

TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ AGENDA ~

Robert B. Weir, http://www.townofhaymarket.org/

15000 Washington Street, Suite 100 Haymarket, VA 20169

Monday, March 11, 2013

7:00 PM

Council Chambers

- 1. Call to Order
- 2. Announcements
- 3. Citizens Time
- 4. Minutes Approval
 - a. Planning Commission Regular Meeting Feb 11, 2013 7:00 PM
- 5. Certificate of Appropriateness/Construction Permits/Zoning Permit Application
- 6. ARB and Council Update
- 7. New Business
 - a. Capital Improvements Plan 2014
- 8. Town Planner Report
- 9. Old Business
 - a. Haymarket Baptist Church Final Site Plan
 - b. Haymarket Baptist Church Rezoning
 - c. CLG Historic Overlay
 - d. Comp Plan/ZTA's
 - e. 15161 Washington Street Uhaul Business
- 10. Discussion Items
- 11. Adjournment
 - a. 1 Mile Development



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Robert B. Weir, http://www.townofhaymarket.org/

15000 Washington Street, Suite 100 Haymarket, VA 20169

Monday, February 11, 2013

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Board Room, Commencing at 7:00 PM

called the meeting to order.

1. Call to Order

Chair Robert Weir: Present, Councilwoman Rebecca Bare: Present, Ed Robinson: Present, Commissioner Ralph Ring: Present, Commissioner Christopher Johnson: Present.

2. Public Hearing - Funeral Home ZTA

a. This Public Hearing was left open from the January 14, 2013 Planning Commission Meeting. Funeral home in B1 open to public. No one spoke.

Close PH.

RESULT: CLOSED [UNANIMOUS]

MOVER: Robert Weir, Chair

SECONDER: Rebecca Bare, Councilwoman

AYES: Weir, Bare, Robinson, Ring, Johnson

3. Announcements

Item on by Town Council. Deliver preliminary sense of any thoughts on reducing the Historic District. Will be discussed on item 10 (d).

4. Citizens Time

No citizens spoke.

5. Minutes Approval

a. Planning Commission - Regular Meeting - Jan 14, 2013 7:00 PM

RESULT: ACCEPTED [UNANIMOUS]

MOVER: Rebecca Bare, Councilwoman

SECONDER: Ralph Ring, Commissioner

AYES: Weir, Bare, Robinson, Ring, Johnson

6. Certificate of Appropriateness/Construction Permits/Zoning Permit Application

a. 6590 Jefferson Street - New Business

In accordance with Town Code section 58-177 (17) (18) (19) Are there any hazardous materials involved? Applicant here. No. All green. No haz mat conditions.

RESULT: ADOPTED [UNANIMOUS]

MOVER: Rebecca Bare, Councilwoman

SECONDER: Ed Robinson

AYES: Weir, Bare, Robinson, Ring, Johnson

b. 6601 Jefferson Street - New Business

58-177 (17)

Are there any hazmat chemicals? Would be up to the building inspector to enforce if there was.

RESULT: ADOPTED [UNANIMOUS]

MOVER: Rebecca Bare, Councilwoman

SECONDER: Ralph Ring, Commissioner

AYES: Weir, Bare, Robinson, Ring, Johnson

c. 14711 Alexandras Keep Lane - Deck

In accordance with town code section 58-15 (b)

RESULT: ADOPTED [UNANIMOUS]

MOVER: Rebecca Bare, Councilwoman

SECONDER: Ralph Ring, Commissioner

AYES: Weir, Bare, Robinson, Ring, Johnson

d. 15009 Gossom Manor Place - Deck

In accordance with town code section 58-15 (b)

RESULT: ADOPTED [UNANIMOUS]

MOVER: Ralph Ring, Commissioner

SECONDER: Rebecca Bare, Councilwoman

AYES: Weir, Bare, Robinson, Ring, Johnson

7. ARB and Council Update

Ring. No ARB update. Was absent last month at the meeting.

Bare: Council tasked PC with coming up map for Historic District. Will be discussed later.

8. New Business

a. Haymarket Baptist Church - Rezoning

Marchant Schneider will do a quick presentation of the application.

Talk to clerk about advertising lead time between now and March 4.

Clerk gave notice. May recommend Joint PH.

Weir move to direct staff to advertise a Zoning map amendment 7397-09-2472, 14820 Washington Street.

And a Joint Public Hearing for modifications and waiver 58-702, 703 b, c and d. Joint hearing to be held with Town Council on March 4.

Johnson seconds.

Ring: yes, Bare Yes, Weir yes, Robinson yes, Johnson yes.

b. Haymarket Baptist Church - Final Site Plan

9. Town Planner Report

John Marshall commons rezoning east of town. That has not moved forward so no update.

Came in with Midwood development. Flex industrial office use. Submitted comp plan amendment to switch from

Minutes Acceptance: Minutes of Feb 11, 2013 7:00 PM (Minutes Approval)

commercial planned to residential. Age restricted housing. In March the PWC BOS will decide to initiate it. Applicants met with Mayor and Marchant.

Weir takes issue with the development competing with the town. Will be interesting to watch.

Heathcote development, North of town. Replace abandoned houses. Going to PH soon.

A possible request to look at old garage on Jordan lane. R1. Interest to see if town is willing to look at replanning that lot for commercial.

Sheetz still in conversation with ARB. Will come in with site plan.

McDonalds also in conversation with ARB.

Self storage presentation later.

No movement on Fire House. No feedback from County. Hired a realtor.

PACE west, not heard anything.

10. Old Business

a. 15161 Washington Street - Uhaul Business

Continue tabled larger issue site plan for entire site

RESULT: TABLED [UNANIMOUS]

MOVER: Robert Weir, Chair

SECONDER: Rebecca Bare, Councilwoman

AYES: Weir, Bare, Robinson, Ring, Johnson

b. Funeral Home - Zoning Text Amendment

Public Hearing held last month. Was continued to this meeting.

Amended application to exclude crematory. Other SUP in B1 zoning.

There is a time line to make a recommendation. Needs to be made this evening.

COMMENTS:

Ring: no comment

Bare: As originally stated makes more sense in the B2 zone than the B1. There are issues in

Ed: Heard from public last month. They weren't real excited about this. Does know there is a need for this service, just not in that area.

Chris: Concurs with Ed. Would like to abstain from discussion.

Weir: Shares everyone concerns. Traffic, parking. Looked at map. What's available in the B1. Literally half if not more backs to someone's back vard. Few residents came in at last months Public Hearing and addressed concerns with traffic and parking. Asking if that use in that location comports with town plan, and the vision for a walking town.

Weir calls for a 10 minute recess.

Weir calls the meeting back to order.

Goes on to say he had gone to a funeral last Friday in Winchester. There were very similar circumstances to this. There was a Church to the right. Business section to the left and residential to the back. Parking lot was full. The church was full. Residential neighborhood stacked with cars. He cannot support in B1 either. Can't justify use. Type of use.

FIRST MOTION:

Ring motions:

Whereas the Planning Commission has held a public hearing regarding an application for a Zoning Text Amendment to allow for Mortuary and Funeral Home Uses in the B-1 Zoning District, and

Whereas the Planning Commission must consider whether the Amendment furthers the public necessity, convenience, general welfare and good zoning practice, and

Whereas the Planning Commission must consider whether the Amendment is consistent with the Town's Comprehensive Plan, and

Whereas the Planning Commission must consider the impact of the Amendment on the services, character and needs of the community, and

Whereas the Planning Commission has determined that the Amendment is not consistent with the existing uses and character of the B-1 Zoning District, and

Whereas the Planning Commission has determined that properties in the B-1 Zoning District are not suitable for the uses contemplated in the Amendment, and

Whereas the Planning Commission has determined that the Amendment is not consistent with the Town's Comprehensive Plan, and

Whereas the Planning Commission has determined that the Amendment would have a negative impact on the Town's transportation infrastructure, and

Whereas the Planning Commission has determined that the Amendment would negatively impact the value of neighboring properties, and

Whereas the Planning Commission has determined that the Amendment would not encourage the most appropriate use of the land throughout the Town, and

Whereas each finding is severable,

Now therefore the Planning Commission of the Town of Haymarket, finds that the Amendment does not further the public necessity, convenience and general welfare; does not constitute good zoning practice, and is inconsistent with the Town's Comprehensive Plan, and recommends that the Haymarket Town Council deny the request for an Amendment to allow for Mortuary and Funeral Home Uses in the B-1 Zoning District.

