATED WITH THE WASHINGTON STREET IMPROVEMENT PLAN PHASE 1A AND PEDESTRIAN INTERCONNECTIVITY WITH THE ADJACENT TOWN OWNED PROPERTIES.**

SCHEDULE H - LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	QUANTITY
LARGE DECIDUOUS TREES					
	FRAXINUS PENNSYLVANIA	GREEN ASH	10'-12' (HT.)	2.5 INCHES	17
	PRUNUS CERASIFERA	PURPLE PLUM	10'-12' (HT.)	2.5 INCHES	7
SHRUBS					
	VARIOUS SPECIES	AZALEA	1'-2' (HT.)		110
	VARIOUS SPECIES	RHODODENDRUM	1'-2' (HT.)		22
SMALL EVERGREEN TREES					
	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6'-8' (HT.) W/ FULL BRANCHING		13
ORNAMENTAL					
	CORNUS KOUSA	KOUSA DOGWOOD	5'-6' (HT.)		15

PLANTING PROCEDURES:
ALL GROUND COVERS, SHRUBS AND TREES SHALL BE PLANTED FOLLOWING ACCEPTED AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND PROCEDURES. ALL TREES THAT REQUIRED STAKING SHALL BE STAKED ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, AND ALL VEGETATION SHALL BE WATERED AT THE TIME OF INSTALLATION ACCORDING TO THEIR SIZE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUATE WATERING AND MAINTENANCE OF THE PLANTS.

CHK.	ROOM	DATE	REVISION

HAYMARKET BAPTIST CHURCH
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

CONTOUR INTERVAL = 2'
SCALE: 1"=30'

MAY 15, 2007

LANDSCAPE PLAN

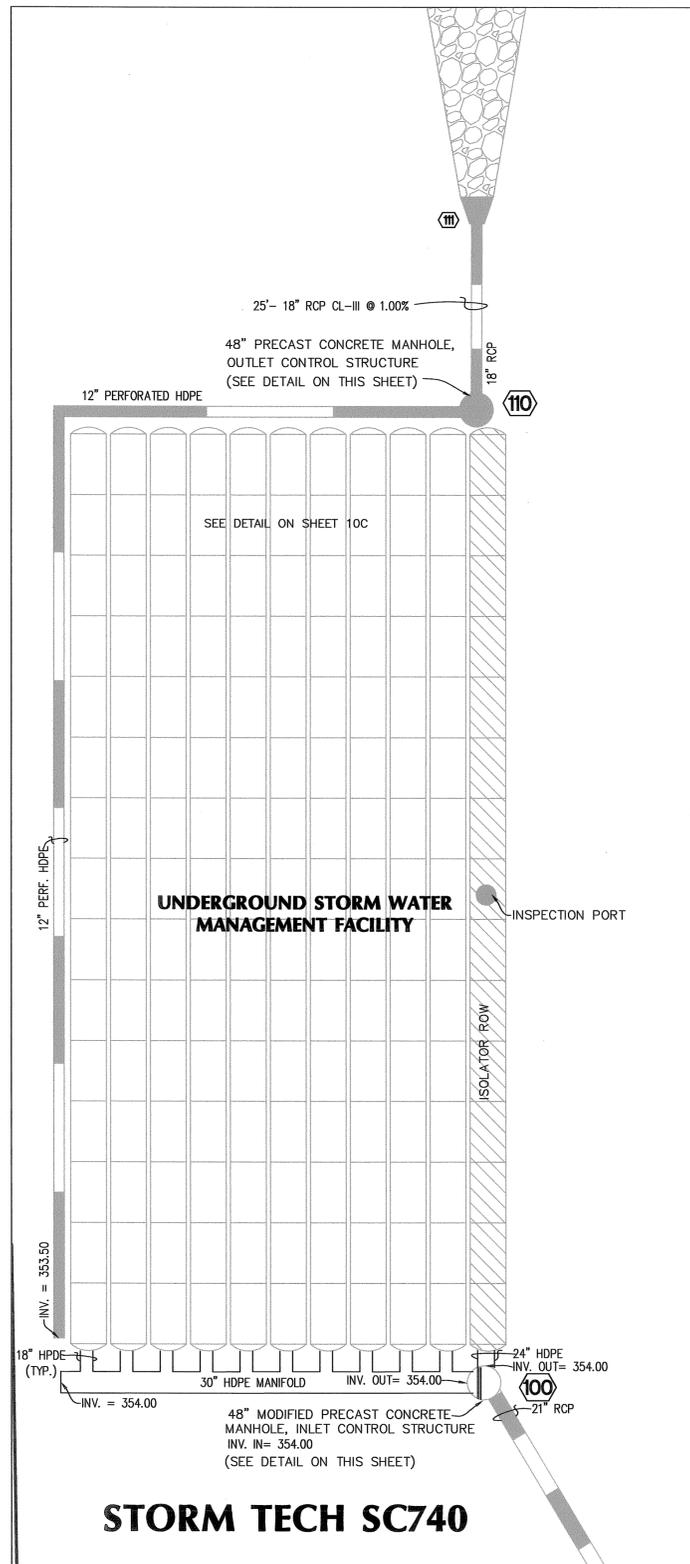
Attachment: BAPTIST CHURCH SITE PLAN (1360 - Haymarket Baptist Church Final Site Plan)

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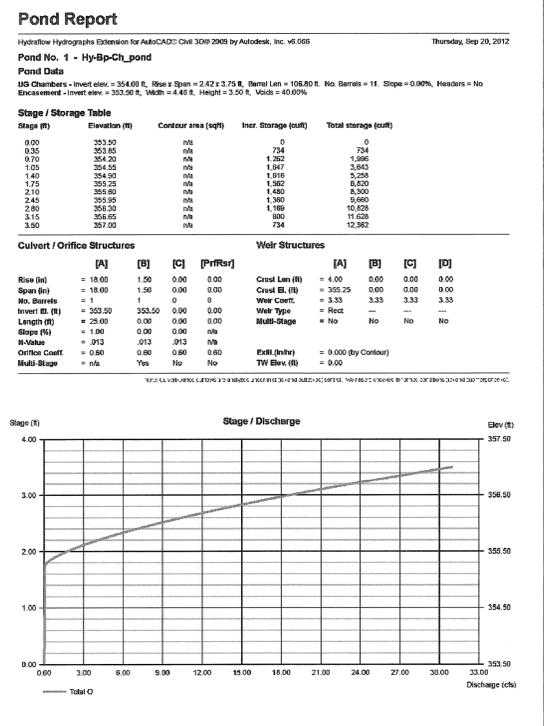
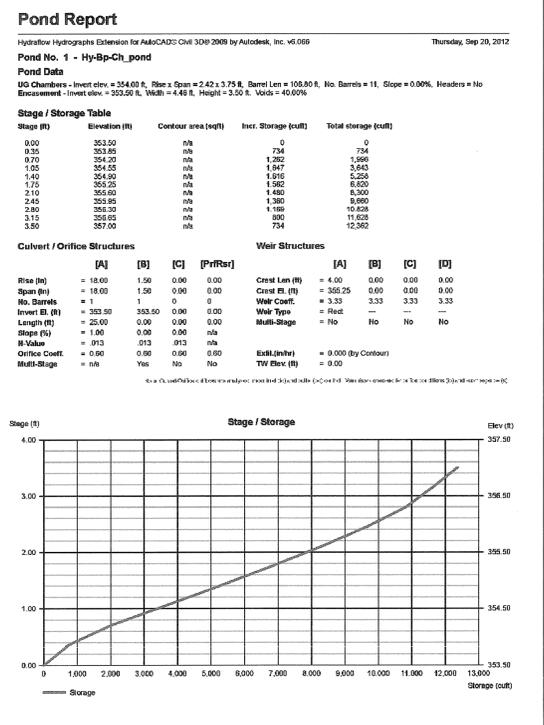
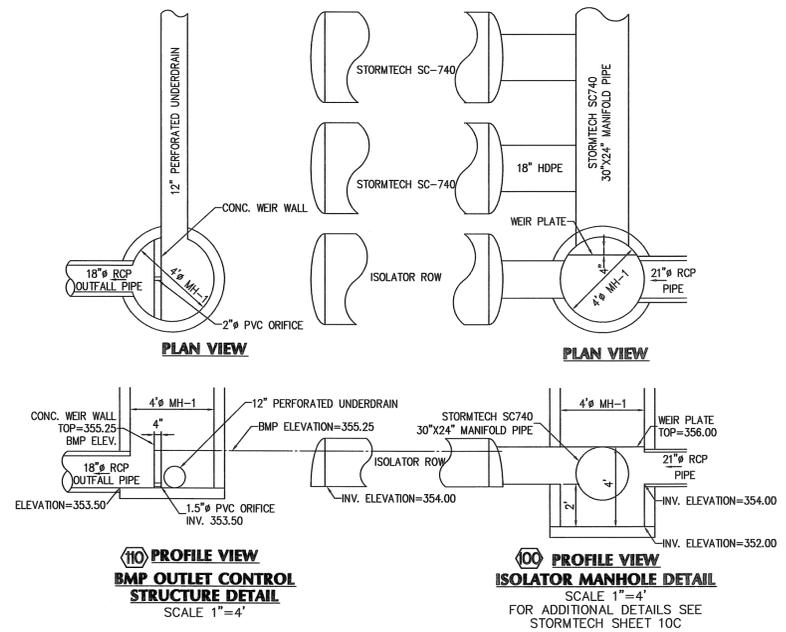
R. MICHAEL MASSEY II
No. 23856
02-08-13
PROFESSIONAL ENGINEER

SHEET 6 OF 10
FILE NO.: SP #1592

THIS DRAWING FOR LANDSCAPE PURPOSES ONLY



10 0 10 20
SCALE: 1" = 10'



ALLOWABLE DISCHARGE COMPUTATION

PRE-DEVELOPMENT PEAK FLOW

ON-SITE	Ac.	C'	CA'
	3.21	0.53	= 1.70
			1.70

PRE-DEVELOPED 'C' = 0.53
PRE-DEVELOPED Tc = 10 MIN.

2 YR.	= 3.21	x 0.53	x 4.60	= 7.83	cfs
10 YR.	= 3.21	x 0.53	x 5.92	= 10.07	cfs
100 YR.	= 3.21	x 0.53	x 8.10	= 13.78	cfs

POST-DEVELOPMENT PEAK FLOW FROM SITE

ON-SITE	Ac.	C'	CA'
	2.57	0.78	= 2.00

UN-CTRLD 0.64 0.35 = 0.22

3.21 Ac. 2.22

POST-DEVELOPED 'C' = 0.69
POST-DEVELOPED Tc = 5 MIN.

2 YR.	= 3.21	x 0.69	x 5.75	= 12.74	cfs
10 YR.	= 3.21	x 0.69	x 7.27	= 16.10	cfs
100 YR.	= 3.21	x 0.69	x 9.84	= 21.79	cfs

POST-DEVELOPMENT UNCONTROLLED BY-PASS

2 YR.	= 0.64	x 0.35	x 5.75	= 1.29	cfs
10 YR.	= 0.64	x 0.35	x 7.27	= 1.63	cfs
100 YR.	= 0.64	x 0.35	x 9.84	= 2.20	cfs

ALLOWABLE DISCHARGE FROM UNDERGROUND FACILITY

2 YR.	= 7.83 - 1.29	= 6.54	cfs
10 YR.	= 10.07 - 1.63	= 8.44	cfs

ACTUAL DISCHARGE FROM UNDERGROUND FACILITY

2 YR.	= 3.98	cfs (26 MIN.)
10 YR.	= 6.51	cfs (20 MIN.)

RESERVOIR ROUTING FORMULA

FORMULA: $I - O = ds/dt$
 WHERE: I = INFLOW
 O = OUTFLOW
 ds/dt = CHANGE IN STORAGE

HYDRAFLOW FIRST USES THE SPECIFIED STAGE/ STORAGE / DISCHARGE TABLE TO INTERNALLY PLOT A CURVE OF $2s/dt$ + O. IT THEN COMPUTES THE OUTFLOW HYDROGRAPH USING A PROCEDURE SIMILAR TO THE EXAMPLE SHOWN BELOW.

TIME (MIN)	li	lj	2S/dt-Oi	2S/dt+Oj	OUTFLOW (CFS)
0	0	24	0	-	0
4	24	95	4	24	10
8	95	206	33	123	45
...					

ROUTING PROCEDURE

- COL. 1 AND COL. 2 ARE READ FROM THE INFLOW HYDROGRAPH
- COL. 3 IS THE INFLOW AT TIME J.
- COL. 4 IS COL. 5 - 2x COL. 6
- COL. 5 FOR J IS (COL. 2 + COL. 3 + COL. 4)
- COL. 6 IS COMPUTED BY STRAIGHT-LINE INTERPOLATION FROM THE PLOT OF $2S/dt = 0$ VS. O.

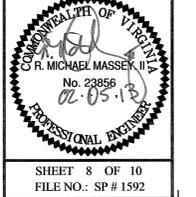
CHK:	REV:	DATE:	BY:
RAM			
DES:			
RAM			
DWN:			
JWK			
MSL			

HAYMARKET BAPTIST CHURCH
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

SCALE: 1" = 30'
 CONTOUR INTERVAL = 2'
 MAY 15, 2007

UNDERGROUND SWM COMPUTATIONS

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 8802 SUDLEY ROAD, SUITE 110
 MANASSAS, VIRGINIA 20108
 (703) 361-4188 FAX (703) 361-6353



TOWN OF HAYMARKET
DEPARTMENTS OF TRANSPORTATION / PUBLIC WORKS
UNIT PRICE LISTS
FOR

PERFORMANCE BONDS, LANDSCAPE ESCROWS, AND SILTATION & EROSION CONTROL ESCROWS

PROJECT NAME: HAYMARKET BAPTIST CHURCH

P.W.C. FILE #: 08-HAY03-R0 DATE PREPARED: MAY 15, 2007

NOTE: THIS FORM IS TO BE USED TO ESTIMATE PERFORMANCE BOND, LANDSCAPING ESCROW AND SOIL EROSION ESCROW PRICES POSTED WITH PRINCE WILLIAM COUNTY. THESE PRICES DO NOT INCLUDE ITEMS THAT ARE TO BE BONDED SEPARATELY WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

1. MOBILIZATION/DEMobilIZATION OF CONSTRUCTION EQUIPMENT

Table with 2 columns: QUANTITY, COST. Includes MOBILIZATION/DEMobilIZATION LUMP SUM \$10,000.00 (MIN)

2. STORM DRAINAGE

Table with 2 columns: QUANTITY, COST. Includes A. STRUCTURES (DI-1 to DI-12, MH FRAME & COVER) and B. CONCRETE PIPE (12" to 72" diam).

Table with 2 columns: QUANTITY, COST. Includes C. END WALLS (12" to 72" diam) and D. END SECTIONS (ES - 1) (12" to 36" diam).

Table with 2 columns: QUANTITY, COST. Includes E. CORRUGATED METAL PIPES (12" to 60" diam) and F. END SECTION (ES - 2) (15" to 48" diam).

Table with 2 columns: QUANTITY, COST. Includes G. AD N-12 (HDPE) (12" to 60" diam).

Table with 2 columns: QUANTITY, COST. Includes SUBSURFACE STORMWATER MANAGEMENT/BMP FACILITIES (165 SC 740 CHAMBERS, etc.).

Table with 2 columns: QUANTITY, COST. Includes SUBSURFACE STORMWATER MANAGEMENT/BMP FACILITIES (295 COVER FILL, 4 STORM PURE INSERT).