Bare seconds.

Roll Call: Ring: yes. Bare: yes Weir: yes Robinson: yes Johnson: abstains

Weir continues. The Town Council has directed them to consider an alternative. Agree with Robinson. There is a place for it somewhere in the town. And a need for it in the Western part of the County. Only area could fit into is B2. He has drafted some language for B2 zoning for funeral homes. At this point are we willing to forward to Town Council for their review? Or just let it die at this point.

Ring agrees. Forward for B2 area to Town Council. There is a need for this service. Codifying would be appropriate.

Bare - Agrees. Move forward to Town Council with B2 text.

Ed agrees. And Johnson.

ZTA121012A new number.

SECOND MOTION:

Weir moves to amend the Town's Zoning Ordinance to add certain definitions and to amend the Use Regulations for the B-2 Neighborhood Business Commercial District as follows:

Add the following definitions to be inserted into the Code in proper alphabetical location.

Funeral home means a facility used for the preparation of the deceased for burial and the display of the deceased and ceremonies connected therewith before burial, and may include storage of caskets, funeral urns, and other related funeral supplies and the storage of funeral

vehicles, but does not include facilities for cremation.

Amend Sec. 58-11. - Minimum off-street parking.

(7) For mortuaries and liquor stores, at least ten parking spaces.

Amend Sec. 58-218. - Special Uses.

The following uses shall be permitted in the B-2 district with a special use permit:

- (11) Funeral home subject to the following conditions:
 - (a) Such use shall be located:
 - 1. Within a parcel comprising at least two acres;
 - 2. Within a freestanding building and be the sole principal use on the lot.
- 3. On a parcel of land fronting on, and with direct access to, an existing collector or arterial road with dedicated turn lane(s).
- (b) Sufficient car stacking space shall be provided on the lot such that a collector or arterial road need not be used for the forming of funeral processions. The area of the lot used for the forming of funeral processions shall have direct, but limited, access to the collector or arterial road.
- (c) Off street parking requirements: 1 space / 4 persons in permitted occupancy approved by the Fire Marshall plus 1 space / employee and 1 space / business vehicle and 2 loading spaces.

Bare seconds.

Roll Call:

Ring: yes, Bare: yes, Weir: yes, Robinson: yes, Johnson yes.

c. Comp Plan and ZTA's

Still on hold.

d. Certificed Local Government

Skip to 11 b. Haymarket Self Storage.

Dave Wolfe - owner. 6 acres would like to propose open storage parking motor homes, boats and trailers.

Invited them already but realize he needs an SUP with the town.

There is a need for this parking since PWC law prohibits parking in the street and HOA's don't allow it. Had a lot of calls. Convenience of it being at 15/66 intersection. Ties in with storage business. Bill Putnam with B&N here. Shows map. Shows proposed SWM facility.

Would like to keep property way it is. It is working the way it is with stone and gravel. Zoning requires paving. Wolfe would like to request that they do not pave at this time. Doesn't seem the environmental issue would be any deterrent. Paving is more for environmental runoff. Expenses are another factor. Would like to submit the SUP with amendment to allow gravel or minimum pavement.

Marchant says any use in the I1 must be paved. This instance would have to be paved. The intent is to deal with the Industrial areas frequent traffic and storage of materials.

Motorized vs non motorized. Proffers with land require SWM approach. Would submit ZTA to separate storage of motorized vs non. Need to submit a SUP and a site plan. Motorized would need to be paved. Non motorized would not need to be paved.

Will the mats be permanent? They do have permanent that are weighted and vinyl. If they don't pave, channel thru berms or other methods, into retention pits. Filter media. Designed to take care of BMP. If goes into a pond it gets filtered out. Just like any other BMP filter media.

Would be replace periodically. A lot of jurisdictions prefer this. Is the size of the pond itself in relation to number of expected vehicles? It's based on the drainage area. Collect all SW runoff and run thru filter media.

Wolfe predicts about 20% of the vehicles will be motorized and 80% non motorized. Would like to keep original request as is. Amend the ordinance to allow non paved surface.

Ring ask about security access lighting? Right now no electricity. No fencing. Camera on road can see access. Road controlled access?

No. Wolfe had applied for a permit for a gate. Was tabled because he didn't get proper signatures. Would really help if could have the gate.

Would be remote controlled. Issue at the time was easement. Ring says not so much zoning as a public welfare issue.

Johnsons main concern is the environmental aspect. Motor homes. Risk is limited? But if not paved and something leaks? How often are filters changed? It's variable. There are recommended inspection programs. Based on size and not one media. Based on inspection. Could be 10 years.

Weir not opposed to it but his concerns are environmental as well. But additionally, they couldn't have located this in any more of an environmentally sensitive area in the town. Would be hesitant to allow as curious what D.E.Q. might do to the Town in the future. Afraid if not done properly there could be liability for the town. Would like to see lot more detail. Restriction on vehicles. Heavy diesel. Semi's.

Also what people would do with the waste from their campers if they were renting a space. Would like to see something more than a gate. Perimeter security. Lighting. You are creating a circumstance where there is potential for a public nuisance. An irresistible target. Kids could hang out. Adults could steal equipment. Want to see something more concrete in terms of perimeter security and lighting. Something in place to deter, or easier to detect.

Bare - partial paving/gravel is what she's leaning towards more. The caveat, if trailer landscaping equipment, gas etc, it needs to be on paved.

Ed doesn't sound like business would be targeted? Yes some landscapers parking there now. Not really a lot of nuisance there now.

If could trade off paving for fencing and lighting. This has to work financially for the applicant. Or the applicant could move out of town and find a lot elsewhere. We don't want that to happen. Hope we can work together.

Johnson - Will there be repairs on the lot? NOT permitted now. Won't let that happen.

Consensus is everyone wants to see the combo of paving and gravel.

BACK TO CLG:

At the last Council meeting, they tasked the PC to come up with a suggested initial draft of a reduced Historic District. Weir took the map presented last year. Tweaked it with comments from ARB. Came up with map shown. ARB said anything 50 years or older is historic. It can't be claimed historic just because of it's age. That's most of Madison Street. They're not historic.

We need to protect the gateways. Can we do anything with Sheetz? Probably not. Weir is open to any suggestions. Deadline tonight though.

Eliminated Madison street and court. They don't have HOA's either. Do we have to include newer homes in 18th century?

Goes to the structure of the ordinance. Don't have to. No problem exempting 18th century. Include ones that are immediately adjacent to Parish hall and across from rectory and across from St Paul church.

Bare said we could take a 2 prong approach. New buildings within the Historic District now. We may not be able to keep gateways as too many new buildings there.

Weir to revise according to the census of the PC commissioners. Revise and send to Town Council. Then do map and text amendment. As a courtesy, get ARB's input. Ring to show them.

11. Discussion Items

a. Advantage Landscaping - Rezoning

This item was not discussed. Applicant was not attending.

b. Haymarket Self Storage - Outdoor Equipment Storage Discussed previously.

12. Adjournment

Bare

Weir seconds.



TO: Town of Haymarket Planning Commission

SUBJECT: Capital Improvements Plan

DATE: 03/11/13



TO: Town of Haymarket Planning Commission SUBJECT: Haymarket Baptist Church Final Site Plan

DATE: 03/11/13

Recommendation.

ATTACHMENTS:

• BAPTIST CHURCH SITE PLAN (PDF)



INTEROFFICE MEMORANDUM

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST CHURCH - BUILDING ADDITION AND PARKING

EXPANSION FINAL SITE PLAN, 14820 WASHINGTON STREET

DATE: 03-11-13 **CC:** STAFF

At its February 2013 meeting, the Planning Commission motioned to schedule a joint public hearing with the Town Council to solicit public comment on the Applicant's co-processed rezoning application. The Commission also motioned to schedule a joint public hearing regarding alternative landscape screening and landscape buffer yard modifications associated with the final site plan; however, the hearing will be rescheduled for April 1, 2013.

BACKGROUND

The Town Council approved the corresponding preliminary site plan in 2008. The application proposes a sanctuary addition and paved parking for the church and pre-school. The Church has proposed alternative vegetative screens and buffer yards as described in the attached narrative. Staff comments and Applicant responses along with a copy of the final site plan are also attached.

DRAFT MOTION(S)

1. I move that the Planning Commission forward the site plan application to a future meeting for further consideration.

Or,

2. I move that the Planning Commission forward the site plan application to the Town Council with a recommendation of [approval] [denial].

Or,

3. I move an alternate motion



Ross, France & Ratliff, Ltd.

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Thomas A. Dougher President Charles E. Ross Joe H. France

R. Michael Massey II Vice President, Secretary

Larry J. Ratliff
Vice President, Treasurer

February 6, 2013

Via Courier

R. Marchant Schneider Town Planner Town of Haymarket P.O. Box 1230 Haymarket, VA 20168

Re: Haymarket Baptist Church

Alternative Screens and Modifications Request

Dear Marchant:

As a follow-up to our recent meeting and on behalf of Haymarket Baptist Church (the "Church"), attached please find an 11x17 copy of the Landscape Plan, dated May 15, 2007, last revised January 25, 2013, which is sheet 6 of 10 of the site plan.

Pursuant to Section 58-699(c) and Section 58-703(f) of the Town Code, and on behalf of the Church, we formally request approval of the alternative screen provided along the Church's western property line, and approval of a waiver of any perimeter parking lot landscaping requirement along a portion of the property's eastern property line. The specific requests are as follows:

1. Modification to Section 58-701 and -702, Buffer Yard. Zoning Ordinance § 58-702 requires a 25' opaque screen between B-1 and R-1 zoned properties. As depicted on the Landscape Plan, the Church is proposing a 6' tall wooden fence along the entirety of its western property line to satisfy the buffer yard requirement, which will provide a completely opaque screen in this location. Currently, there is a 6' tall fence along the boundary with GPIN 7397-09-0555, and a new 6' tall fence is proposed along the boundary with GPIN 7397-09-1178. The Church's request is justifiable because i) the use of the property is compatible with the B-1 zoning of the commercial properties, i.e. it is dissimilar from a traditional residential use, ii) there is insufficient room to provide a 25' buffer considering the location of the existing Church structure and the location of the proposed stormwater management facility and tot lot, and iii) additional buffer area is

being installed adjacent to the R-2 zoning district along the northern property boundary. The additional buffer is shown on attached sheet 6.

2. Modification to Section 58-703(b),(c) or (d), Perimeter Parking Lot Landscaping. It is questionable whether perimeter parking lot landscaping is even required for the Church's eastern property line, since there is not a public street adjacent to this property line (per § 58-703(c)), or another parking lot (per § 58-703(d)). Nonetheless, the Church requests a waiver of the perimeter parking lot landscaping requirement, to the extent one is determined to exist, so that no landscaping is required along that portion of the eastern property line where the Town's new storm drainage pipe will be located. There is insufficient room to accommodate both the storm drain pipe and perimeter landscaping. Additionally, the Church permits parking in its lot during Haymarket Day, and perimeter parking lot landscaping would frustrate passage to the Town's adjacent property. Please note that landscaping is provided along the eastern property line where it can be installed.

Please do not hesitate to let me know if you should have any questions or need additional information. I appreciate your assistance in this regard.

Very truly yours,

R. Michael Massey II, P.E., L.S.

Enclosure

cc: Mrs. Otelia Frazier, People of Hope Committee, Haymarket Baptist Church Michael J. Coughlin, Esq. Jessica Sacksteder

ANSION

3

38. For waivers see sheet(s) N/A of _____. 39. Anticipated sewage flows: 400 SEATS © 5GPD/SEAT=2,000 GPD

40. Anticipated fire flows: 4,340 GPM @ 20psi

37. For proffers statement and proffers analysis, see sheet(s) N/A of _____.

41. Distance to nearest existing school or proposed school site: ______500' PACE WEST

GENERAL NOTES

2. Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any

re-addressing. Town of Haymarket does not assume any responsibility where re-addressing is required even though tenants have already

Methods and materials used in the construction of the improvements herein shall conform to the current Town construction standards and

4. The contractor or developer is required to notify the Town of Haymarket Department of Public Works in writing three (3) days prior to

5. Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to

6. A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Town of Haymarket,

8. The exact location of all guard rails will be determined by VDOT personnel. "A joint inspection will be held with the Developer, County

10. Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).

7. Approval of this plan does not quarantee issuance of an entrance permit by VDOT when such permit is required under State law.

issuance of the site development permit. The approval of these plans in no way relieves the developer or his agent of the responsibilities

Representatives, and Representatives, of the Virginia Department of Transportation (VDOT) to determine if and where guard rail and/or paved

ditches will be needed. The developer will be responsible for providing guardrail and paved ditches as determined by this joint inspection."

9. An approved set of plans and all applicable permits must be available at the construction site. Also, a representative of the developer must be

12. All pavement sections on the approved plans are based on a minimum CBR value of 10. CBR tests are to be performed by the engineer and submitted to the Town of Haymarket Planning Office for review prior to placement of base material. CBR values less than 10 will require

13. All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the

14. All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet. The pipe shall be minimum 150 mm (6") diameter and

15. All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied.

17. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the

Corporation) prior to construction of water and/or sanitary sewer lines. Information should also be obtained from the appropriate authority

19. All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of

20. The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by Town of Haymarket and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be

21. Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working

MISS UTILITY 1-800-257-7777

22. The location of existing utilities shown in these plans are taken from existing records. It shall be the contractors responsibility to verify the

23. The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within

25. When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to Prince William

26. The developer will be responsible for the relocation of any utilities which is required as a result of his project. The relocation should be done

27. Before burning, blasting, transportation or storage of explosives in Prince William County, a permit shall be obtained from the Fire Marshal's

containers, etc. which could contain potentially hazardous materials are discovered or observed. All activities must cease and not be resumed

28. Fire and Rescue Services must be notified immediately (792-6810) in the event that unusual items such as tanks, cylinders, unidentified

31. Maintenance of the Storm Drainage or Storm Water Management facilities located therein shall be pursuant to Section 700 of the Prince

32. If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the

34. Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.

35. Individual sign permits will be required from the Zoning Office for all free standing and facade signs prior to erecting the signs.

33. These plans identify the location of all known gravesites. Gravesites shown on this plan will be protected in accordance with state law. In the

event gravesites are discovered during construction, the County's Planning Office must be notified immediately (792-6830). All activities must

exact horizontal and vertical location of all existing utilities as needed prior to construction. The contractor shall inform the engineer of any

days, but not more than ten (10) working days, prior to commencement of excavation or demolition. Names and telephone numbers of the operators underground utility lines in Town of Haymarket appear below. These numbers shall also be used to serve in an emergency condition.