H. STORMWATER MANAGEMENT/BMP FACILITIES (SEE NOTE #5)

Table with 2 columns: QUANTITY, COST. Includes EXCAVATION, EMBANKMENT, STORM DRAINAGE PIPE (RCP, CMP, PVC, RISER), STORM DRAINAGE STRUCTURES (DI-7, MH-1, MH-2, etc.), GRAVEL FILTER SYSTEM, DRAINAGE BLANKET, CUT-OFF WALL, CONCRETE CRADLE, END WALL, END SECTION, TRASH RACK, STORMCEPTER, MONITORING WELL, BMP DEBRIS PROTECTION DEVICE, BIOTENTION (ITEMIZED COST), INFILTRATION TRENCH (ITEMIZED COST), LID (ITEMIZED COST).

Table with 2 columns: QUANTITY, COST. Includes SPILLWAY LINING (SEED, FERTILIZER & MULCH, SOD, HYDRAULIC CEM. CONC., BITUMINOUS CONCRETE, RIP-RAP, GROUDED RIP-RAP), EROSION CONTROL STONE, POROUS PAVEMENT, HIGH CHAIN LINK FENCE, SWM SIGN, ACCESS ROAD.

Table with 2 columns: QUANTITY, COST. Includes I. MISCELLANEOUS DRAINAGE ITEMS (BOX CULVERT, ENERGY DISSIPATOR, WING WALLS, ANCHORS, DITCHES, ROADSIDE STANDARD DITCHES, SOD DITCHES, PAVED DITCHES, FILTER CLOTH FABRIC & GABION STONE, RIP-RAP, GROUDED RIP-RAP, PAVED FLUME, FLUSH THE DRAINAGE SYSTEM).

3. CONSTRUCTION WITHIN THE RIGHT-OF-WAY AND/OR EASEMENTS

Table with 2 columns: QUANTITY, COST. Includes A. SITE WORK (CLEAR & GRUB, EXCAVATION, EMBANKMENT, ROCK EXCAVATION, SLOPE STABILIZATION, SLOPE STAB., SLOPE STAB. - SOD, STEEP SLOPES), B. SUBGRADE, SUBBASE AND BASE COURSE ITEMS (SUBGRADE PREPARATION, AGGREGATE, BITUMINOUS CONCRETE, GRAVEL SHOULDERS, UNDERDRAINS, SOIL CEM. STABILIZATION, LIME STABILIZATION, CEMENT TREATED AGGREGATE).

Table with 2 columns: QUANTITY, COST. Includes C. SUBBASE AND BASE COURSE ITEMS (SUBBASE & BASE COURSE, AGGREGATE, BITUMINOUS CONCRETE, GRAVEL SHOULDERS, CEMENT STABILIZATION, LIME STABILIZATION), D. ENTRANCES AND PIPE STEMS (DE-1 to DE-4, PP-1 to PP-2, CG-90 to CG-11, VALLEY GUTTER, PIPESTEM DRIVEWAY).

E. MISCELLANEOUS CONSTRUCTION ITEMS

Table with 2 columns: QUANTITY, COST. Includes SIDEWALK, HEADER CURB, CURB & GUTTER, BICYCLE TRAIL, WALKWAY, RAISED CONCRETE MEDIAN, TRAIL, RETAINING WALLS, TRAFFIC CONTROL SIGN, HC PARKING SPACE SIGN, ROADSIDE DELINEATORS, HAND RAIL, PAVEMENT MARKING, TRAFFIC BARRICADE, STREET LIGHTING, UTILITIES RELOCATION, P.E. CERTIFIED "AS-BUILT" PLANS.

4. SANITARY SEWER & WATER LINE CONSTRUCTION

Table with 2 columns: QUANTITY, COST. Includes FIRE HYDRANT, SANITARY SEWER MANHOLE, WATER MAIN, SANITARY SEWER PIPE LINE, SANITARY SEWER MANHOLE STRUCTURES.

Table with 2 columns: QUANTITY, COST. Includes FOR SIZES LARGER THAN 15" DIA, ADD \$4.00 PER INCH INCREASE IN DIAMETER.

Table with 2 columns: QUANTITY, COST. Includes 5. MISCELLANEOUS COSTS (ADMINISTRATIVE COST, INFLATION COST, TOTAL PERFORMANCE BOND AMOUNT).

6. LANDSCAPING ESCROWS

Table with 2 columns: QUANTITY, COST. Includes A. DECIDUOUS TREES (4'-5', 5'-8', 8'-10'), B. EVERGREEN TREES (4'-5', 5'-8', 8'-10'), C. SHRUBS (132 18"-24", 24"-30"), D. REFORESTATION (# OF ACRES).

7. SILTATION AND EROSION CONTROL ESCROWS

Table with 2 columns: QUANTITY, COST. Includes 755 DIVERSION DIKE, CLEANING OUT SWM FACILITIES, SILT TRAPS AND SILT BASINS, SILT FENCE, SUPER SILT FENCE, SOIL STABILIZATION, CHECK DAM, TEMP. CONST. ENTRANCE, WASH RACK, TEMP. SEDIMENT TRAP, CHANNEL DIVERSION, 4' PLASTIC ORANGE SAFETY FENCE, YARD UTILITY REFRUBISHMENT, OTHER (TREE PROTECTION).

MINIMUM ACCEPTABLE AMOUNT FOR SILTATION AND EROSION CONTROL ESCROW IS \$1,000.00

I HEREBY CERTIFY THAT THE ABOVE IS MY BEST ESTIMATE OF THE QUANTITIES AND CURRENT COST OF BONDABLE IMPROVEMENTS, LANDSCAPING ITEMS, AND SILTATION & EROSION CONTROL ESCROW IN THIS SUBDIVISION OR SITE PLAN.

PREPARER'S SIGNATURE: R. MICHAEL MASSEY, II
TELEPHONE #: (703) 361-4188
NAME (PRINT): ROSS, FRANCE & RATLIFF LTD.
COMPANY OR FIRM

Table with 2 columns: QUANTITY, COST. Includes 200 SILT REMOVAL X 2 TIMES, TEMP. SEDIMENT TRAP, WET STORAGE, TOTAL SILT REMOVAL.

Vertical sidebar containing: REVISION table, DATE table, HAYMARKET BAPTIST CHURCH logo, UNIT PRICE LIST, Ross, France & Ratliff, Ltd. logo, CIVIL ENGINEERING - LAND SURVEYING info, PROFESSIONAL ENGINEER seal, SHEET 9 OF 10 FILE NO.: SP # 1592, Packet Pg. 25.

UTILITY NOTE:

ROSS, FRANCE, & RATLIFF, LTD. DOES NOT CERTIFY TO THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES. THE UNDERGROUND UTILITIES SHOWN ARE FROM AVAILABLE RECORDS. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATION OR THAT THEY HAVE BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THESE TEST HOLES SHALL BE MADE TO VERIFY ALL CROSSINGS BETWEEN NEW AND EXISTING FACILITIES AND AT CRITICAL GRADE CHANGES. IF CONDITIONS ARE FOUND IN THE FIELD WHICH ARE MATERIALLY DIFFERENT FROM THE PLANS, THE CONTRACTOR SHALL NOTIFY ROSS, FRANCE, & RATLIFF, LTD. AND APPROPRIATE REVISIONS SHALL BE MADE TO THE PLANS.

LEGEND

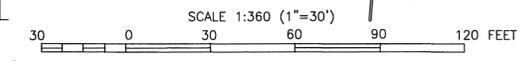
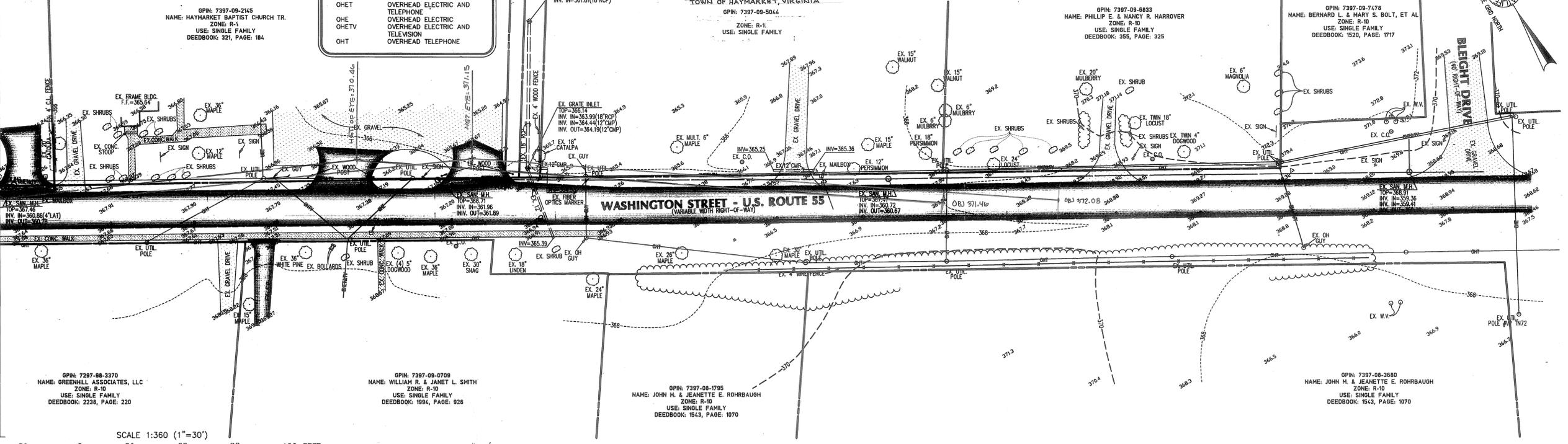
CONC.	CONCRETE
EX.	EXISTING
F.P.	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
BLDG.	BUILDING
UTIL.	UTILITY
CL.	CHAIN LINK
TEL.	TELEPHONE
PED.	PEDESTAL
MULT.	MULTIPLE
C.O.	CLEAN OUT
C&G	CURB AND GUTTER
OHE&TV	OVERHEAD ELECTRIC TELEPHONE AND TELEVISION
OHE	OVERHEAD ELECTRIC
OHE&TV	OVERHEAD ELECTRIC AND TELEVISION
OHT	OVERHEAD TELEPHONE

SURVEYS BY
ROSS, FRANCE & RATLIFF, LTD.
8802 SUDLEY ROAD
MANASSAS, VIRGINIA 20110
(703) 361-4188

SURVEY CONTROL TABLE

NO.	BEARING	GROUND DISTANCE	NORTHING	EASTING	ELEVATION
POL#42	S59°28'49"E	345.30'	6,979,608.44	11,729,699.91	367.79
POL#41	S59°28'49"E	285.07'	6,979,433.09	11,729,997.36	367.44
POL#40	S59°28'49"E	285.07'	6,979,288.32	11,730,242.94	366.47
TRV#39	S59°28'49"E	450.18'	6,979,059.70	11,730,630.75	369.38

NOTE: THE GRID FACTOR FOR CONVERTING GROUND DISTANCES TO GRID DISTANCES IS 0.99993882.



VERTICAL SCALE: 1"=5'



PLAN AND PROFILE
SIGHT DISTANCE

TOWN OF HAYMARKET
U.S. ROUTE 55

DATE	REVISION

DATE: 10/1/11
SCALE: 1" = 30'
DESIGNED BY: JRB
DRAWN BY: JRB
CHECKED BY: JWL
PROJECT:
CONTRACT NO.:
SHEET NO.: 10-A

UTILITY NOTE:

ROSS, FRANCE, & RATLIFF, LTD. DOES NOT CERTIFY TO THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES. THE UNDERGROUND UTILITIES SHOWN ARE FROM AVAILABLE RECORDS. THIS DOES NOT CONSTITUTE A GUARANTEE OF THEIR ACTUAL LOCATION OR THAT THEY HAVE BEEN SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF TEST HOLES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THESE TEST HOLES SHALL BE MADE TO VERIFY ALL CROSSINGS BETWEEN NEW AND EXISTING FACILITIES AND AT CRITICAL GRADE CHANGES. IF CONDITIONS ARE FOUND IN THE FIELD WHICH ARE MATERIALLY DIFFERENT FROM THE PLANS, THE CONTRACTOR SHALL NOTIFY ROSS, FRANCE, & RATLIFF, LTD. AND APPROPRIATE REVISIONS SHALL BE MADE TO THE PLANS.

SURVEY CONTROL TABLE

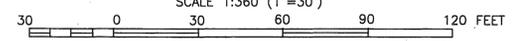
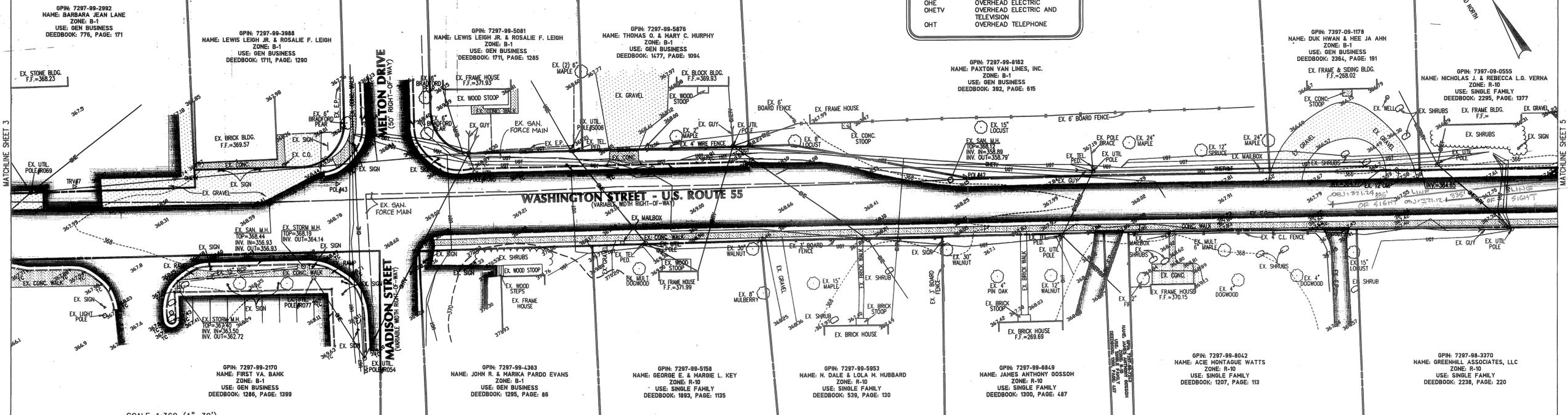
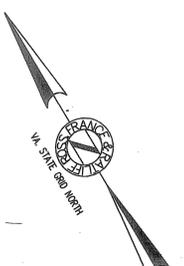
NO.	BEARING	GROUND DISTANCE	NORTHING	EASTING	ELEVATION
TRV#6	S68°37'26"E	259.98'	6,979,963.92	11,729,015.54	367.02
TRV#7	S59°28'49"E	151.69'	6,979,869.16	11,729,257.64	367.57
POL#43	S59°28'49"E	361.71'	6,979,792.13	11,729,388.31	368.62
POL#42	S59°28'49"E	345.30'	6,979,608.44	11,729,699.91	367.79
POL#41	S59°28'49"E	345.30'	6,979,433.09	11,729,997.36	367.44

NOTE: THE GRID FACTOR FOR CONVERTING GROUND DISTANCES TO GRID DISTANCES IS 0.9993682.