Service Authority

335-7900

(After hours-Emergency 335-7990)

Virginia-American Water 491-2136

Dale Service Corporation 494-4161

responsible for honoring these plans and the finished grades in the installation of their utility lines.

conflicts arising from his existing utility verification and the proposed construction.

County Planning Office prior to issuance of grading and/or site development permits.

29. Sidewalk underdrains shall be installed per Section 650 of the Design and Construction Standards Manual.

cease and not be resumed until authorization to proceed is given by the County Planning Office.

36. All buffer areas shall be screened according to the Design and Construction Standards Manual.

30. All walkways outside of the right-of-way limits will be maintained by the homeowners association.

issuance of any occupancy permits. (Detached single family subdivision exempt.)

contractors responsibility to clean streets, allay dust, and to take whatever measures are necessary to insure that the streets are maintained in

16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be

18. * Notification shall be given to the appropriate utility Company (Service Authority, Virginia—American Water Company, or Dale Service

deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing. It is the responsibility of

the developer to inform the Town of Haymarket of Mapping before a change in layout occurs and to submit complete and accurate information for

_(addresses for subdivision lots shall appear on the approved plat for recordation).

occupied a portion of the building.

Clearing and Grading

Subgrade excavation.

Placing curb and gutter.

G. Placing other concrete.

H. Placing gravel base.

available at all times.

field inspection.

submittal of revised pavement section.

conform to VDOT standard SB-1.

provided at the construction site

a clean, mud and dust free condition at all times.

Town of Haymarket and/or the Service Authority.

Washington Gas Light Co.

Columbia Gas of Virginia

Continental Telephone of VA

or contiguous to the existing right-of-way.

24. All utilities placed under existing streets shall be bored or jacked.

until authorization to proceed is given by the Fire Marshal's Office.

William County Design and Construction Standards Manual.

Northern Virginia Flectric Co-on

Transcontinental Gas Pipe Line Corp.

Virginia Power Co.

Colonial Pipeline Co.

prior to construction.

Office, 792-6360.

concerning permits, cut sheets, and connections to existing lines

Installing storm sewers or culverts.

Setting curb and gutter forms.

Placing any bituminous surfacing.

specifications and/or current VDOT standards and specifications.

Installation of approved erosion control devices.

contained in the Virginia Erosion and Sediment Control Handbook.

prior to construction in existing State right-of-way, 366-1900.

the beginning of the construction and specifically request inspection before beginning ---

*J. Installing water mains <u>outside</u> the Service Authority's boundaries.

*K. Installing sanitary sewer <u>outside</u> the Service Authority's boundaries.

Refer to Virginia Department of Transportation (VDOT) Guard Rail and Paved Ditch Specifications.

11. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

LEGEND

FLOW LINE

FENCELINE

EXISTING UTILITY POLE

PROPOSED UTILITY POLE

EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

EXISTING WATER VALVE

PROPOSED WATER VALVE

PROPOSED WATER METER

EXISTING REDUCER

PROPOSED REDUCER

EXISTING WATER LINE W/ TEE

PROPOSED WATER LINE W/ TEE

----33----EXISTING INTERMEDIATE CONTOUR - - -32.5 EXISTING INDEX CONTOUR _____20 _____ PROPOSED CONTOUR _____EX. E/P EXISTING EDGE OF PAVEMENT PROP. E/P PROPOSED EDGE OF PAVEMENT EXISTING CURB AND GUTTER ____CG-6 PROPOSED CURB AND GUTTER CG−6

CG−6R TRANSITION FROM CG-6 TO CG-6R EXISTING TELEPHONE LINE - - - - -PROPOSED TELEPHONE LINE ______T____ EX. 375 mm (15") RCP EXISTING STORM SEWER PROPOSED STORM SEWER

EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER

EXISTING ELECTRIC SERVICE

PROPOSED ELECTRIC SERVICE

EXISTING GAS LINE

PROPERTY LINE

EASEMENT LINE

EXISTING TREE DRIP LINE

CENTERLINE

EXISTING TREE

PROPOSED TREE

PROP. 375 mm (15") RCP

-----E-----E -----

PROPOSED GAS LINE LIMITS OF CLEARING AND GRADING 12.0 EXISTING SPOT ELEVATION 125_ PROPOSED SPOT ELEVATION

unnin → \$ 375 mm (15") OAK

STOP SIGN HANDICAP RAMP (CG-12) DENOTES LOCATION OF STD VDOT CG-12 AND/OR JURISDICTIONAL STANDARD RAMP CONSTRUCTION PARKING INDICATOR INDICATES THE NUMBER OF TYPICAL PARKING SPACES TEST PIT LOCATION CRITICAL SLOPE SLOPES TO BE STABILIZED PURSUANT TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK 100> VEHICLES PER DAY COUNT PROPOSED BUILDING ENTRANCE EXISTING STREET LIGHT ⊶⋩ PROPOSED STREET LIGHT <u>~</u>₩ PROPOSED STREET NAME SIGN PROPOSED SANITARY LATERAL CLEANOUT SANITARY MANHOLE IDENTIFIER [18] STORM DRAIN STRUCTURE IDENTIFIER

_____X ____

6

[10-♦-

<u></u>₩-ф-

-----W

———W——

Φ

___W___

NO HISTORIC SITES OR CEMETERIES ARE KNOWN TO EXIST WITHIN THE PROJECT LIMITS SHOWN ON THIS 2. THE DEVELOPER/BUILDER SHALL CONTACT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY TO DISCUSS

UTILITY PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT. PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SEWER MAINS AND CERTIFICATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.

DESIGNATED PLANS EXAMINER CERTIFICATE

1ST SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

2ND SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

BOND ESTIMATE

REG. NUMBER DATE

REG. NUMBER DATE

BOND

\$ 172,679.75

\$ 17,267.98

\$ 5,180.39

\$ 195,129.12

\$ 28,710.00

\$ 16,690,00

DESIGNATED PLANS EXAMINER

DESIGNATED PLANS EXAMINER

ITEM

TOTAL SILTATION AND EROSION CONTROL ESCROWS

TOTAL CONSTRUCTION COST

TOTAL LANDSCAPE ESCROW

INFLATION COST (3%)

ADMINISTRATIVE COST (15%) (50,000 MAX)

TOTAL PERFORMANCE BOND AMOUNT

SURVEY AND TOPOGRAPHIC INFORMATION

1. Horizontal and vertical control surveys were performed by ROSS, FRANCE & RATLIFF, LTD. in 2006

2. All elevations must be referenced to the National Geodetic Vertical Datum of 1988 (NGVD).

3. Source of topographic mapping is ROSS, FRANCE & RATLIFF, LTD. dated 2006

4. Boundary survey was performed by ROSS, FRANCE & RATLIFF, LTD.

5. The application of the professional's seal and signature as required by Section 1.14 of the STATE BOARD OF ARCHITECTS PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that: the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one—half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility for the work shown hereon.

APPROVED BY: REVIEWED BY:

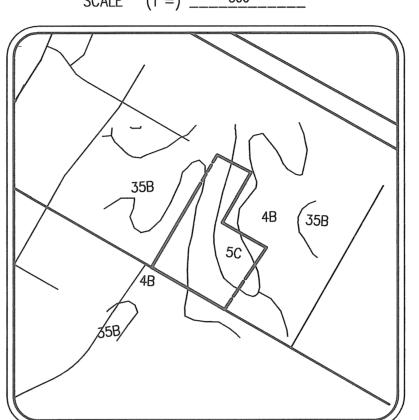
This plan has been reviewed and has been found to be in general conformance with the requirements of Town of Haymarket. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements. If not bonded or permitted (if applicable) within five (5) years of the authorized date or lawfully extended, this authorization will expire. A valid agreement and bond with Town of Haymarket must be maintained to assure plan and permit validity.

SCALE (1"=) _____2,000'

VICINITY MAP

SOILS MAP

SCALE (1"=) _____500'



	SOILS DATA										
SOIL #		IRFACE INOFF	EROSION HAZARD	DEPTH TO BEDROCK	SHRINK SWELL	(- FLOODING	SLOPES	CATEGORY			
4B	ARCOLA SILT LOAM	MEDIUM	SEVERE	20-40" SOFT	LOW	NONE	2-7%	II			
5C	ARCOLA- NESTORIA COMPLEX	RAPID RAPID	SEVERE SEVERE	20-40" SOFT 10-20" SOFT	LOW	NONE NONE	7-15% 7-15%	II			
35B	MANASSAS	SLOW-MED.	MODERATE	MORE THAN	LOW	RARE	2-7%	111			

REVISIONS

ADDRESSED TOWN COMMENTS

ADDRESSED TOWN COMMENTS

ADDRESSED TOWN COMMENTS

ADDRESSED TOWN COMMENTS

ADDRESSED TOWN COMMENTS (VERBALLY)

DESCRIPTION

Related Plans Tracking Numbers (Including Rez. & S.U.P.):

STANDARD EROSION CONTROL DETAILS/NOTES

SITE PLAN & GENERAL NOTES

3A DETAILS

COVER SHEET

DEMOLITION & PHASE I EROSION & SEDIMENT CONTROL PLAN

SHEET INDEX

PHASE II EROSION & SEDIMENT CONTROL & DRAINAGE DIVIDE PLAN LANDSCAPE PLAN

6A BMP PLAN & COMPUTATIONS

PROFILES & STORM SEWER COMPUTATIONS

UNDERGROUND SWM COMPUTATIONS

UNDERGROUND SWM COMPUTATIONS

UNIT PRICE LIST

10 PWCSA STANDARD SHEET

10A PLAN & PROFILE-SIGHT DISTANCE 10B PLAN & PROFILE-SIGHT DISTANCE

10C STORMTECH SHEET

10D STORM-PURE DETAILS & SPECIFICATIONS

R. MICHAEL MASSEY. No. 23856 02.07.13

TD

DESIGNER

12/12/08

6/27/12

1/25/13

DATE

VDOT

BOND

02/07/13

PROFESSIONAL SEAL & SIGNATURE

THESE PLANS ARE IN CONFORMANCE WITH TOWN OF HAYMARKET STANDARDS AND ORDINANCES. ANY DEVIATION OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE DIRECTOR OF THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.

THE REAL PROPERTY.			PRINCE	WILLIAM	COUNTY/TOW	N OF	HAYMAR	KET
		3000 N			COVER SHEET	T	Assemble and Assessment pass Assemble and Assessment at Assessment	
ect Name:								Project Number:
IAYM	ARKET	BAPTIST	CHURCH					
livision or	Site Plan No	ame:			Market Name:			Plan Number: 0
AYM	ARKET	BAPTIST	CHURCH	- BUILDING	ADDITION & PAR	KING EX	(PANSION	Plan Type: FS Revision Number:
sterial Dis	strict:			Preser	t Zoning & Use:			Date of Plan: (M

Address, Including Zip Code & Telephone No. TRUSTEES HAYMARKET BAPTIST CHURCH P.O. BOX 182, HAYMARKET, VA 20168-0182 Address, Including Zip Code & Telephone No.

TRUSTEES HAYMARKET BAPTIST CHURCH P.O. BOX 182, HAYMARKET, VA 20168-0182 ROSS, FRANCE & RATLIFF, LTD. Name, Address & Telephone No. of Engineer 8802 SUDLEY ROAD, MANASSAS, VA. 20110 Architect or Surveyor certifying Plan:

PHONE: (703) 361-4188 FAX: (703) 361-6353 Parcel Identification Number: G.P.I.N. 7397-09-1844, 7397-09-2472, 7397-09-3460 Disturbed Area: 2.60 AC. Impervious Area: 1.48 AC. BMP Storage/Acre: 2538 cf/ac. Total Area: 3.207 AC. Project Area: 2.60 AC.

SP#1592

TOWN OF HAYMARKET B-1 & R-1, CHURCH PROPOSED: R-1, CHURCH

Revised: June 1997 Sheet 1 OF 10

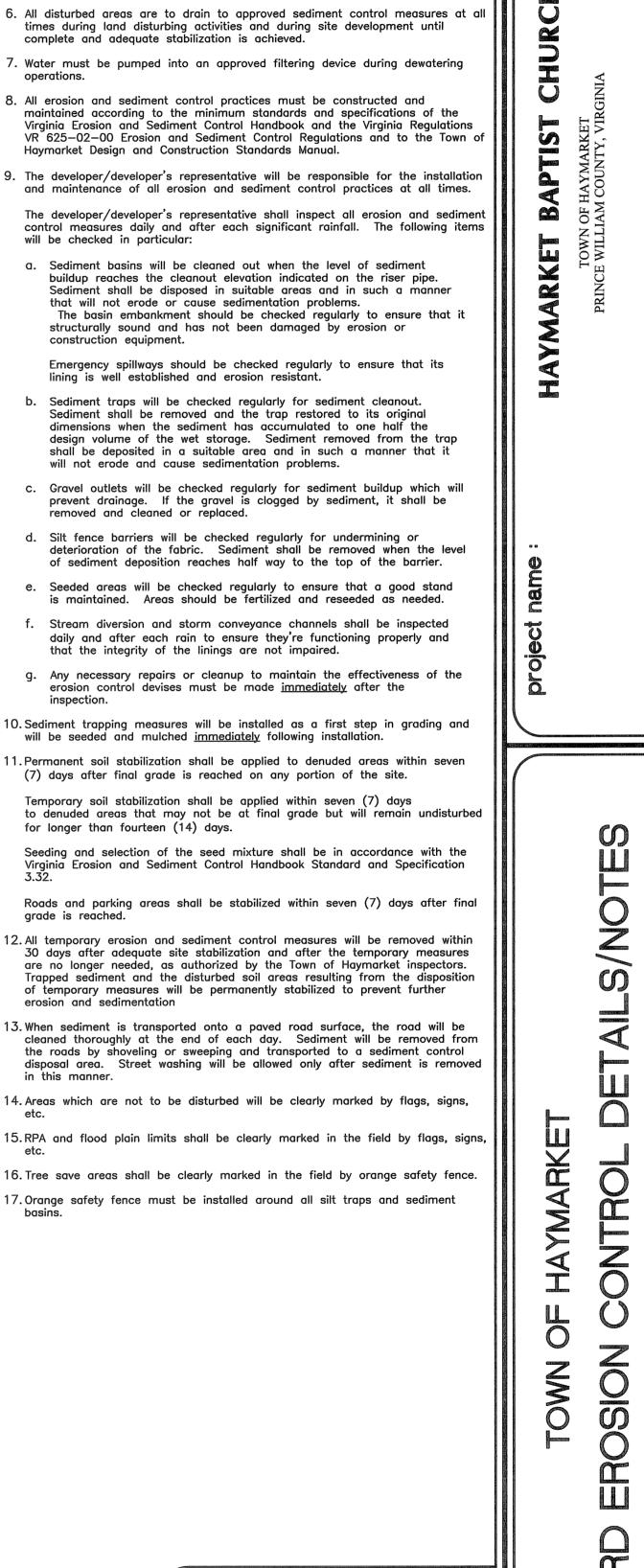
Project Number: SP #1592

Plan Number: 08-HAY03-R0

Date of Plan: (Month, Day, Year)

MAY 15, 2007

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EROSION & SEDIMENT CONTROL STANDARD NOTES 1. The owner/developer must notify the Department of Public Works at 792-7070 at least 24 hours prior to the start of construction in accordance

with applicable county ordinances and policies. 2. The owner/developer grants the right-of-entry on to this property to the designated Town of Haymarket personnel for the purpose of inspecting and

monitoring for compliance with title 10.01, Chapter 5, Article 4 of the Code

of Virginia, Erosion and Sediment Control Law and the Design and Construction Standards Manual Section 750.04 (c). 3. All erosion control measures shown on the approved plan must be in place and inspected and approved by the Department of Public Works prior to

4. A copy of the approved erosion and sediment control plan and permit shall be kept on the site at all times.

clearing, stripping of topsoil or grading.