SURVEYS BY
ROSS, FRANCE & RATLIFF, LTD.
8802 SUDLEY ROAD
MANASSAS, VIRGINIA 20110
(703) 361-4188

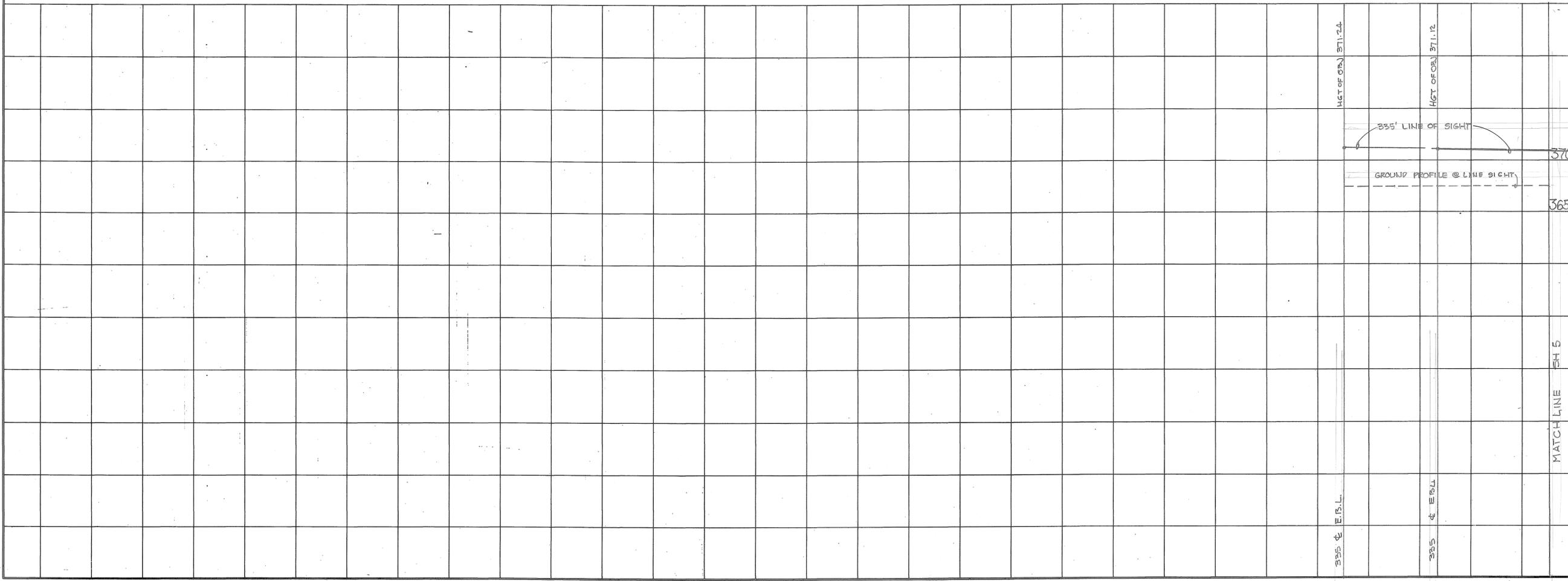
LEGEND

CONC.	CONCRETE
EX.	EXISTING
E.P.	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
B.L.D.G.	BUILDING
UTIL.	UTILITY
C.L.	CHAIN LINK
TEL.	TELEPHONE
PED.	PEDESTAL
MULT.	MULTIPLE
C.O.	CLEAN OUT
C&G	CURB AND GUTTER
OHT&TV	OVERHEAD ELECTRIC TELEPHONE AND TELEVISION
OHT	OVERHEAD ELECTRIC TELEVISION
OHTV	OVERHEAD ELECTRIC AND TELEVISION
OHT	OVERHEAD TELEPHONE



PLAN AND PROFILE
SIGHT DISTANCE

TOWN OF HAYMARKET
U.S. ROUTE 55



DATE	REVISION

DATE: _____
 SCALE: 1" = 30'
 DESIGNED BY: _____
 DRAWN BY: JRB
 CHECKED BY: JWL
 PROJECT: _____
 CONTRACT NO.: _____
 SHEET NO.: 10-3

CIVIL ENGINEERING - LAND SURVEYING



Ross, France & Ratliff, Ltd.

8802 SUDLEY ROAD • MANASSAS, VIRGINIA 20110-1731 • (703) 361-4188 • WWW.RFRLTD.COM

Thomas A. Dougher
President

Charles E. Ross
Joe H. France

R. Michael Massey II
Vice President, Secretary

Larry J. Ratliff
Vice President, Treasurer

February 6, 2013

Ms. Holly Montague, P.E. – Town Engineer
The Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Re: Plan Name: Haymarket Baptist Church Building Addition & Parking Expansion
Plan Number: 08-HAY03-R0
Final Site Plan- 4th Submission

Dear Ms. Montague

The following are our responses to the comments generated from the 4th review of the above referenced plan:

PLATS

1	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	No plat provided in last submission. Provide plat to verify previous comments were addressed. Response: Plat is provided with this submission.
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PLANS

1	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(37)	On E&S Phase II, on top of the new sanctuary addition, there is text that reads, "Ex. Roof Area down spouts @ grade to #104." Is this A=0.11 ac included in the "To #104 Total A =0.53 Ac, is it in addition to this area or is it text that does not belong? Does the existing roof & new sanctuary actually drain to #104? Response: - Roof drain has been added to the plan. Storm computation, E&S Phase II, and BMP plan have been revised accordingly.
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2	Haymarket 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(41)	Per discussion, the Diversion Dike will be left in place permanently. Add a note to the Erosion Control Narrative that the Diversion Dike will remain in place permanently and include permanent maintenance note(s). Response: Note has been added to the Erosion and Control Narrative accordingly.
3	Haymarket 58-506(3)l.6. 58-699(c) 58-703(f) PWC Admin. Proced. Man. 4.05.4B(43)	Submit a waiver for using alternate buffer screening on the northwest side of the project. Response: Waiver is being submitted with submission Include waiving perimeter parking lot landscaping requirements on the southeast side of the parking lot due to the drainage proposed by the Town's Streetscape project. Response: Waiver has been included accordingly.
4	Haymarket 58-506(3)l.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	a. Include a perimeter parking lot landscaping schedule for the landscaping provided on the northeast side of the parking lot. Response: Schedule has been added to plan. b. Move the rhododendrons that are within the fence at the Tot Lot to outside the fence so they can be claimed for buffer credit. Response: Rhododendrons have been moved to the outside of the fence.
5	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(19) 4.05.4B(38) Fairfax Co PFM Pg. 6-30	Per Fairfax County PFM: In nonresidential areas, "open space" is defined as perpetually undisturbed areas placed in floodplains or conservation easements and without other encumbrances. It also states: Any areas with maintained landscaping or active recreation areas are not to be used in "open space" determinations. Response: Open space has been eliminated accordingly. Consider reducing or eliminating the Open Space providing BMP credit so that the proposed landscaping will not have to be relocated in this area. Only 20% Phosphorus Removal is required for redevelopment per previous discussions, but Site Coverage will still need to be verified once both the area behind the Diversion Dike and the area currently in the Open Space are added to the uncontrolled area. Response: Open space has been eliminated. BMP computations have been revised accordingly. If Open Space is not eliminated, there are not any Open Space minimum size requirements but any Open Space needs to be placed in an easement if it is used for 100% BMP credit. Response: Open space has been eliminated.
6	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook	a. Since the Diversion Dike is to remain in place, remove A-2 notation on map. In the computations, it appears that areas A1 and A2 already do not include this area (A1 + A2 = 2.36 Ac which matches storm computations that do not include this area). Add this area to A-4, Developed without controls, if it is already not included. Response: A-2 notation shown behind the Diversion Dike and has been removed. Total area draining to BMP facility has been revised to 2.57 acre. Diversion Dike has been moved back to increase the drainage area going to structure #104 for BMP purpose. b. Is the existing roof/new sanctuary addition draining to #104 (see comment #1)? If it is, hatch this area on the BMP Map. Response: Roof drain has been provided to transport the existing building and proposed sanctuary roof area. BMP area has been

		<p>revised.</p> <p>c. Provide documentation that other jurisdictions have allowed 10% credit for “Filter Strip” on grassed/landscaped areas. This documentation can be an approved BMP Map & Computations allowing the 10% credit so long as it is apparent that it is the same type of situation (grassed/landscaped area). Response: Filter Strip credit has been eliminated.</p> <p>d. Per Outlet Computation, the orifice size should be 0.0694666 (0.8”). The orifice in the SWM computations 2”. Even rounding for available pipe include the area remaining behind the Diversion Dike to be left in place and any reduction of Open Space].sizes, why is the orifice in the SWM computations more than twice this size? The drawdown time will be much less than 48 hours if a 2”orifice is used. Response: Computations have been revised and 1.5” office size is required.</p> <p>e. Revise the Water Quality Narrative to read: The site consists of 3.207 acres for an existing Church, which 2.60 acres will be disturbed. 0.36 acres of developed area drains through storm-pure filter bags located at structures 101, 102, 103 and 104. An additional 2.00 acres will drain to structures 101, 102, 103 and 104, but will bypass the storm-pure filter due to the capacity of the filter and will drain directly to the Underground Stormwater Management Pond. XX acres of developed area drains uncontrolled from the site [update this area to 0.39 acres of developed area drains through the grass and tree filter strip located in the northern part of the site. Per Prince William County DCSM 720.02A, a minimum of twenty percent (20%) phosphorus removal shall be provided for redevelopment sites. Response: Water Quality Narrative has been revised accordingly.</p>
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If you have any questions please call (703)361-4188.

Sincerely,

 Tsigereda Damte
 Project Engineer
 Ross, France & Ratliff, Ltd.

CIVIL ENGINEERING - LAND SURVEYING



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Thomas A. Dougher
President

Charles E. Ross
Joe H. France

R. Michael Massey II
Vice President, Secretary

Larry J. Ratliff
Vice President, Treasurer

October 8, 2012

Ms. Holly Montague, P.E. – Town Engineer
The Town of Haymarket
 P.O. Box 1230
 Haymarket, VA 20168

Dear Ms. Montague

The following are our responses to the comments generated from the 3rd review of the above referenced plan:

PLATS

1	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	Show all existing easements. Include the existing easements that are now recorded easements from the Enhancement Plan via the Certificate of Take. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town being finalized Response: Existing and proposed easements have been shown accordingly.
2		Under Owner's Consent & Dedication, change 3 rd from last sentence from County to Town. Response: Owner's Consent & Dedication sentence has been revised accordingly.
3		Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements. Response: Rezoning application has been submitted. Required buffers have been provided.

PLANS

Page 1 of 6

SPECIALIZING IN SITE DEVELOPMENT, PLANNING, WATER AND SEWER DRAINAGE, UTILITIES, ROADS AND ALL TYPES OF LAND SURVEYS

COMMERCIAL • INDUSTRIAL • GOVERNMENTAL • SCHOOLS • SUBDIVISIONS

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

1	Washington Enhancement Plan Phase 1A	<p>a. Since this plan raises the grade on the site and the Enhancement Plan lowers the street grade, provide a grading detail and/or profile demonstrating how the two projects will ultimately tie-in together.</p> <p>Response: Grading has been adjusted accordingly. Detail and profiles demonstrating how the two projects will finally tie in together have been provided accordingly.</p> <p>b. If this plan is resubmitted after the pending agreement is finalized between the Church and the Town and the Enhancement Plan drainage is revised, show the proposed Enhancement drainage cutting across the parking lot and label "By Others." Additional comments regarding conflicts with Enhancement drainage are held and will not need to be resolved if the</p> <p>Response: Proposed Enhancement drainage cutting across the parking lot has been shown accordingly.</p>
2	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	<p>Show all existing Right of Way and easements. Include the existing rightof way and easements that are now recorded from the Enhancement Plan via the Certificate of Take. What is labeled as Future Right of Way is not the actual Right of Way line but an easement line. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town.</p> <p>Response: Easements have been shown accordingly. The permanent drainage easement is subject to change per agreement.</p>
3	Haymarket 58-506 3(h) PWC Admin. Proced. Man. 4.05.4B(28) & B(34)	<p>a. Show the setback line on the plans. Response: Setback lines have been shown accordingly.</p> <p>b. Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements. Response: Rezoning application has been submitted. A matrix indicating the required screen adjacent to each property/zoning district boundaries have been provided accordingly. Alternative 6' board on board fence screening has been provided along the western property boundary where the standard cannot be met.</p>
4	Haymarket 58-506 3(h) PWC Admin. Proced.	Verify that the line of sight is still outside the existing Right of Way after showing the correct Right of Way (see note 2). Use intersection sight distance of 335' instead of the 390' shown on the plans and also

	Man. 4.05.4B(14)	you may take advantage that the eye location only needs to be 14.5' minimum from the edge of pavement instead of the 18' shown on the plans. The sight distance profile is shown correctly with a line of sight of 335'. Response: Line of sight has been revised and easement has been provided where the line of sight is inside the existing Right of Way
5	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(37)	Verify that all areas shown on E&S Phase II & the SWM/BMP map are incorporated into the drainage areas on the storm comps. For instance, it is not clear what structure picks up the A=0.26 at the Tot Lot/SWM facility. In addition, the SWM/BMP computations show 2.74 Ac are being treated but the storm computations only show 2.25 Ac as entering the system at Str. 100. Response: All area shown on E&S Phase II & the SWM/BMP map vs. areas on the storm comps have been coordinated with each other.
6	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(41) VA E&S Control Handbook	a. In E&S Phase I, the Diversion Dike/Sediment Trap appear to block the existing swale as it runs along the property line and back onto Church property behind GPIN 7397-09-3676, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? Response: Diversion Dike and Sediment Trap have been revised to avoid blocking the existing swale. Grading has been revised to not impact swale. b. In E&S Phase II, the Diversion Dike stops where the proposed grading is still forcing the water back into the parking lot and ultimately into Str.101, defeating its purpose. Response: Diversion Dike has been extended to force the water back into the existing swale. c. On E&S details, X out all practices not used (i.e. Level Spreader, FuelTank Containment, etc.) Response: On E&S details all practices not used have been crossed out accordingly. d. In Erosion Control Narrative on Sheet 5, add maintenance note for Temporary Sediment Trap. Response: In Erosion Control Narrative on Sheet 5, maintenance note for Temporary Sediment Trap has been added accordingly. e. In Erosion Control Narrative on Sheet 5, add narrative/installation notes for Sediment Control, Phase II. Response: In Erosion Control Narrative on Sheet 5, narrative/installation notes for Sediment Control, Phase II. has been added accordingly.
7	Haymarket	a. On BMP Plan, show appropriate hatching for west driveway and

	<p>58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook</p>	<p>grassed area adjacent to western property line. Response: BMP plan hatching have been determined based on the drainage divides and locations of structural controls.</p> <p>b. On BMP Plan & Computations, fill out Part I. Water Quality Narrative. Response: On BMP Plan & Computations, Part I. Water Quality Narrative has been provided.</p> <p>c. Storm Pure insert is listed as a BMP, but nowhere in the plans is it noted which structures have the inserts. Label the storm profile for structures with Storm Pure inserts. Response: Structures with Storm Pure inserts have been labeled accordingly.</p> <p>d. When providing BMPs in series, subsequent BMPs have reduced efficiencies. A different project within the Town reduced the efficiency 20% for each subsequent BMP in the series. Update Phosphorus Removal chart to reflect the BMPs in series. Response: Phosphorus Removal chart to reflect the BMPs in series has been updated accordingly.</p> <p>e. Per manufacturer, the phosphorus removal for Storm Tech chambers is 49% maximum. I recommend using a rate 40%-45% since facilities rarely reach their maximum ability. Update Phosphorus Removal chart. Response: The phosphorus removal for Storm Tech chambers has been revised to 45% accordingly.</p> <p>f. Per manufacturer, max flow rate through Storm Pure insert is 0.51 cfs and max flow rate for filter + bypass is 3.16 cfs. Flow rates through the structures are higher than this. Verify this type of BMP is appropriate or consider other BMP type (i.e. Filterra Unit) Response: Maximum flow rate through each storm pure insert has been revised to 0.51 cfs. accordingly</p>
<p>8</p>	<p>Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38)</p>	<p>a. Provide maintenance note for the Storm Tech unit. Response: Maintenance note for the Storm Tech unit has been provided.</p> <p>b. Verify height of weir wall on BMP Outlet Structure detail on Sheet 8. It is listed as 355.25, but all associated pond computations say 355.50. Response: Height of weir wall on BMP Outlet Structure detail on Sheet 8 has been verified. Pond routing has been revised accordingly.</p>
<p>9</p>	<p>Haymarket 58-506(3)k.8.</p>	<p>a. Show the depth of water on the ditch cross section for Outfall E Response: Existing ditch should be re-installed as part of the</p>