5. The developer/developer's representative is responsible for the installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by Town of Haymarket.

6. All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until complete and adequate stabilization is achieved.

7. Water must be pumped into an approved filtering device during dewatering

8. All erosion and sediment control practices must be constructed and maintained according to the minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and the Virginia Regulations VR 625-02-00 Erosion and Sediment Control Regulations and to the Town of Haymarket Design and Construction Standards Manual.

9. The developer'developer's representative will be responsible for the installation and maintenance of all erosion and sediment control practices at all times.

The developer/developer's representative shall inspect all erosion and sediment control measures daily and after each significant rainfall. The following items will be checked in particular:

Sediment basins will be cleaned out when the level of sediment buildup reaches the cleanout elevation indicated on the riser pipe. Sediment shall be disposed in suitable areas and in such a manner that will not erode or cause sedimentation problems. The basin embankment should be checked regularly to ensure that it structurally sound and has not been damaged by erosion or construction equipment.

Emergency spillways should be checked regularly to ensure that its lining is well established and erosion resistant.

Sediment traps will be checked regularly for sediment cleanout. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to one half the design volume of the wet storage. Sediment removed from the trap shall be deposited in a suitable area and in such a manner that it will not erode and cause sedimentation problems.

c. Gravel outlets will be checked regularly for sediment buildup which will prevent drainage. If the gravel is clogged by sediment, it shall be

of sediment deposition reaches half way to the top of the barrier.

is maintained. Areas should be fertilized and reseeded as needed.

Stream diversion and storm conveyance channels shall be inspected daily and after each rain to ensure they're functioning properly and that the integrity of the linings are not impaired.

g. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devises must be made immediately after the

will be seeded and mulched immediately following installation.

(7) days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven (7) days

to denuded areas that may not be at final grade but will remain undisturbed for longer than fourteen (14) days.

Virginia Erosion and Sediment Control Handbook Standard and Specification 3.32

grade is reached.

30 days after adequate site stabilization and after the temporary measures are no longer needed, as authorized by the Town of Haymarket inspectors. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures will be permanently stabilized to prevent further erosion and sedimentation

13. When sediment is transported onto a paved road surface, the road will be cleaned thoroughly at the end of each day. Sediment will be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing will be allowed only after sediment is removed

14. Areas which are not to be disturbed will be clearly marked by flags, signs,

15.RPA and flood plain limits shall be clearly marked in the field by flags, signs,

17. Orange safety fence must be installed around all silt traps and sediment

TEMPORARY CULVERT CROSSING PIPE OUTLET CONDITIONS TEMPORARY SLOPE DRAIN CAPACITY OF PIPE CULVE TOGETHER = FLOW PIPE OUTLET TO FLAT AREA WITH NO DEFINED FILTER CLOTH KEY IN 6"-9"; RECOMMENDED FOR ENTIRE PER CONCRETE BLOCK D AT OUTLET IF UPLAND SECTION A-A

SPECIAL APPLICATION
FILTER CLOTH

NOTES: 1. APRON LINING MAY BE RIPPAP, ROUTED RIP-RAP, GABION

BASICET, OR CONCRETE:

2. La IS THE LENGTH OF THE RIP-RAP APRON AS CALCULATED SECTION A - A

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE. GRAVEL SHALL BE VDOT #3, #357 OR #5 COARSE AGGREGATE CONSTRUCTION OF A SILT FENCE BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER CONCRETE BLOCK OVERFLOW SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

* GRAVEL SHALL BE VDOT #3, #357 OR #5 COARSE AGGREGATE

CULVERT INLET SEDIMENT TRAP

*STORAGE REQUIREMENTS EQUIVALENT TO THAT OF TEMPORARY SEDIMENT TRAP. STD. & SPEC. 3.13

67 C.Y./ACRE DRY STORAGE (BASE OF STONE TO TOP OF STONE BERM)

67 C.Y./ACRE WET STORAGE PERSPECTIVE VIEW

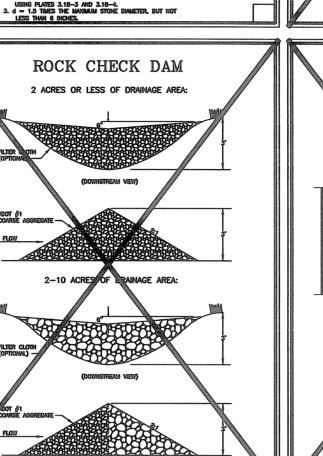
SPECIAL APPLICATION

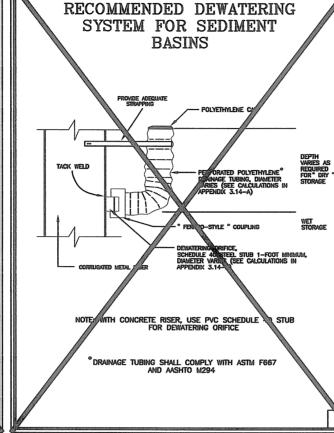
WIRE SCREEN

BLOCK & GRAVEL CURB INLET

SEDIMENT FILTER

0





SEDIMENT CLEANOUT POINT
(" WET " STORAGE REDUCED
TO 34 C.Y./ ACRE)

DESIGN ELEV

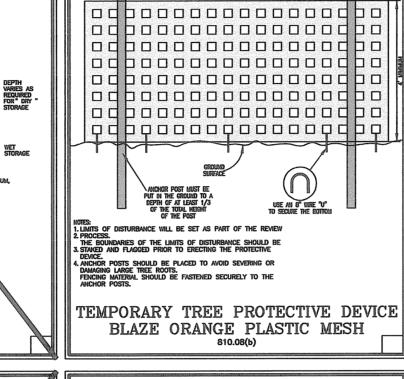
EMERGEM

IONS WITH

DESIGN ELEVATIONS WITHOUT

EMERGENCY SPILLWAY

(RISER PASSES 25-YR. EVENT)



anchor posts should be a minimum 2° steel. U Channel or 2°12° timber at least 6° in length

HIGHLY VISIBLE FLAGGING SHOULD BE ATTACHED TO THE TOPS OF THE ANCHOR POSTS

CHECKLIST

standards in Chapter 3.)

pre-and post- development runoff.

NARRATIVE

FOR EROSION AND SEDIMENT CONTROLS PLANS

activity, and the area (acres) to be disturbed.

will be stabilized after construction is completed.

Minimum Standards - All applicable Minimum Standards must be addressed.

Project description - Briefly describes the nature and purpose of the land-disturbing

Existing site conditions - A description of the existing topography, vegetation and

Adjacent areas - A description of the neighboring areas such as streams, lakes,

residential areas, roads. etc., which might be affected by the land disturbance.

Off-site areas - Describe any off-site land-disturbing activities that will occur

problems (e.g., steep slopes, channels, wet weather/underground springs, etc.)

mapping unit, erodibility, permeability, depth, texture and soil structure.

(including borrow sites, waste or surplus areas, etc.) Will any other areas be disturbed?

Soils - A brief description of the soils on the site giving such information as soil name,

Critical areas - A description of areas on the site which have potentially serious erosion

Erosion and sediment control measures - A description of the methods which will be

used to control erosion and sedimentation on the site. (Controls should satisfy minimum

Permanent stabilization - A brief description, including specifications, of how the site

Stormwater runoff considerations - Will the development site cause an increase in

permanent stormwater detention basins, diversions, channels, etc. Include calculations for

Calculations - Detailed calculations for the design of temporary sediment basins,

Vicinity map - A small map locating the site in relation to the surrounding area.

Final contours - Changes to the existing contours, including final drainage patterns.

Existing vegetation — The existing tree lines, grassed areas, or unique vegetation.

Existing drainage patterns - The dividing lines and the direction of flow for the

Site Development — Show all improvements such as buildings, parking lots, access

Location of practices - The locations of erosion and sediment control and stormwater

management practices used on the site. Use the standard symbols and abbreviations in

waste areas, etc.) Show location of erosion controls. (Is there sufficient information to

Detail Drawings - Any structural practices used that are not referenced to the E&S

Handbook or local handbooks should be explained and illustrated with detail drawings.

Maintenance - A schedule of regular inspections and repair of erosion and sediment

Off-site areas - Identify any off-site land-disturbing activities (e.g., borrow sites,

Critical erosion areas - Areas with potentially serious erosion problems. (See Chapter 6

different drainage areas. Include size (acreage) of each drainage area.

Limits of clearing and grading - Areas which to be cleared and graded.

peak runoff rates? Will the increase in runoff cause flooding or channel degradation

downstream? Describe the strategy to control stormwater runoff.

Include any landmarks which might assist in locating the site.

Existing contours - The existing contours of the site.

Soils - The boundaries of different soil types.

for criteria.)

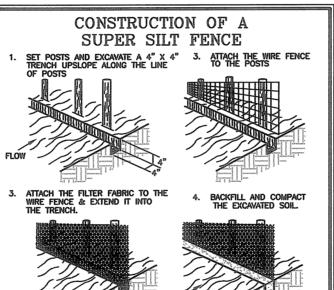
roads, utility construction, etc.

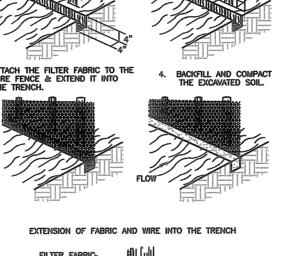
Chapter 3 of the E&S Handbook.

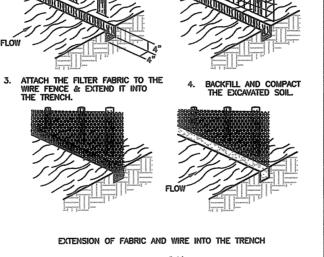
assure adequate protection and stabilization?)

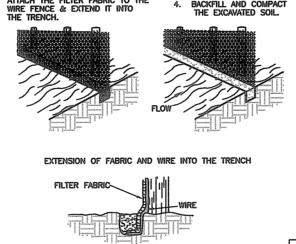
control structures should be set forth.

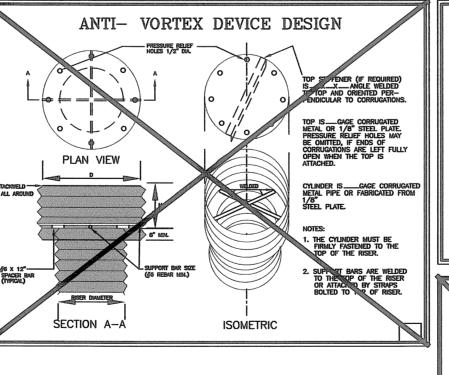
Indicate north - The direction of north in relation to the site.

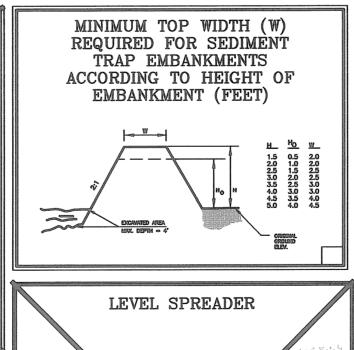


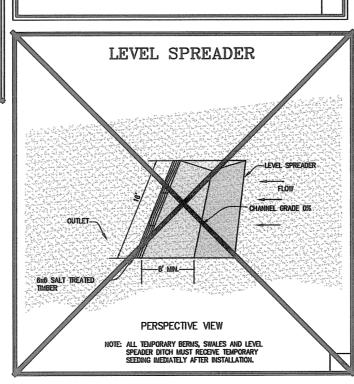












No. 23856 02.05.1

REVISIONS DATE

SHEET 2 OF 10 FILE NO.: SP # 1592

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CONSTRUCTION DUMPSTER CONTAINMENT CONSTRUCTION-DUMPSTER

STONE CONSTRUCTION ENTRANCE

SIDE ELEVATION

PLAN VIEW

SECTION A-A

SECTION B-B

(WITHOUT WIRE SUPPORT)

POINTS A SHOULD BE HIGHER THAN POINT B

DRAINAGE WAY INSTALLATION (FRONT ELEVATION)

TEMPORARY SEDIMENT TRAP

CROSS SECTION OF OUTLET

⇔ COARSE AGGREGATE SHALL BE VDOT #3, #357 OR #5

OUTLET (PERSPECTIVE VIEW)

67 CU. YD./ACRE

* SEE PLATE 3.13-1

VARIABLE *

PERSPECTIVE VIEW

WRAP BERM & ANCHOR) PERSPECTIVE VIEW

TEMPORARY DIVERSION DIKE

-CLASS I RIP-RAP

- VDOT #3, #357, OR #5 COARSE AGGREGATE

--- MAX. SEDIMENT DEPTH (CLEAN OUT FOINT) AT 1/2 VOLUME OF WET STORAGE AREA

ELEVATION

FUEL TANK CONTAINMENT

RIANGULAR BOARD FENCE

TEMPORARY FILL DIVERSION

CORRECT METHODS OF TREE FENCING

CORRECT TRUNK ARMORING

STA. 5+29 APPROX. LOC. 18" W/L 18"x 12"WET TAP 1-12" VALVE

LEGEND **EXISTING** PRINCE WILLIAM COUNTY SERVICE AUTHORITY EDGE OF PAVEMENT ST'D STANDARD PAVEMENT 10'R, R=10' 10 FOOT RADIUS **PEDESTAL** 10 FOOT ARC NOVEC NORTHERN VIRGINIA ELECTRIC COOPERATIVE C&G HANDICAP ACCESSIBLE SPACE CURB AND GUTTER MANHOLE HEADER CURB R.D. GAS METER ROOF DRAIN D.S. CONCRETE DOWN SPOUT **TRANSFORMER UNDERDRAIN** FLOW ARROW C/L, Q CENTERLINE CLEAN OUT IRON PIPE FOUND REDUCER UNDERGROUND ELECTRIC, TELEPHONE, TELEVISION IRON PIPE SET OVERHEAD ELECTRIC, TELEPHONE, TELEVISION GFA GROSS FLOOR AREA FIBER OPTICS HORIZONTAL SQ.FT. SQUARE FEET VERTICAL - PROPERTY LINE — ADJOINER PROPERTY LINE BUILDING FINISHED FLOOR **ELEVATION** WHEELSTOP FIRE HYDRANT · · CHAIN LINK FENCE ---- WATER VALVE WALK WATER LINE ASPHALT STANDARD PARKING SPACE (9' x 18') WATER METER DUCTILE IRON PIPE HANDICAP ACCESSIBLE SPACE (8' x 18') BEST MANAGEMENT PRACTICES POLYVINYL CHLORIDE S.D. SIGHT DISTANCE REINFORCED CONCRETE PIPE BUILDING RESTRICTION LINE CORRUGATED METAL PIPE B.R.L. ESM'T. STORM WATER MANAGEMENT EASEMENT 1 G.P.I.N. GEOGRAPHIC PARCEL IDENTIFICATION NUMBER SANITARY INSTRUMENT NUMBER D.B. UTILITY POLE DEED BOOK W.B. WILL BOOK PAGE LIGHT POLE PAGE TOP OF CURB DENOTES PAVEMENT SECTION "A". HIGH POINT END SECTION