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

	58-506(3)1.8. PWC DCSM 4.05.4B(37)	improvement plan project by others. Show ditch computation and cross section for the SWM/BMP outfall. Response: Ditch computation and cross section for the SWM/BMP outfall has been shown on sheet 5.
10	Haymarket 58-506(3)1.6. 58-700 PWC Admin. Proced. Man. 4.05.4B(43)	Provide the Buffer Landscaping Schedule(s) with required and propose plantings for the buffers. Response: Required and proposed Buffer Landscaping Schedule(s) with plantings have been provided.
11	Haymarket 58-506(3)1.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	a. The shrubs for the interior parking lot landscaping need to be interior to the parking lot, not on the perimeter. Response: Shrubs for the interior parking lot landscaping have been provided interior to the parking lot. b. Provide perimeter parking lot landscaping & schedule for the east side of the parking lot. The Town treats vacant parcels as being developed per 58-698. In addition, the purpose of perimeter parking lot landscaping is to shield the parking lot. The R-1 zoning is for single family home detached dwellings and certain additional uses which serve residents. Churches are allowed in R-1, but consideration should be given to the intent of the ordinance. Parking lots are normally associated with denser residential and business/industrial areas, not single family homes. While a full blown buffer is not required because the Church's R-1 parcel is adjacent to another R-1 parcel, minimally provide perimeter parking lot landscaping for parking lot adjacent to other parking lots per 58-703. A waiver can be requested for areas that cannot be planted due to existing drainage/ Enhancement plan drainage easement. Response: Perimeter parking lot landscaping is not required per Section 58-703 (b). This section stated that perimeter parking lot landscaping is required if the parking area is adjacent to a public or private street or adjacent to other parking lot.
12	Haymarket 58-506(3)1.9. PWC Admin. Proced. Man. 4.05.4B(39)	The proposed grading is filling in the existing swale running along the property line and back onto Church property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? Response: Grading line has been revised.
13	PWC Admin. Proced. Man. 4.05.4B(32) PWC DCSM	On Handicap Ramp 1, a low point is being created at Point 11. Verify correct elevations are being shown or revise grading. Response: Handicap Ramp has been corrected.

14	602.07.R VDOT CG-12 Unit Price List	<p>a. Verify storm sewer lengths. I compute 179' of 15" pipe instead of 207', 33' of 18" pipe instead of 8', and 36' of 21" pipe instead 65'.</p> <p>Response: The 15" pipe total length is 207. You didn't compute the 28' RCP pipe from structure 101 to 102. 18" and 21' pipe have been revised.</p> <p>b. Add raising existing inlets & providing MH tops</p> <p>Response: MH tops and structures have been added to unit price list.</p> <p>c. Add Storm Pure inserts.</p> <p>Response: Storm Pure insert have been added accordingly.</p> <p>d. Add rip-rap outfalls.</p> <p>Response: Rip-rap outfalls have been added to the unit price list.</p> <p>e. Add CG-12s.</p> <p>Response: CG-12s have been added to the unit price list.</p>
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If you have any questions please call (703)361-4188.

Sincerely,



Tsigereda Damte
Project Engineer
Ross, France & Ratliff, Ltd.



Ross, France & Ratliff, Ltd.

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Vice President, Treasurer

February 6, 2013

Mr. R. Marchant Schneider – Town Planner
The Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Re: Plan Name: Haymarket Baptist Church Building Addition & Parking Expansion
Plan Number: 08-HAY03-R0
Final Site Plan- 4th Submission

Dear Mr. Schneider:

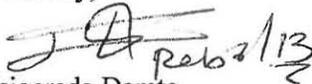
The following are our responses to the comments generated from the 4th review of the above referenced plan:

1. Sheet 1, "Cover Sheet", "Present Zoning and Use", add text "Proposed: R-1, Church" following the text "B-1 and R-1, Church".
Response: Text has been added to the cover sheet.
2. Sheet 1, "Revisions", please list comment response revision dates to the plan set.
Response: Comment response revision dates have been added to cover sheet.
3. Sheet 3, Site Plan, insert Zoning Determination Letter dated August 6, 2012.
Response: Zoning Determination letter has been added to site plan sheet.
4. Sheet 3, Site Plan, Note 11, add a footnote to "Front: 35 Feet" referencing the Zoning Determination Letter.
Response: Footnote has been added to site plan sheet.
5. Sheet 3, Site Plan, Note 11, add a footnote to "Site Coverage Provided: 72.3%" referencing the Zoning Determination Letter.
Response: Footnote has been added to site plan sheet.
6. Sheet 3, Site Plan, Sheet 3a, Details, Dumpster Pad, note the dumpster pad with screen is to be provided per the Town of Haymarket Architectural Review Board Guidelines. The guidelines are posted online at www.townofhaymarket.org.
Response: Note has been added to sheet 3.

7. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 2 (**), replace "provided" with "proposed".
Response: Provided has been replaced by prosed on Landscape Plan.
8. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), "...adjoining land use zone R-2" should reference B-1, note R-2.
Response: B-2 has been noted in place of R-2.
9. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), strike the language followin "...no improvement in this area" and insert "... and an existing a 6 foot board on board fence has been provide as an alternative screening method. No additional method is applied." **Response: Language has bee changed as requested.**
10. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix(es)", indicate the PIN#s to which the screen an buffer yard is applied.
Response: PIN #s have been added.
11. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 2 (**), replace footnot language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), a alternate screen is provided by a 6 foot board on board fence adjacent to PIN# ____ and additional buffer area adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet."
Response: Footnote language has been replaced.
12. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 3 (***), replace footnot language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), a alternate screen is provided by an existing 6 foot board on board fence adjacent to PIN# ____ and additiona buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative thi Sheet."
Response: Footnote language has been replaced.
13. Sheet 6, Landscape Plan, add an additional Schedule for perimeter parking lot landscaping adjacent to PIN# ____ (Section 58-703). Add a reference stating: "The standard perimeter parking lot landscaping cannot be met pursuant to Section 58-703(d). Per Section 58-703(f), an alternate screen is provided adjacent to PIN# ____ due to drainage infrastructure associated with the Washington Street Improvement Plan Phase IA and pedestrian interconnectivity with the adjacent Town owned properties."
Response: Schedule for perimeter parking lot landscaping has been added.
14. Sheet 6, Landscape Plan, add a note to the Sheet stating that the Washington Street Improvement Plan Phase 1A project will meet the Streetscape Requirements of Sections 58-713 through 58-526 as part of the building addition and parking lot expansion. Reference the Zoning Determination inserted on Sheet 3.
Response: Note has been added.

If you have any questions please call (703)361-4188.

Sincerely,


 Tsigereda Damte
 Project Engineer
 Ross, France & Ratliff, Ltd.

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Vice President, Treasurer

October 8, 2012

Mr. R. Marchant Schneider – Town Planner
The Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Dear Mr. Schneider:

The following are our responses to the comments generated from the 3rd review of the above referenced plan:

1. Sheet 1, “Cover Sheet”, identify zoning and uses on all parcels.

Status: Comment addressed.

2. Sheet 1, “Professional Seal and Signature”, reference Town of Haymarket Standards and Ordinances.

Status: Comment addressed.

3. Sheet 1, “Bond Estimate”, reference “Town” not “County”.

Status: Comment addressed.

4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required

Page 1 of 5

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pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.

Status: Provision of the Zoning Tabulation is noted; however, the specific yards, setback, building height, lot coverage, etc. should be clearly depicted on the site plan. Existing structures / site improvements that are in conflict with the standard (i.e. driveway on the west side of the existing building, vestibule at the front of the church) can remain so long as the non-conformity is not expanded. It is recommended that the Zoning Determination Letter dated August 6, 2012 regarding the required building setback for the sanctuary addition, overall lot coverage, and required streetscape improvements be included in the plan set.

A rezoning application to rezone the B-1 parcel to an R-1 parcel should reference the requested district standards. The Zoning Tabulation note should also be revised to remove the B-1 district standards. Also, please include the dimensions of the “relocated wood shed” (see Sections 58-52(7) and 58-58(b)).

Response: Rezoning application has been submitted pursuing rezoning from B-1 zoned to R-1. Zoning tabulation has been revised accordingly. Per Zoning Determination Letter dated August 6, 2012 the required building setback for the sanctuary addition and overall lot coverage have been provided. Frontage improvements have been coordinated with Washington Street improvement plan and shown on the site plan. Dimensions of the relocated wood shed have been provided.

5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.

Status: Addressed. Note: Are loading spaces to be provided? Is so, please identify the spaces on the site plan.

Response: Minimum information requirements have been confirmed. Loading space has been provided.

6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.

Status: Comment addressed.

7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.

Status: Comment addressed.

8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8’ in height (Section 58-701(e)).

Status: A dumpster is currently utilized by the Applicant. If the Applicant wishes to continue its use of a dumpster and/or anticipates additional dumpsters, their location should be identified on the plan and a detail sheet of the associated enclosure provided.

Response: Dumpster pad w/ 8' board on board fence and gate has been provided on the plan and the associated enclosure has been provided on detail sheet.

9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: In order to evaluate compliance with the noted Sections, please provide a matrix indicating the requisite screen adjacent to each property/zoning district boundary and depict the corresponding screen on the site plan. The matrix should correspond with the screen and buffer yard required by Section 58-702 and list the specifications of Section 58-704. Where the standard cannot be met and an alternate screen is proposed (i.e. such as the fence along the eastern property boundary bordering the B-1 zoning district), the Applicant should footnote the request for the alternative (see Section 58-699(c)) and indicate why the alternative is necessary/appropriate (See Comment 15 below).

NOTE: A request to rezone the B-1 parcel to R-1 should reflect the corresponding standard and will alleviate the necessity to address alternative screens internal to the site due to the current "split" zoning of the Property.

Response: A matrix indicating the requisite screen adjacent to each property/zoning district boundaries have been provided accordingly. Alternative 6' board on board fence screening has been provided along the eastern property boundary where the standard cannot be met.

10. It is recommended that the note "Ex. Pavement" referring to the driveway on the west side of the building be revised to note "Ex. Pavement Driveway to Remain".

Response: Label been revised accordingly.

11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: See Comment 9 above.

Response: Landscape has been provided per Section 58-701 and Section 58-702; Buffer yard and Screening matrix have been provided adjacent to the B-1, R-1, and R-2 districts.

12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.

Status: Comment addressed.

13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.

Status: Section 58-704(b) indicates minimum size requirements. The “Large Deciduous Trees” listed within Schedule H – Landscape Legend are an incorrect size. The correct height is 10’-12’ feet, not 7’-8’.

Please also indicate caliper size for all plantings and note the planting procedures associated with their installation (Section 58-704(c)).

Response: The correct heights of trees and caliper sizes have been provided, planting procedures note associated with their installation has been provided accordingly.

14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Status: The above-mentioned Zoning Determination states that the Washington Street Improvement Plan Phase 1A project will serve to meet the requirements of Sections 58-713 through 58-526 in conjunction with the proposed building addition and parking lot expansion.

Response: Comment noted. The Town of Haymarket Washington Street Improvement project addressed these requirements.

NEW COMMENTS

15. Please provide a narrative summarizing the proposal and the justification for the requested alternative buffers /screens.

Response: A narrative summarizing the proposal and the justification for the requested alternative buffer/ screens has been provided.

16. If Applicant intends to pursue a rezoning application, it is suggested that the Applicant incorporate a Rezoning Plat with the plan set and revise the plan Sheets accordingly.

Response: Rezoning application has been submitted. Copy of plat has been incorporated within this submission.

17. Sheet 1, “Cover Sheet”. In the block above “Vicinity Map”, indicate Town of Haymarket as the approving authority, not Prince William County.

Response: Cover sheet has been revised accordingly.

18. Please update the Revision Block on all Sheets to reflect the most current plan set.

Response: Revision Blocks typically are updated when a revision is occurring to an approved plan.

19. As noted in the Zoning Determination, the PIN numbers on the plan set do not reflect those PINs referenced by the PWC mapping system. It is recommended that this inconsistency be resolved. Also, please correct the address of Church building (14800 Washington Street).

Response: Zoning Determination and PIN numbers have been revised. Church address has been revised accordingly.

20. Interior / Perimeter Parking Lot Landscaping. Comments by the Town Engineer address the requirements of Section 58-703.

Response: Interior parking has been provided per section 58-703(e). Per Section 58-703 (b) perimeter parking lot landscaping is required if the parking area are adjacent to a public or private street or adjacent to other parking lot and perimeter parking lot landscaping is not require for this site

21. Please provide a draft version of the stormwater facility maintenance agreement for review by the Town Attorney.

Response: A draft version of the stormwater facility maintenance agreement has been provided to the Town Attorney.

If you have any questions please call (703)361-4188.

Sincerely,



Tsigereda Damte
Project Engineer
Ross, France & Ratliff, Ltd.

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June 27, 2012

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Ms. Holly Montague, P.E. – Town Engineer
Mr. R. Marchant Schneider – Town Planner
The Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Re: Plan Name: Haymarket Baptist Church

Dear Ms. Montague and Mr. Schneider:

The following are our responses to the comments generated from the 2nd review of the above referenced plan:

ENGINEERING COMMENTS:

PLATS:

1.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	Note #1 stating that all existing easements might not be shown must be removed. Show all existing easements. Perform title search, if needed, so note can be removed. Response: Note #1 has been modified to identify the title report information provided by the Town.
2.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	Provide on-site and off-site sight distance easements. Provide off-site plat. Response: Line of sight is inside of the future right way and sight distance easement is not required
3.		Note #5, change County reference to Town of Haymarket. Response: County references have been changed to Town of Haymarket accordingly.
4.		Under Owner's Consent & Dedication, change #2 from Board of County Supervisors to the Town of Haymarket. Response: County reference has been changed to Town of Haymarket accordingly.
5.		For access, the SWM should tie into the public R/W. Response: SWM/BMP access has been tied to public R/W accordingly.
6.		While this is a consolidation plat, there is mixed zoning between the parcels being consolidated. A mixed use parcel is allowed, but setbacks and buffers are still required between B-1 and R-1 zoning. Consider re-zoning or submitting a waiver for the setbacks and buffers. Response: Comment is noted and if necessary the Church will seek a waiver of the setbacks and buffers.

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Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

Haymarket Baptist Church
June 27, 2012
Page 2

PLANS:

Old Comment #1.	Washington Streetscape Enhancement Plan Haymarket 58-713 thru 58-727	Per Ordinance, frontage improvements including curb, brick sidewalk, street lighting and street trees are required. However, since the Washington Streetscape Phase 1A is in this area, a sit down meeting between the Church, the Town and the engineers is strongly recommended in order to come to agreement/compromise on what to do with the street frontage improvements as well as the drainage, R/W and easements that this site plan and that Phase 1A requires. Without an agreement between the Church and the Town, the Church would be responsible for all frontage improvements in accordance with the Washington Streetscape Phase 1A plan. Response: Frontage improvements have been coordinated with Washington Street improvement plan. Improvements are limited to placement of Walk/CG-12 at entrances to site. The storm sewer proposed by the improvement plan shall be installed as part of the improvement project and not this project.
Old Comment #2.	Haymarket 58-506 (3)c PWC Admin. Man. 4.05.4(B7)	Show Town of Haymarket Zoning, not Prince William County, on Site Plan and associated sheets and make sure all parcels are correct. See attached Town of Haymarket Zoning Map. For example, the Town of Haymarket does not have a R-4 zoning and part of the Church property is showing to be B-1 zoning when it is R-1. Response: Town of Haymarket Zoning have been shown accordingly.
Old Comment #4.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	After showing all existing easements, remove Note 1 on Sheet 3. Response: Note 1 has been removed.
Old Comment #5.	Haymarket 58-506 (3)h PWC Admin Man. 4.05.4 (B28) &(B34)	Show all building restriction lines, setbacks/buffers and yard requirements per Haymarket Zoning. Is GPIN 7397-09-2472 being re-zoned? While there is a consolation plat, the issue of mixed use zoning or re-zoning has not been addressed. It is possible to have a mixed use property with more than one zoning, but then buffers would still need to apply or waivers applied for and approved. In addition, even though the church is already constructed and will not be modified, the building restriction line/setback/buffer between the Verna property (B-1) and the Church property (R-1) should be shown. Response: Zoning tabulation has been added to general notes which shows the setback requirements and if necessary the Church will seek a waiver of the setbacks and buffers.
Old Comment #6.	Haymarket 58-506 (3)k.1.	After coordination with Washington Street Phase 1A Enhancement project, show frontage improvements. See Old Comment #1 above. Response: Frontage Improvements have been coordinated with Washington Street improvement plan and shown on the site plan.
Old Comment #7.	Haymarket 58-506 (3)k.1.	Label width of proposed sidewalk in front of sanctuary addition, similar to the labeling "6' CONC WALK" behind the existing tot lot. Response: Width of sidewalk has been labeled.
Old Comment #14.	PWC Admin Man. 4.05.4(B32) PWC DCSM 602.07.R. VDOT Standard CG-12	Since this plan is adding the CG-12 handicap ramps, add detail and chart of required ramps lengths based on curb slope. Response: CG-12 handicap ramps and detail and chart or required ramps length have been provided.
Old	Haymarket	On the Maintenance Note on Sheet 3, remove the word "except" in the first

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

Comment #17.	58-506 (3)l.8. PWC Admin Man. 4.05.4(B38) PWC DCSM 722.05	sentence. The owner will be responsible for the underground storage facility. Coordinate with Town Clerk on SWM/BMP agreement (she has samples). Response: Maintenance note has been revised accordingly. Town Clerk has provided a sample agreement which will be included within the deed of easement for the plat.
Old Comment #22	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B37)	Verify all storm sewer and SWM facility inverts, lengths and slopes between computations, profiles plans and details: Response: All storm sewer and SWM facility inverts, lengths and slopes have been verified. Inverts do not match for 101 to 102 and inverts and lengths do not match 102 to 100 on storm comps vs profiles. Response: Inverts have been revised accordingly. Slope on profile for 110 to 111 does not match Pond Report Culvert/Orifice Structure information. Response: Inverts and profiles have been shown correctly.
Old Comment #30.	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B42) Virginia Erosion & Sediment Control Handbook	On E& S Phase II, Inlet Protection can only be used for areas up to 1 Ac. Str 101 has larger than 1 Ac draining to it. For larger areas, different treatment methods must be used. Response: Diversion Dike has been provided to divert the offsite drainage area and reduce the drainage area to storm structure 101 to below an acre until area is stabilized.
Old Comment #32.	Haymarket 58-506 (3)l.6. PWC Admin Man. 4.05.4(B43)	Show the buffers on the landscaping plan and move labels on landscaping plan so they are legible. Response: Buffer has been shown on the landscaping plan accordingly.
1.		On Title Sheet, change references to Prince William County/County to Town of Haymarket. Response: Title sheet has been revised accordingly.
2.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	a. Provide on-site and off-site sight distance easements. Response: Line of sight is inside of the future right way and sight distance easement is not required. b. Ideally, there should be an existing easement on the storm sewer from Washington Street to the outfall at EX1 since it is road drainage. If not, then provide a drainage easement. Response: Easement is no longer required since Town Enhancement Project is to remove the existing storm sewer. The proposed storm to the underground SWM/BMP does not require easements since it is on-site storm sewer. However, for access, the SWM easement needs to connect to the public R/W (or a drainage easement for the existing storm sewer). Response: SWM/BMP access has been connected to public R/W.
3.	Haymarket 58-506 (3)j. PWC Admin Man. 4.05.4(B6)	Have the engineer seal sight distance sheets 10A, 10B and Storm Tech detail sheet 10C. Response: Engineer seal has been provided for referenced sheets.
4.	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B38) PWC DCSM 722.05	a. Verify areas shown in BMP map and computations. Since the parcels are being consolidated into one parcel, the existing church and surrounding area must be included. In addition, there is off-site water (0.23 Ac) draining into the underground facility that must be included Response: BMP area and computation has been revised accordingly. b. BMP Computations: Part 5, line D shows the uncontrolled area is 28.4%, which exceeds the 20% maximum. Therefore, site coverage

		<p>requirements are not met. Response: BMP drainage area has been revised to meet the required coverage.</p> <p>c. BMP Computations: Verify BMP Orifice computations. I calculate a larger head at the BMP storage elevation and a smaller diameter orifice required. Response: BMP outlet computation and required orifice size have been revised.</p>
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PLANNING COMMENTS:

1. Sheet 1, "Cover Sheet", identify zoning and uses on all parcels. **Response: Zoning and Use have been identified.**
2. Sheet 1, "Professional Seal and Signature", reference Town of Haymarket Standards and Ordinances. **Response: Town of Haymarket reference has been shown.**
3. Sheet 1, "Bond Estimate", reference "Town" not "County". **Response: Town of Haymarket reference has been shown.**
4. Sheet 3, Site Plan, Provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance. **Response: Zoning Tabulation listing has been added to the General Notes.**
5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided. **Response: Minimum information requirements have been confirmed.**
6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students/faculty. **Response: Parking requirements have been confirmed.**
7. Sheet 6, Landscape Plan, demonstrate conformance with section 58-695, Contents of landscape plan. **Response: Landscape Plan is now in conformance with section 58-695.**
8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)). **Response: Comment noted and presently there are no dumpster locations planned.**
9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts. **Response: Screening has been provided through landscaping and fencing.**
10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards. **Response: Comment noted and the referenced driveway and entrance should be grandfathered.**
11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts. **Response: Adequate buffering has been provided between the different uses.**
12. Sheet 6, Landscape Plan, demonstrate conformance with section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is

Haymarket Baptist Church
June 27, 2012
Page 5

not provided. **Response: Parking lot landscaping has been provided and additional landscaping shall be provided along Washington Street with the street enhancement project.**

13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens. **Response: The landscape plan has been revised to demonstrate conformance.**
14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner. **Response: Sidewalks, lighting and street trees shall be provided with the street enhancement project.**

If you have any questions please call (703)361-4188.

Sincerely



R. Michael Massey II, P.E., L.S.
Vice President & Secretary
Ross, France & Ratliff, Ltd.



INTEROFFICE MEMORANDUM

TO: JENNIFER PRELI, TOWN CLERK
FROM: MARCHANT SCHNEIDER, TOWN PLANNER
SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION
 FINAL SITE PLAN – 4TH SUBMISSION
DATE: 01-21-13
CC: HOLLY MONTAGUE, PE

Per your request, I have reviewed the fourth submission of the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007 and sealed October 15, 2012. I have also reviewed the Applicant Response Letter dated October 8, 2012. I offer the following comments based on Chapter 58 of the Haymarket Town Code and subsequent to a meeting held with the Applicant at Town Hall on January 17, 2013. These comments are in addition to those comments provided by the Town Engineer.

1. Sheet 1, “Cover Sheet”, “Present Zoning and Use”, add text “*Proposed: R-1, Church*” following the text “*B-1 and R-1, Church*”.
2. Sheet 1, “Revisions”, please list comment response revision dates to the plan set.
3. Sheet 3, Site Plan, insert Zoning Determination Letter dated August 6, 2012.
4. Sheet 3, Site Plan, Note 11, add a footnote to “*Front: 35 Feet*” referencing the Zoning Determination Letter.
5. Sheet 3, Site Plan, Note 11, add a footnote to “*Site Coverage Provided: 72.3%*” referencing the Zoning Determination Letter.
6. Sheet 3, Site Plan, Sheet 3a, Details, Dumpster Pad, note the dumpster pad with screen is to be provided per the Town of Haymarket Architectural Review Board Guidelines. The guidelines are posted online at www.townofhaymarket.org
7. Sheet 6, Landscape Plan, “Screening and Buffer Yard Matrix”, footnote 2 (**), replace “provided” with “proposed”.
8. Sheet 6, Landscape Plan, “Screening and Buffer Yard Matrix”, footnote 3 (***), “*...adjoining land use zoned R-2*” should reference B-1, not R-2.
9. Sheet 6, Landscape Plan, “Screening and Buffer Yard Matrix”, footnote 3 (***), strike the language following “*...no improvement in this area*” and insert “*...and an existing a 6 foot board on board fence has been provided as an alternative screening method. No additional method is applied.*”

10. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix(es)", indicate the PIN#s to which the screen and buffer yard is applied.
11. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 2 (**), replace footnote language with "*The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), an alternate screen is provided by a 6 foot board on board fence adjacent to PIN# _____ and additional buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet.*"
12. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 3 (***), replace footnote language with "*The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), an alternate screen is provided by an existing 6 foot board on board fence adjacent to PIN# _____ and additional buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet.*"
13. Sheet 6, Landscape Plan, add an additional Schedule for perimeter parking lot landscaping adjacent to PIN#_____ (Section 58-703). Add a reference stating: "*The standard perimeter parking lot landscaping cannot be met pursuant to Section 58-703(d). Per Section 58-703(f), an alternate screen is provided adjacent to PIN#_____ due to drainage infrastructure associated with the Washington Street Improvement Plan Phase 1A and pedestrian interconnectivity with the adjacent Town owned properties.*"
14. Sheet 6, Landscape Plan, add a note to the Sheet stating that the Washington Street Improvement Plan Phase 1A project will meet the Streetscape Requirements of Sections 58-713 through 58-526 as part of the building addition and parking lot expansion. Reference the Zoning Determination inserted on Sheet 3.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238 or via email at mschneider@townofhaymarket.org.



INTEROFFICE MEMORANDUM

TO: GENE SWEARINGEN, TOWN MANAGER
FROM: MARCHANT SCHNEIDER, TOWN PLANNER
SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION
 FINAL SITE PLAN
DATE: 08-20-12
CC: HOLLY MONTAGUE, PE

Per your request, I have reviewed the third submission of the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007 and sealed June 29, 2012. I have also reviewed the Applicant Response Letter dated June 27, 2012. The following comments are based on Chapter 58 of the Haymarket Town Code. These comments are in addition to those comments provided by the Town Engineer. It is recommended that the Applicant and Town Staff meet prior to the final submission of the site plan.

1. Sheet 1, “Cover Sheet”, identify zoning and uses on all parcels.

Status: Comment addressed.

2. Sheet 1, “Professional Seal and Signature”, reference Town of Haymarket Standards and Ordinances.

Status: Comment addressed.

3. Sheet 1, “Bond Estimate”, reference “Town” not “County”.

Status: Comment addressed.

4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.

Status: Provision of the Zoning Tabulation is noted; however, the specific yards, setback, building height, lot coverage, etc. should be clearly depicted on the site plan. Existing structures / site improvements that are in conflict with the standard (i.e. driveway on the west side of the existing building, vestibule at the front of the church)

can remain so long as the non-conformity is not expanded. It is recommended that the Zoning Determination Letter dated August 6, 2012 regarding the required building setback for the sanctuary addition, overall lot coverage, and required streetscape improvements be included in the plan set.

A rezoning application to rezone the B-1 parcel to an R-1 parcel should reference the requested district standards. The Zoning Tabulation note should also be revised to remove the B-1 district standards. Also, please include the dimensions of the “relocated wood shed” (see Sections 58-52(7) and 58-58(b)).

5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.

Status: Addressed. Note: Are loading spaces to be provided? Is so, please identify the spaces on the site plan.

6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.

Status: Comment addressed.

7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.

Status: Comment addressed.

8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)).

Status: A dumpster is currently utilized by the Applicant. If the Applicant wishes to continue its use of a dumpster and/or anticipates additional dumpsters, their location should be identified on the plan and a detail sheet of the associated enclosure provided.

9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: In order to evaluate compliance with the noted Sections, please provide a matrix indicating the requisite screen adjacent to each property/zoning district boundary and depict the corresponding screen on the site plan. The matrix should correspond with the screen and buffer yard required by Section 58-702 and list the specifications of Section 58-704. Where the standard cannot be met and an alternate screen is proposed (i.e. such as the fence along the eastern property boundary bordering the B-1 zoning district), the Applicant should footnote the request for the alternative (see Section 58-699(c)) and indicate why the alternative is necessary/appropriate (See Comment 15 below).

NOTE: A request to rezone the B-1 parcel to R-1 should reflect the corresponding standard and will alleviate the necessity to address alternative screens internal to the site due to the current “split” zoning of the Property.

10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards.

Status: See Comment 4 above regarding such encroachments. It is recommended that the note “Ex. Pavement” referring to the driveway on the west side of the building be revised to note “Ex. Pavement Driveway to Remain”.

11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: See Comment 9 above.

12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.

Status: Comment addressed.

13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.

Status: Section 58-704(b) indicates minimum size requirements. The “Large Deciduous Trees” listed within Schedule H – Landscape Legend are an incorrect size. The correct height is 10’-12’ feet, not 7’-8’.

Please also indicate caliper size for all plantings and note the planting procedures associated with their installation (Section 58-704(c)).

14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Status: The above-mentioned Zoning Determination states that the Washington Street Improvement Plan Phase 1A project will serve to meet the requirements of Sections 58-713 through 58-526 in conjunction with the proposed building addition and parking lot expansion.

NEW COMMENTS

15. Please provide a narrative summarizing the proposal and the justification for the requested alternative buffers /screens.
16. If Applicant intends to pursue a rezoning application, it is suggested that the Applicant incorporate a Rezoning Plat with the plan set and revise the plan Sheets accordingly.
17. Sheet 1, “Cover Sheet”. In the block above “Vicinity Map”, indicate Town of Haymarket as the approving authority, not Prince William County.
18. Please update the Revision Block on all Sheets to reflect the most current plan set.

TOWN PLANNER COMMENTS

AUGUST 20, 2012

PAGE 4 OF 4

19. As noted in the Zoning Determination, the PIN numbers on the plan set do not reflect those PINs referenced by the PWC mapping system. It is recommended that this inconsistency be resolved. Also, please correct the address of Church building (14800 Washington Street).
20. Interior / Perimeter Parking Lot Landscaping. Comments by the Town Engineer address the requirements of Section 58-703.
21. Please provide a draft version of the stormwater facility maintenance agreement for review by the Town Attorney.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238.



INTEROFFICE MEMORANDUM

TO: GENE SWEARINGEN, TOWN MANAGER

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION
FINAL SITE PLAN

DATE: 05-17-11

CC: HOLLY MONTAGUE, PE

Per your request, I have preliminarily reviewed the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007. I offer the following comments based on Chapter 58 of the Haymarket Town Code. These comments are in addition to those comments provided by the Town Engineer; however, I reserve the right to raise any issues with subsequent submissions.

1. Sheet 1, “Cover Sheet”, identify zoning and uses on all parcels.
2. Sheet 1, “Professional Seal and Signature”, reference Town of Haymarket Standards and Ordinances.
3. Sheet 1, “Bond Estimate”, reference “Town” not “County”.
4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.
5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.
6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.
7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.
8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8’ in height (Section 58-701(e)).

9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.
10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards.
11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.
12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.
13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.
14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238.



INTEROFFICE MEMORANDUM

TO: MARCHANT SCHNEIDER

FROM: HOLLY MONTAGUE, PE

SUBJECT: HAYMARKET BAPTIST CHURCH 4TH SUBMISSION COMMENTS

DATE: 1/17/2013

CC: STAFF

Per your request, I have reviewed the forth submission for the Haymarket Baptist Church Final Site Plan. I used the Haymarket Ordinances, Final Site Plan Requirements, Haymarket Code Section 58-506(3), Prince William County standards and VDOT standards in order to review this final site plan. I offer the following comments:

PLATS

1	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	No plat provided in last submission. Provide plat to verify previous comments were addressed.
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PLANS

1	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(37)	On E&S Phase II, on top of the new sanctuary addition, there is text that reads, "Ex. Roof Area down spouts @ grade to #104." Is this A=0.11 ac included in the "To #104 Total A =0.53 Ac, is it in addition to this area or is it text that does not belong? Does the existing roof & new sanctuary actually drain to #104?
2	Haymarket 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(41)	Per discussion, the Diversion Dike will be left in place permanently. Add a note to the Erosion Control Narrative that the Diversion Dike will remain in place permanently and include permanent maintenance note(s).
3	Haymarket 58-506(3)l.6. 58-699(c) 58-703(f) PWC Admin. Proced. Man. 4.05.4B(43)	<p>Submit a waiver for using alternate buffer screening on the northwest side of the project.</p> <p>Include waiving perimeter parking lot landscaping requirements on the southeast side of the parking lot due to the drainage proposed by the Town's Streetscape project.</p>
4	Haymarket 58-506(3)l.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	<p>a. Include a perimeter parking lot landscaping schedule for the landscaping provided on the northeast side of the parking lot.</p> <p>b. Move the rhododendrons that are within the fence at the Tot Lot to outside the fence so they can be claimed for buffer credit.</p>

<p>5</p>	<p>Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(19) 4.05.4B(38) Fairfax Co PFM Pg. 6-30</p>	<p>Per Fairfax County PFM: In nonresidential areas, “open space” is defined as perpetually undisturbed areas placed in floodplains or conservation easements and without other encumbrances. It also states: Any areas with maintained landscaping or active recreation areas are not to be used in “open space” determinations.</p> <p>Consider reducing or eliminating the Open Space providing BMP credit so that the proposed landscaping will not have to be relocated in this area. Only 20% Phosphorus Removal is required for redevelopment per previous discussions, but Site Coverage will still need to be verified once both the area behind the Diversion Dike and the area currently in the Open Space are added to the uncontrolled area.</p> <p>If Open Space is not eliminated, there are not any Open Space minimum size requirements but any Open Space needs to be placed in an easement if it is used for 100% BMP credit.</p>
<p>6</p>	<p>Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook</p>	<p>a. Since the Diversion Dike is to remain in place, remove A-2 notation on map. In the computations, it appears that areas A1 and A2 already do not include this area (A1 + A2 = 2.36 Ac which matches storm computations that do not include this area). Add this area to A-4, Developed without controls, if it is already not included.</p> <p>b. Is the existing roof/new sanctuary addition draining to #104 (see comment #1)? If it is, hatch this area on the BMP Map.</p> <p>c. Provide documentation that other jurisdictions have allowed 10% credit for “Filter Strip” on grassed/landscaped areas. This documentation can be an approved BMP Map & Computations allowing the 10% credit so long as it is apparent that it is the same type of situation (grassed/landscaped area).</p> <p>d. Per Outlet Computation, the orifice size should be 0.0694666 (0.8”). The orifice in the SWM computations 2”. Even rounding for available pipe sizes, why is the orifice in the SWM computations more than twice this size? The drawdown time will be much less than 48 hours if a 2” orifice is used.</p> <p>e. Revise the Water Quality Narrative to read: The site consists of 3.207 acres for an existing Church, which 2.60 acres will be disturbed. 0.36 acres of developed area drains through storm-pure filter bags located at structures 101, 102, 103 and 104. An additional 2.00 acres will drain to structures 101, 102, 103 and 104, but will bypass the storm-pure filter due to the capacity of the filter and will drain directly to the Underground Stormwater Management Pond. XX acres of developed area drains uncontrolled from the site [update this area to include the area remaining behind the Diversion Dike to be left in place and any reduction of Open Space]. 0.39 acres of developed area drains through the grass and tree filter strip located in the northern part of the site. Per Prince William County DCSM 720.02A, a minimum of twenty percent (20%) phosphorus removal shall be provided for redevelopment sites.</p>

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

Please let me know if you have any questions regarding these comments. I can be reached at 703-968-6792.



INTEROFFICE MEMORANDUM

TO: MARCHANT SCHNEIDER
FROM: HOLLY MONTAGUE, PE
SUBJECT: HAYMARKET BAPTIST CHURCH 3RD SUBMISSION COMMENTS
DATE: 8/20/2012
CC: STAFF

Per your request, I have reviewed the third submission for the Haymarket Baptist Church Final Site Plan. I used the Haymarket Ordinances, Final Site Plan Requirements, Haymarket Code Section 58-506(3), Prince William County standards and VDOT standards in order to review this final site plan. I offer the following comments:

PLATS

1	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	Show all existing easements. Include the existing easements that are now recorded easements from the Enhancement Plan via the Certificate of Take. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town being finalized.
2		Under Owner’s Consent & Dedication, change 3 rd from last sentence from County to Town.
3		Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements.

PLANS

1	Washington Enhancement Plan Phase 1A	<p>a. Since this plan raises the grade on the site and the Enhancement Plan lowers the street grade, provide a grading detail and/or profile demonstrating how the two projects will ultimately tie-in together.</p> <p>b. If this plan is resubmitted after the pending agreement is finalized between the Church and the Town and the Enhancement Plan drainage is revised, show the proposed Enhancement drainage cutting across the parking lot and label “By Others.” Additional comments regarding conflicts with Enhancement drainage are held and will not need to be resolved if the pending agreement between Church and Town is finalized.</p>
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Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

2	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	Show all existing Right of Way and easements. Include the existing right of way and easements that are now recorded from the Enhancement Plan via the Certificate of Take. What is labeled as Future Right of Way is not the actual Right of Way line but an easement line. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town.
3	Haymarket 58-506 3(h) PWC Admin. Proced. Man. 4.05.4B(28) & B(34)	a. Show the setback line on the plans. b. Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements.
4	Haymarket 58-506 3(h) PWC Admin. Proced. Man. 4.05.4B(14)	Verify that the line of sight is still outside the existing Right of Way after showing the correct Right of Way (see note 2). Use intersection sight distance of 335' instead of the 390' shown on the plans and also you may take advantage that the eye location only needs to be 14.5' minimum from the edge of pavement instead of the 18' shown on the plans. The sight distance profile is shown correctly with a line of sight of 335'.
5	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(37)	Verify that all areas shown on E&S Phase II & the SWM/BMP map are incorporated into the drainage areas on the storm comps. For instance, it is not clear what structure picks up the A=0.26 at the Tot Lot/SWM facility. In addition, the SWM/BMP computations show 2.74 Ac are being treated but the storm computations only show 2.25 Ac as entering the system at Str. 100.
6	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(41) VA E&S Control Handbook	a. In E&S Phase I, the Diversion Dike/Sediment Trap appear to block the existing swale as it runs along the property line and back onto Church property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? b. In E&S Phase II, the Diversion Dike stops where the proposed grading is still forcing the water back into the parking lot and ultimately into Str. 101, defeating its purpose. c. On E&S details, X out all practices not used (i.e. Level Spreader, Fuel Tank Containment, etc.) d. In Erosion Control Narrative on Sheet 5, add maintenance note for Temporary Sediment Trap. e. In Erosion Control Narrative on Sheet 5, add narrative/installation notes for Sediment Control, Phase II.
7	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook	a. On BMP Plan, show appropriate hatching for west driveway and grassed area adjacent to western property line. b. On BMP Plan & Computations, fill out Part I. Water Quality Narrative. c. Storm Pure insert is listed as a BMP, but nowhere in the plans is it noted which structures have the inserts. Label the storm profile for structures with Storm Pure inserts. d. When providing BMPs in series, subsequent BMPs have reduced efficiencies. A different project within the Town reduced the efficiency 20% for each subsequent BMP in the series. Update Phosphorus Removal chart to reflect the BMPs in series. e. Per manufacturer, the phosphorus removal for Storm Tech chambers is 49% maximum. I recommend using a rate 40%- 45% since facilities rarely reach their maximum ability. Update Phosphorus Removal chart. f. Per manufacturer, max flow rate through Storm Pure insert is 0.51 cfs

		and max flow rate for filter + bypass is 3.16 cfs. Flow rates through the structures are higher than this. Verify this type of BMP is appropriate or consider other BMP type (i.e. Filterra Unit).
8.	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38)	a. Provide maintenance note for the Storm Tech unit. b. Verify height of weir wall on BMP Outlet Structure detail on Sheet 8. It is listed as 355.25, but all associated pond computations say 355.50.
9	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(37)	a. Show the depth of water on the ditch cross section for Outfall Ex 1. b. Show ditch computation and cross section for the SWM/BMP outfall.
10	Haymarket 58-506(3)l.6. 58-700 PWC Admin. Proced. Man. 4.05.4B(43)	Provide the Buffer Landscaping Schedule(s) with required and proposed plantings for the buffers.
11	Haymarket 58-506(3)l.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	a. The shrubs for the interior parking lot landscaping need to be interior to the parking lot, not on the perimeter. b. Provide perimeter parking lot landscaping & schedule for the east side of the parking lot. The Town treats vacant parcels as being developed per 58-698. In addition, the purpose of perimeter parking lot landscaping is to shield the parking lot. The R-1 zoning is for single family home detached dwellings and certain additional uses which serve residents. Churches are allowed in R-1, but consideration should be given to the intent of the ordinance. Parking lots are normally associated with denser residential and business/industrial areas, not single family homes. While a full blown buffer is not required because the Church's R-1 parcel is adjacent to another R-1 parcel, minimally provide perimeter parking lot landscaping for parking lot adjacent to other parking lots per 58-703. A waiver can be requested for areas that cannot be planted due to existing drainage/ Enhancement plan drainage easement.
12	Haymarket 58-506(3)l.9. PWC Admin. Proced. Man. 4.05.4B(39)	The proposed grading is filling in the existing swale running along the property line and back onto Church property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? .
13	PWC Admin. Proced. Man. 4.05.4B(32) PWC DCSM 602.07.R VDOT CG-12	On Handicap Ramp 1, a low point is being created at Point 11. Verify correct elevations are being shown or revise grading.

14	Unit Price List	a. Verify storm sewer lengths. I compute 179' of 15" pipe instead of 207', 33' of 18" pipe instead of 8', and 36' of 21" pipe instead of 65'. b. Add raising existing inlets & providing MH tops. c. Add Storm Pure inserts. d. Add rip-rap at outfalls. e. Add CG-12s.
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Please let me know if you have any questions regarding these comments. I can be reached at 703-968-6792.



BURGESS & NIPLE

TO: Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168
Attn: Jennifer Preli

Re: Haymarket Baptist Church 2nd Submission
Site Plan Review for the Town of
Haymarket

August 31, 2009

Dear Ms. Preli,

Burgess & Niple, Inc.
4160 Pleasant Valley Road
Chantilly, VA 20151
703 631 9630
Fax 703 631.6041

Per your request, I have reviewed the second submission of the Haymarket Baptist Church Site Plan. In addition to the Town Site Plan Requirements, Haymarket Code Section 58-506 (3) Final Site Plan Requirements, I used the Prince William County and VDOT standards in order to review this site plan. I offer the following comments:

PLATS:

1.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	Note #1 stating that all existing easements might not be shown must be removed. Show all existing easements. Perform title search, if needed, so note can be removed.
2.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	Provide on-site and off-site sight distance easements. Provide off-site plat.
3.		Note #5, change County reference to Town of Haymarket.
4.		Under Owner's Consent & Dedication, change #2 from Board of County Supervisors to the Town of Haymarket.
5.		For access, the SWM should tie into the public R/W.
6.		While this is a consolidation plat, there is mixed zoning between the parcels being consolidated. A mixed use parcel is allowed, but setbacks and buffers are still required between B-1 and R-1 zoning. Consider re-zoning or submitting a waiver for the setbacks and buffers.

PLANS:

Old Comment #1.	Washington Streetscape Enhancement Plan Haymarket	Per Ordinance, frontage improvements including curb, brick sidewalk, street lighting and street trees are required. However, since the Washington Streetscape Phase 1A is in this area, a sit down meeting between the Church, the Town and the engineers is strongly recommended in order
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August 31, 2009

Page 2

	58-713 thru 58-727	to come to agreement/compromise on what to do with the street frontage improvements as well as the drainage, R/W and easements that this site plan and that Phase 1A requires. Without an agreement between the Church and the Town, the Church would be responsible for all frontage improvements in accordance with the Washington Streetscape Phase 1A plan.
Old Comment #2.	Haymarket 58-506 (3)c PWC Admin. Man. 4.05.4(B7)	Show Town of Haymarket Zoning, not Prince William County, on Site Plan and associated sheets and make sure all parcels are correct. See attached Town of Haymarket Zoning Map. For example, the Town of Haymarket does not have a R-4 zoning and part of the Church property is showing to be B-1 zoning when it is R-1.
Old Comment #4.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	After showing all existing easements, remove Note 1 on Sheet 3.
Old Comment #5.	Haymarket 58-506 (3)h PWC Admin Man. 4.05.4 (B28) &(B34)	Show all building restriction lines, setbacks/buffers and yard requirements per Haymarket Zoning. Is GPIN 7397-09-2472 being re-zoned? While there is a consolation plat, the issue of mixed use zoning or re-zoning has not been addressed. It is possible to have a mixed use property with more than one zoning, but then buffers would still need to apply or waivers applied for and approved. In addition, even though the church is already constructed and will not be modified, the building restriction line/setback/buffer between the Verna property (B-1) and the Church property (R-1) should be shown.
Old Comment #6.	Haymarket 58-506 (3)k.1.	After coordination with Washington Street Phase 1A Enhancement project, show frontage improvements. See Old Comment #1 above.
Old Comment #7.	Haymarket 58-506 (3)k.1.	Label width of proposed sidewalk in front of sanctuary addition, similar to the labeling "6' CONC WALK" behind the existing tot lot.
Old Comment #14.	PWC Admin Man. 4.05.4(B32) PWC DCSM 602.07.R. VDOT Standard CG-12	Since this plan is adding the CG-12 handicap ramps, add detail and chart of required ramps lengths based on curb slope.
Old Comment #17.	Haymarket 58-506 (3)l.8. PWC Admin	On the Maintenance Note on Sheet 3, remove the word "except" in the first sentence. The owner will be responsible for the underground storage facility.

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

August 31, 2009

Page 3

	Man. 4.05.4(B38) PWC DCSM 722.05	Coordinate with Town Clerk on SWM/BMP agreement (she has samples).
Old Comment #22	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B37)	Verify all storm sewer and SWM facility inverts, lengths and slopes between computations, profiles plans and details: Inverts do not match for 101 to 102 and inverts and lengths do not match 102 to 100 on storm comps vs profiles. Slope on profile for 110 to 111 does not match Pond Report Culvert/Orifice Structure information.
Old Comment #30.	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B42) Virginia Erosion & Sediment Control Handbook	On E& S Phase II, Inlet Protection can only be used for areas up to 1 Ac. Str 101 has larger than 1 Ac draining to it. For larger areas, different treatment methods must be used.
Old Comment #32.	Haymarket 58-506 (3)l.6. PWC Admin Man. 4.05.4(B43)	Show the buffers on the landscaping plan and move labels on landscaping plan so they are legible.
1.		On Title Sheet, change references to Prince William County/County to Town of Haymarket.
2.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	a. Provide on-site and off-site sight distance easements. b. Ideally, there should be an existing easement on the storm sewer from Washington Street to the outfall at EX1 since it is road drainage. If not, then provide a drainage easement. c. The proposed storm to the underground SWM/BMP does not require easements since it is on-site storm sewer. However, for access, the SWM easement needs to connect to the public R/W (or a drainage easement for the existing storm sewer).
3.	Haymarket 58-506 (3)j. PWC Admin Man. 4.05.4(B6)	Have the engineer seal sight distance sheets 10A, 10B and Storm Tech detail sheet 10C.
4.	Haymarket 58-506 (3)l.8. PWC Admin Man.	a. Verify areas shown in BMP map and computations. Since the parcels are being consolidated into one parcel, the existing church and surrounding area must be included. In addition, there is off-site water (0.23

Attachment: BAPTIST CHURCH SITE PLAN (1360 : Haymarket Baptist Church Final Site Plan)

August 31, 2009
Page 4

	<p>4.05.4(B38) PWC DCSM 722.05</p>	<p>Ac) draining into the underground facility that must be included.</p> <p>b. BMP Computations: Part 5, line D shows the uncontrolled area is 28.4%, which exceeds the 20% maximum. Therefore, site coverage requirements are not met.</p> <p>c. BMP Computations: Verify BMP Orifice computations. I calculate a larger head at the BMP storage elevation and a smaller diameter orifice required.</p>
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Please let me know if you have any questions regarding these comments. I can be reached at 703-633-1765.

Sincerely,



Holly Montague
Project Manager



TO: Town of Haymarket Planning Commission

SUBJECT: Haymarket Baptist Church - Rezoning

DATE: 03/11/13

Recommendation.

ATTACHMENTS:

- Haymarket Baptist Church Rezoning (PDF)



INTEROFFICE MEMORANDUM

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: APPLICATION TO AMEND THE ZONING MAP – TRUSTEES OF HAYMARKET BAPTIST CHURCH (REZ#20121106), GPIN #7397-09-2472 OR 14820 WASHINGTON STREET

DATE: 03-11-13

CC: STAFF

The Planning Commission and Town Council held a joint public hearing regarding the above rezoning application on March 4, 2013. No members of the public spoke regarding the application. At the conclusion of the hearing, the Commission motioned to forward the application to its next scheduled meeting for review and recommendation. The Commission has 65 days from the first meeting after the item has been referred to forward the application to Council for action. The deadline for a recommendation by the Planning Commission is April 17, 2013. The Commission may recommend approval, denial, or further consideration.

BACKGROUND

Jessica Sacksteder, on behalf of the Trustees of Haymarket Baptist Church, has submitted an application to amend the Zoning Map associated with Chapter 58 of the Town's Codified Ordinance (Zoning Ordinance) in order to rezone 0.69 acres from the B-1 Zoning District to the R-1 Zoning District. The application is being co-processed with the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan. The church complex currently consists of three parcels, two of which are zoned R-1 and the third zoned B-1. Consolidation of the three parcels is proposed in conjunction with the approval of the final site plan. The resulting lot would be “split-zoned” and problematic to develop due to minimum buffer restrictions between R-1 and B-1 zoning districts (25 feet). The rezoning would unify the church complex under one zoning district designation and resolve the buffer requirement. A justification for the application is attached.

At its February 2013 meeting, the Town Council adopted a resolution of intent to amend the Town Zoning Map in consideration of the Church's request. Pursuant to Section 58-425 of the Zoning Ordinance, the Town Council forwarded the application to the Planning Commission for consideration. At its February 2013 meeting, the Planning Commission motioned to schedule a joint public hearing with the Town Council to solicit public comment on the above-mentioned rezoning application.

As noted in the Town Council resolution, the Planning Commission is to consider whether the amendments are in furtherance of the public necessity, convenience, general welfare, and good zoning practice; to consider whether these amendments are consistent with the Town's Comprehensive Plan; to consider the impact of these amendments on the services, character, and needs of the community; and to prepare draft amendments for consideration.

Section 58-429 further states the proposed amendments shall be considered with reasonable consideration of the following matters:

- (1) Existing use and character of the area;
- (2) Suitability of the property for various uses;

- (3) Trends of growth or change;
- (4) Current and future requirements of the town as to land for various purposes as determined by population and economic studies and other studies;
- (5) Transportation requirements of the community and the town's requirements for parks, playgrounds, recreation areas, other public services, or the conservation of natural resources and preservation of floodplains; and
- (6) Conservation of properties and their values and the encouragement of most appropriate use of land throughout the town.

The Ordinance also states that the above considerations shall include but are not limited to comprehensive plans or their parts, capital improvement programs, relation of development to roads and construction programs, and the proximity of the development to utilities and public facilities.

COMPREHENSIVE PLAN – TRANSITIONAL COMMERCIAL LAND USE

The subject property is designated by the Comprehensive Plan as Transitional Commercial. The Comprehensive Plan's guidance regarding the development of these planned areas is as follows (*excerpt from Chapter 3.4, Land Use Plan*):

“Continued scattered commercial development in the Town, with resultant problems such as parking, traffic congestion and noise, should be discouraged. To accommodate future commercial development the plan recommends that major commercial growth be limited to those areas designated as the Neighborhood/Town Center, Transitional Commercial and the Planned Interchange Park. These areas are located primarily along Washington Street which should be promoted as the Town’s “main street”. Consideration should be given to the addition of a restricted commercial district zone along Washington Street east of the Town Center to create a more cohesive mix of low intensity commercial uses either in existing historic structures or new structures consistent with styles that reflect a post-Civil War era.

Transitional Commercial – The Plan calls for low-intensity commercial uses to serve as a distinct transition between low and moderate density residential areas and high intensity commercial uses within the neighborhood/Town Center and Planned Interchange Park. Conversions of existing residential structures to commercial uses are encouraged and should continue the open, small town atmosphere and sense of place. New structures or additions to existing structures should be permitted under the guidance of the Architectural Review Board and should take into account the impact of parking, lighting, and screening requirements of commercial uses when adjacent to planned residential areas. A zoning ordinance amendment implementing this land use area is anticipated following the adoption of this plan.”

R-1 ZONING DISTRICT – PURPOSE AND INTENT

Section 58-51 of the Zoning Ordinance states the intent of the R-1 zoning district as follows:

“The residential district R-1 is composed of certain quiet, low-density areas plus certain open areas where similar residential development appears likely to occur. The regulations for this district are designed to stabilize and protect the essential characteristics of the district, to promote and encourage a suitable environment for family life where there are children, and to prohibit all activities of a commercial nature. To these ends, development is limited basically to single-unit dwellings providing homes for the residents plus certain additional uses, such as schools, parks, churches and certain public facilities that serve the residents of the district.”

PLANNING COMMISSION REVIEW AND RECOMMENDATION

It is anticipated that the Planning Commission will forward their recommendation regarding the rezoning and final site plan at their March meeting.

STAFF REVIEW AND RECOMMENDATION

It is recommended that the Planning Commission consider the above-mentioned matters for consideration, applicable land use policy, and R-1 Zoning District intent. Staff has concluded that the application is consistent with the Town's land use policies.

DRAFT MOTION(S)

1. I move that the Planning Commission forward REZ#20121106, Application to Amend the Zoning Map – Trustees of Haymarket Baptist Church, to a future meeting for further consideration.

Or,

2. I move that the Planning Commission forward REZ#20121106 to the Town Council with a recommendation of [approval] [denial] based on the following findings: _____.

Or,

3. I move an alternate motion

RECEIVED

NOV - 6 2012

TOWN OF HAYMARKE

**WALSH COLUCCI
LUBELEY EMRICH
& WALSH PC**

Jessica L. Sacksteder
Planner
(703) 680-4664 Ext. 5119
jsacksteder@pw.thelandlawyers.com

November 6, 2012

Via Courier

Jennifer Preli, Town Clerk
15000 Washington Street
Suite 100
Haymarket, VA 20168

Re: Haymarket Baptist Church - Rezoning Application

Dear Ms. Preli:

On behalf of the Applicant, Trustees of Haymarket Baptist Church, enclosed please find the following items constituting a rezoning application from B-1, Town Center District, to R-1, Residential District, at 14820 Washington Street, which is north of the existing Haymarket Baptist Church building.

1. One (1) original and one(1) copy of the Amendment of Zoning Map Application Form, which has been signed by all five (5) trustees of the church;
2. A check in the amount of \$4,000.00 constituting the rezoning review fee;
3. Two (2) copies of the Justification for Rezoning dated August 9, 2012; and
4. Six (6) full sized copies and two (2) 8.5x11 copies of the plan entitled "Rezoning Plat – The Property of Trustees of Haymarket Baptist Church," prepared by Ross, France & Ratliff, Ltd., dated August 23, 2012.

After you have had an opportunity to review the application together with the supporting documents, please contact Mike Coughlin or me if any additional information is required for acceptance. I appreciate your assistance in this regard.

Very truly yours,

WALSH, COLUCCI, LUBELEY,
EMRICH & WALSH, P.C.

Jessica L. Sacksteder, Planner

JLS

Enclosures

cc: Otelia Frazier(w/encl)
Mike Massey
Michael Coughlin, Esq.

P0302450.DOCX

JUSTIFICATION FOR REZONING HAYMARKET BAPTIST CHURCH

Record Owner: Trustees of Haymarket Baptist Church (“Applicant”)
Prince William County GPIN 7397-09-2472 (“Property”)
(Approximately 0.6998 acres)
August 9, 2012
Updated – January 23, 2013

The Property subject to this rezoning application consists of GPIN 7397-09-2472, having an area of approximately 0.6998 acres, as shown on the rezoning plat submitted with this application. The Property is located at 14820 Washington Street, to the north of the existing Haymarket Baptist Church building.

The Property is zoned B-1, Town Center District. The Applicant is requesting a rezoning to R-1, Residential District. A church with associated facilities is permitted in the R-1 district by-right. The other parcels associated with the church are all zoned R-1. As a part of the site plan process, the Church is consolidating all of its parcels, which includes the Property subject to this rezoning as well as GPINs 7397-09-1945 and 7397-09-3544.

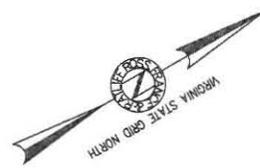
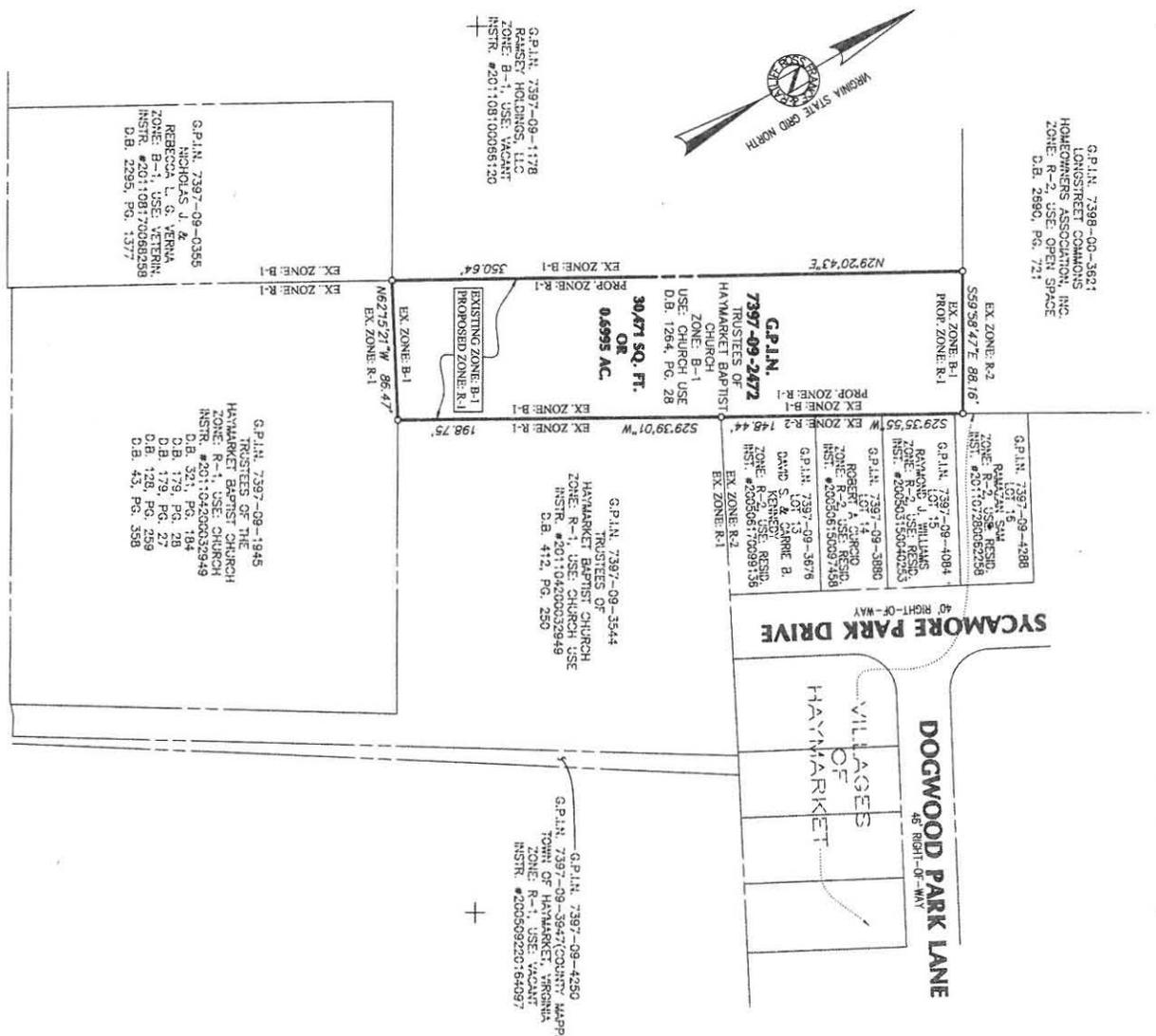
The rezoning proposal is consistent with the Town's Comprehensive Plan, as follows.

- The church is part of a commercial/residential blend of uses east of the Town's Center.
- The existing church is listed on the Historic Building Inventory in the Comprehensive Plan. The existing church building will not change with this proposal and the rezoning will make the church's property more viable.
- The church provides parking for the Haymarket Day, which is consistent with the goal in the Comprehensive Plan that churches develop a program of shared parking.

A preliminary site plan was approved by the Town Council on February 19, 2008 for an addition to the sanctuary and related church facilities. Sec. 58-179 (b) of the Town Zoning Ordinance states that between commercial and residential properties "there shall be a landscaped buffer of not less than 25 feet at any property line adjoining residential uses." The Applicant is requesting this rezoning because a church is permitted by-right in R-1 and most of the church is also zoned R-1. With this rezoning, a 25 foot buffer between residential and commercial uses will not be required.

In summary, the Applicant is requesting this rezoning to consistently zone the church to R-1 and address the buffer.

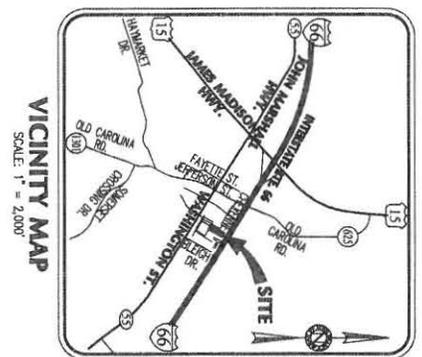
TO SAINT PAUL DRIVE
 WASHINGTON STREET - VIRGINIA ROUTE 55
 VARIABLE WIDTH RIGHT-OF-WAY



- NOTES**
1. METES AND BOUNDS SHOWN HEREON ARE THE RESULT OF A CURRENT FIELD SURVEY AND DEEDS & PLANS OF RECORD.
 2. THE PRINCE WILLIAM COUNTY GEOGRAPHIC PARCEL IDENTIFICATION NUMBER (G.P.I.N.) AND ADDRESS FOR THE PROPERTIES SHOWN HEREON ARE AS FOLLOWS:
 G.P.I.N. 7397-09-2472 / ZONE: B-1 / 14820 WASHINGTON STREET
 3. THE PROPERTY SHOWN HEREON WAS ACQUIRED BY TRUSTEES OF HAYMARKET BAPTIST CHURCH BY DEED RECORDED IN DEED BOOK 1264, PAGE 28 OF THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
 4. THE PROPOSED REZONING IS BY THE ENTIRETY OF THE SUBJECT PARCEL, AND NOT BY METES AND BOUNDS OR AREAS, ALL OF WHICH ARE SUBJECT TO MINOR REVISIONS BASED UPON A CURRENT FIELD RUN BOUNDARY SURVEY.

LEGEND

AC.	ACRES(S)
D.B.	DEED BOOK
EX.	EXISTING
G.P.I.N.	GEOGRAPHIC PARCEL IDENTIFICATION NUMBER
INST. #	INSTRUMENT NUMBER
PF	IRON PIPE FOUND
PS	IRON PIPE SET
RP	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
SQ. FT.	SQUARE FEET



DATE	BY	REVISION
01/17/2013	RMM	REVISED PER TOWN COMMENTS

Ross, France & Ratliff, Ltd.
 CIVIL ENGINEERING - LAND SURVEYING
 8802 SUDLEY ROAD
 MANASSAS, VIRGINIA 20110
 (703) 361-4188 FAX (703) 361-6353

REZONING PLAT
 THE PROPERTY OF
TRUSTEES OF HAYMARKET BAPTIST CHURCH
 TOWN OF HAYMARKET, VIRGINIA
 PRINCE WILLIAM COUNTY VIRGINIA

SCALE: 1" = 50'

CHK: JWL
 DWN: MSL

AUGUST 23, 2012

Attachment: Haymarket Baptist Church Rezoning (1361) : Haymarket Baptist Church - Rezoning



- Check Appropriate Item(s):
- Amendment to Zoning Map
 - Zoning Text Amendment

Office Use Only	
Date Received:	<u>11-6-2012</u>
Application Number:	<u>REZ 20121106</u>
Fees Received:	<u>\$4,000-</u>

Part 1 – to be completed by **ALL** applicants

1-A Identification of Property – For zoning text amendments, this is the property in which the applicant has an interest, which will be affected by the text change. For zoning map amendments, it is the land, which is covered by the application.

- 1) Number and Street: 14820 Washington Street
- 2) Present Zoning: B-1 3) Acres: approximately .6998
- 4) Legal Description of Property (Omit for zoning text amendment) – Attach if necessary.
The property is located to the north (behind) the existing Haymarket Baptist Church Building.

1-B Property – (Omit for zoning text amendments)

- 1) The deed restrictions, covenants, trust indentures, etc. on said property are as follows (or copy attached); if NONE, so state: None that we are aware of.
- 2) a) Has this property or any part thereof ever been considered for Variance, Special Use, Appeal of Administrative Decision or Amendment to the Zoning District Map before?
 YES NO
 b) Date: _____ c) Former Application No. _____
 d) What was the disposition of the case? _____
 e) Former Applicant Name: _____
 Former Address: _____
 Former Phone: _____

1-C Identification of Applicant – All applicants must have standing (an interest in property that will be directly affected by requested action)

- 1) Applicant Information:
 Name: Trustee of Haymarket Baptist Church
 Address: P.O. Box 182, Haymarket, Virginia 20168
 Phone Number: _____
- 2) Agent Information (if any):
 Name: Michael Coughlin/Jessica Sacksteder (Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.)
 Address: 4310 Prince William Parkway, Suite 300, Prince William, Virginia 22192
 Phone Number: (703)680-4664

- 3) Owners of all property included in this application (omit for zoning text change):
Name: Trustees of Haymarket Baptist Church
Address: See above.
Phone Number: _____
Name: _____
Address: _____
Phone Number: _____
Name: _____
Address: _____
Phone Number: _____
Name: _____
Address: _____
Phone Number: _____
- 4) If applicant is a Land Trust or Partnership or if the subject property is owned or controlled by a Land Trust or Partnership, List name and interest of **ALL** Land Trust Beneficiaries or Partners and attach evidence that the person submitting the application on behalf of the Land Trust or Partnership is authorized to do so.
Trustee/Partner Name: _____
Address: _____
Phone Number: _____ *Interest:* _____

Beneficiary/Partner Name: _____
Address: _____
Phone Number: _____ *Interest:* _____

Beneficiary/Partner Name: _____
Address: _____
Phone Number: _____ *Interest:* _____
- 5) Does the applicant have a proprietary interest in the land or land improvements? YES NO (In the case of a zoning text amendment, this means at least one parcel of land is subject to the text change)
 If YES, state interest and attach documentation: Attached please find the deed _____
 conveying the property to the Trustees of Haymarket Baptist Church.
 If NO, state what interest otherwise qualifies the applicant to apply: _____
- 6) Names of the owners of improvement(s) on the property in this application if different from above: (Omit for zoning text amendment)
Name: _____
Address: _____
Phone Number: _____
Name: _____
Address: _____
Phone Number: _____
Name: _____
Address: _____
Phone Number: _____
- 7) If the applicant is a corporation, attach the evidence that the person submitting the application on behalf of the corporation is authorized to do so.

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)

Part 2 – Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

2-A Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.

- 1) a) Existing Zoning: B-1 b) Proposed Zoning: R-1
- c) Existing Use: Church and related facilities
- d) Proposed Use: Church and related facilities
- 2) a) The following are submitted with this application:
 - Preliminary Site Plan Rendering or Perspective Other
- b) Are there any land use intensity (LUI) requirements? YES NO
- c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)

2-B Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.

- 1) What section(s) of the Town Code is proposed to be amended? _____
- 2) What is the nature of the proposed change? _____
- 3) Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
- 4) Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.

Part 3 – To be completed by ALL applicants

AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.

- 1) To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
 - a) Signature of **applicant**: Tommy Robbin
Trustee, Haymarket Baptist Church
 - b) Signature of **agent** (if any): _____
 - c) Date: August 22, 2012 Notary Seal
- 2) a) Signed and sworn before me this: August 29, 2012
- b) Signature of **Notary**: Julia Ann White
7303248

City/County of Prince William Co
 Commonwealth/State of Virginia
 Sworn to and subscribed before me this 29
 day of August, 2012
 Witness my hand and official seal.
Julia Ann White Notary Public
 Exp. October 29, 2013

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)

Part 2 – Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

2-A Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.

- 1) a) Existing Zoning: B-1 b) Proposed Zoning: R-1
- c) Existing Use: Church and related facilities
- d) Proposed Use: Church and related facilities
- 2) a) The following are submitted with this application:
 - Preliminary Site Plan Rendering or Perspective Other
- b) Are there any land use intensity (LUI) requirements? YES NO
- c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)

2-B Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.

- 1) What section(s) of the Town Code is proposed to be amended? _____
- 2) What is the nature of the proposed change? _____
- 3) Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
- 4) Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.

Part 3 – To be completed by ALL applicants

AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.

- 1) To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
 - a) Signature of **applicant:** WE Swartz, Trustee
Haymarket Baptist Church

b) Signature of **agent** (if any): _____

c) Date. August 22, 2012 Notary Seal

2) a) Signed and sworn before me this: September 18, 2012

b) Signature of **Notary:** Jalisa Ann White
730 324 8

City/County of Prince William
 Commonwealth/State of Virginia
 Sworn to and subscribed before me this
 day of September 2012
 with my hand and official seal
Jalisa Ann White Notary Public
 Exp. October 3, 2013

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)

Part 2 – Complete **ONLY** portion(s) pertaining to your case. (as checked at top of Page 1)

2-A Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.

- 1) a) Existing Zoning: B-1 b) Proposed Zoning: R-1
 c) Existing Use: Church and related facilities
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 Preliminary Site Plan Rendering or Perspective Other
 b) Are there any land use intensity (LUI) requirements? YES NO
 c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)

2-B Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.

- 1) What section(s) of the Town Code is proposed to be amended? _____
- 2) What is the nature of the proposed change? _____
- 3) Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
- 4) Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.

Part 3 – To be completed by ALL applicants

AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.

- 1) To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
 - a) Signature of **applicant**: Thomas Fenwick
 - b) Signature of **agent** (if any): _____
 - c) Date: 8/22/2012 Notary Seal

- 2) a) Signed and sworn before me this: 4 September 2012
- b) Signature of **Notary**: Julia Ann Whitey
Exp. Oct 31, 2013

City/County of Prince William
 Commonwealth/State of Virginia
 Sworn to and subscribed before me
 on 4 September, 2012
 Witness my hand and official seal
Julia Ann Whitey
 #730-3248

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)

Part 2 – Complete **ONLY** portion(s) pertaining to your case. (as checked at top of Page 1)

2-A Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.

- 1) a) Existing Zoning: B-1 b) Proposed Zoning: R-1
 c) Existing Use: Church and related facilities
 d) Proposed Use: Church and related facilities
- 2) a) The following are submitted with this application:
 Preliminary Site Plan Rendering or Perspective Other
 b) Are there any land use intensity (LUI) requirements? YES NO
 c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)

2-B Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.

- 1) What section(s) of the Town Code is proposed to be amended? _____
- 2) What is the nature of the proposed change? _____
- 3) Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
- 4) Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.

Part 3 – To be completed by ALL applicants

AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.

- 1) To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
 - a) Signature of **applicant**: Joan Decker
 - b) Signature of **agent** (if any): _____
 - c) Date: 8/22/2012 Notary Seal
- 2) a) Signed and sworn before me this: 4 September 2012
- b) Signature of **Notary**: Julia Anne Whitney

730 3248
 Expires October 31, 2012
 Application for Zoning Map Amendment & Zoning Text Amendment
 Page 3 of 7

City/County of Prince William
 Commonwealth/State of Virginia
 Sworn to and subscribed before me
 day of September, 20 12
 Witness my hand and official seal.
Julia Anne Whitney Notary

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)

Part 2 – Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

2-A Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.

- 1) a) Existing Zoning: B-1 b) Proposed Zoning: R-1
- c) Existing Use: Church and related facilities
- d) Proposed Use: Church and related facilities
- 2) a) The following are submitted with this application:
 - Preliminary Site Plan Rendering or Perspective Other
- b) Are there any land use intensity (LUI) requirements? YES NO
- c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)

2-B Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.

- 1) What section(s) of the Town Code is proposed to be amended? _____
- 2) What is the nature of the proposed change? _____
- 3) Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
- 4) Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.

Part 3 – To be completed by ALL applicants

AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.

- 1) To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
 - a) Signature of **applicant**: Jean Farrell, Trustee
Haymarket Baptist Church
 - b) Signature of **agent** (if any): _____
 - c) Date: 8/22/2012 Notary Seal

- 2) a) Signed and sworn before me this: August 30, 2012
- b) Signature of **Notary**: Julia Ann Whitney
Exp. October 31, 2013

Application for Zoning Map Amendment & Zoning Text Amendment
Page 3 of 7

City/County of Prince William
 Commonwealth/State of Virginia
 Sworn to and subscribed before me this
 day of August, 2012
 Witness my hand and official seal.
Julia Ann Whitney Notary Pt.
 # 7303248

Attachment: Haymarket Baptist Church Rezoning (1361 : Haymarket Baptist Church - Rezoning)



TO: Town of Haymarket Planning Commission

SUBJECT: CLG - Historic Overlay

DATE: 03/11/13

CLG/Old and Historic District Overlay - Draft Text Amendments



TO: Town of Haymarket Planning Commission

SUBJECT: Comp Plan/ZTA's

DATE: 03/11/13

The Town Planner will update on the Comp Plan and the ZTA's.



TO: Town of Haymarket Planning Commission
SUBJECT: 15161 Washington Street - Uhaul Business
DATE: 03/11/13

Tabled from previous months.

ATTACHMENTS:

- 15161 Washington Street - Uhaul Business (PDF)

The Town of HAYMARKET

Established in 1799

ZONING PERMIT #: ZP20121220

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING PERMIT APPLICATION

ZONING ACTIVITY: New Construction Alteration/Repair Addition Sign
(Check all that apply) New Tenant/Use Change of Use Relocation

NAME OF BUSINESS/APPLICANT: HAYMARKET MOTORS

PROPOSED USE: UHAUL RENTAL Size (Sq. Ft./Length) of Construction: _____

SITE ADDRESS: 15161-D WASH ST Parcel ID #: _____

Subdivision Name: _____ Lot Size: _____

ZONING DISTRICT: R-1 R-2 B-1 B-2 I-1 C-1 Site Plan Required: Yes No

Special Use Permit Required: Yes No Homeowners Association (HOA) Approval: Yes No

Off-street Parking: Spaces Required: _____ Spaces Provided: _____

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, type and dimensions of signs, height/length of fencing, etc.)
Additional use of renting U-Haul vehicles

Supporting Documentation (attached): Narrative Plan/Plat Specification Sheet

FEE: \$25.00 Residential \$50.00 Commercial

PAID 12/20/16

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc.)

Supporting Documentation (attached): Specification Sheet Photograph(s)

PERMIT HOLDER INFORMATION		
Name		
Address		
City	State	Zip
Phone#	Email	

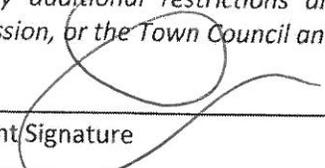
PROPERTY OWNER INFORMATION		
Name		
Address		
City	State	Zip
Phone#	Email	

Attachment: 15161 Washington Street - Uhaul Business (1358 : 15161 Washington Street - Uhaul Business)

APPLICANT / PROPERTY OWNER SIGNATURE

*****REQUIRED*****

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

Applicant Signature 

Property Owner Signature See email

OFFICE USE ONLY

ZONING PERMIT #: ZP20121220

Date Filed: 12-20-12 Fee Amount: 50 Date Paid: 12-20-12

DATE TO ARCHITECTURAL REVIEW BOARD (ARB):

N/A

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

ARCHITECTURAL REVIEW BOARD CHAIR:

SIGNATURE _____

PRINT _____

CONDITIONS: _____

DATE TO PLANNING COMMISSION: 1-14-13

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

PLANNING COMMISSION {where required}:

SIGNATURE _____

PRINT _____

CONDITIONS: _____

DATE TO TOWN COUNCIL: 2-4-13

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

TOWN COUNCIL {where required}:

SIGNATURE _____

PRINT _____

CONDITIONS: _____

Attachment: 15161 Washington Street - Uhaul Business (1358 : 15161 Washington Street - Uhaul Business)

Sherrie Wilson

From: James Durham [pemco70@hotmail.com]
Sent: Saturday, January 05, 2013 5:06 PM
To: Sherrie Wilson
Subject: RE: Haymarket motors

Importance: High

i am aware of this an approve jim d

Subject: Haymarket motors
Date: Fri, 4 Jan 2013 11:59:41 -0500
From: swilson@townofhaymarket.org
To: pemco70@hotmail.com

Mr. Durham

Can you sign the attached Zoning Permit Application for Haymarket Motors?
 This is for them to come into compliance with their U-Haul business at your property.
 Or an email back saying you are aware of this business on your property and approve?

Thank you.

From: Copier@townofhaymarket.org [mailto:Copier@townofhaymarket.org]
Sent: Thursday, January 03, 2013 9:43 PM
To: Sherrie Wilson
Subject: Message from KMBT_C452

Attachment: 15161 Washington Street - Uhaul Business (1358 : 15161 Washington Street - Uhaul Business)



TO: Town of Haymarket Planning Commission
SUBJECT: 1 Mile Development
DATE: 03/11/13

An update from the Town Planner on the Heathcote Development.