1) METES AND BOUNDS SHOWN ARE THE RESULTS OF A CURRENT FIELD SURVEY. 2) THE PRINCE WILLIAM COUNTY GEOGRAPHIC PARCEL IDENTIFICATION NUMBER (G.P.I.N.) AND ADDRESS FOR THE PROPERTY SHOWN HEREON IS AS FOLLOWS:

SEE COVER SHEET FOR ADDITIONAL LEGEND

PROPOSED GRADING BY OTHERS

G.P.I.N. 7397-09-1844 / ZONE: R-1 / 14800 WASHINGTON STREET

G.P.I.N. 7397-09-2472 / ZONE: EX. B-1 PROPOSED R-1/ 14820 WASHINGTON STREET G.P.I.N. 7397-09-3460 / ZONE: R-1 / 14770 WASHINGTON STREET

THE PROPERTY WAS ACQUIRED BY TRUSTEES HAYMARKET BAPTIST CHURCH BY DEED RECORDED IN DEED BOOK 321, ON PAGE 184 AND DEED BOOK 1264, ON PAGE 28 ALL OF THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

PARKING TABULATION: REQUIRED: 1 SPACE PER 5 FIXED SEATS = 400 SEATS / 5 = 80 SPACES

PROVIDED: 146 SPACES (INCLUDES 8 HANDICAP ACCESSIBLE SPACES) 4) TRIP GENERATION:

400 SEATS X 0.63 = 252 TRIPS PER DAY (ITE VOLUME 3, 7TH EDITION) PAGE 1015 FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS FOR PRINCE WILLIAM COUNTY, MAP# 51153C0211 D, EFFECTIVE DATE JANUARY 5, 1995, SHOWS THAT

THERE IS NO 100 YEAR FLOOD PLAIN WITHIN THE LIMITS OF THIS PROPERTY. 6) THERE ARE NO MAPPED CHESAPEAKE BAY RESOURCE PROTECTION AREAS (RPA) ON THE PARCELS SHOWN HEREON.

7) STORM WATER MANAGEMENT WILL BE PROVIDED ON SITE.

B) THE EXISTING CHURCH IS SERVICED BY PUBLIC SEWER AND WATER WHICH ARE BOTH LOCATED ALONG WASHINGTON STREET.

9) TOTAL ESTIMATE OF ANTICIPATED SEWAGE FLOWS: 2 GPD/SEATx400 SEATS=800 GPD. 10) PROJECT SHALL BE COORDINATED WITH TOWN ENGINEER TO INSURE THAT THIS PROJECT REFLECTS THE APPROPRIATE RIGHTS-OF-WAYS THAT ARE IN COMPLIANCE WITH THE FEDERALLY FUNDED WASHINGTON STREET ENHANCEMENT PROJECT C-502, AS APPROVED BY VDOT.

11) ZONING TABULATION

1) SETBACK REQUIREMENT

*FRONT: 35 FEET (SEE ZONING DETERMINATION LETTER THIS SHEET) SIDE: 10 FEET

REAR: 25 FEET 2) SITE COVERAGE: 30% OF THE TOTAL AREA

*SITE COVERAGE PROVIDED 72.3% (SEE ZONING DETERMINATION LETTER THIS SHEET)

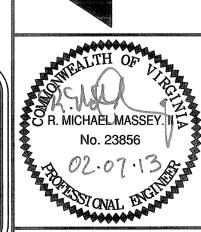
3) MAX. BUILDING HEIGHT: 35' PROPOSED ADDITION HEIGHT: 26.4'

*SEE "ZONING DETERMINATION LETTER" THIS SHEET

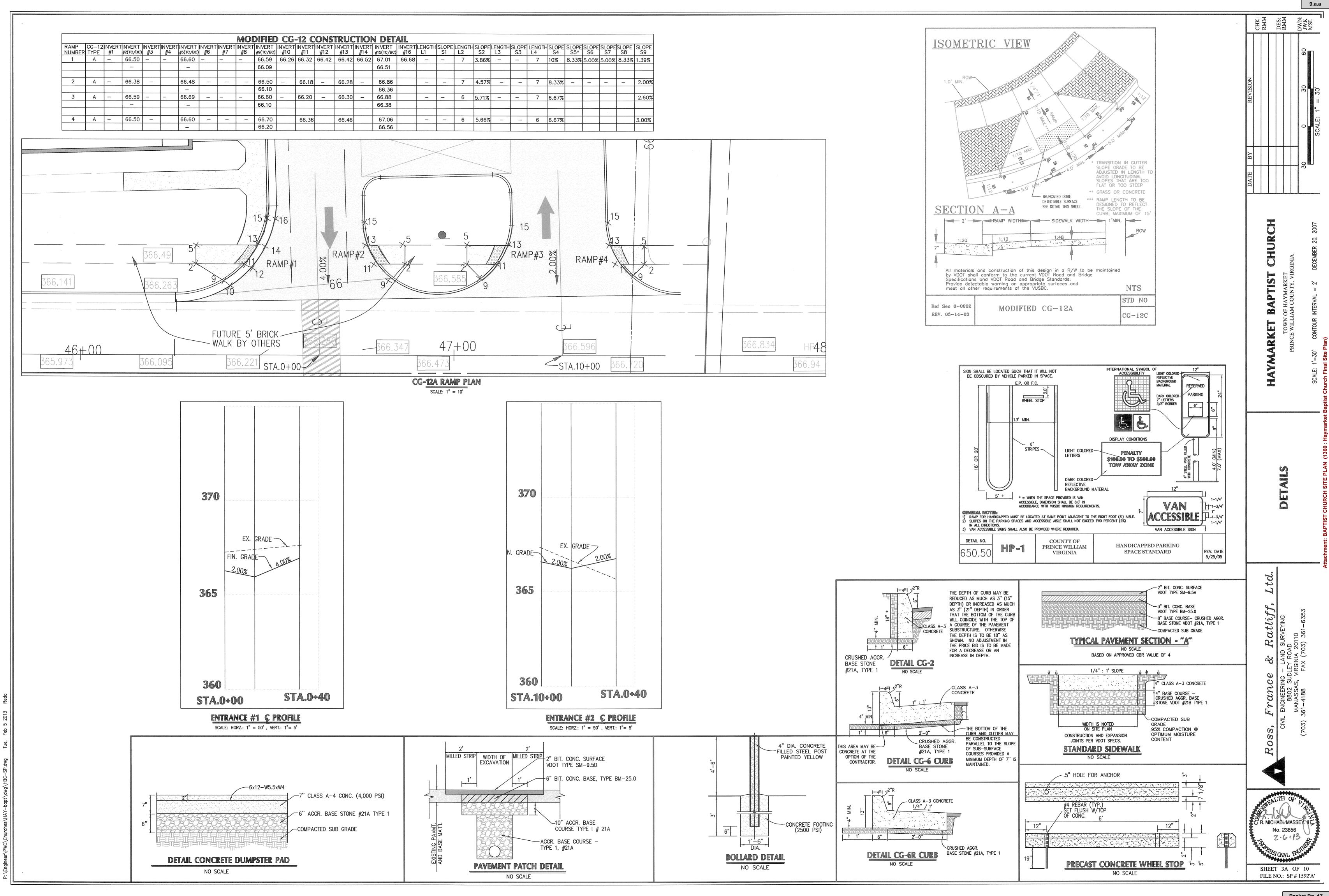
MAINTENANCE AGREEMENT NOTE:

THE FEE TITLE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL STORM DRAINAGE SYSTEMS AND THE UNDERGROUND STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES FACILITY TO ENSURE THAT

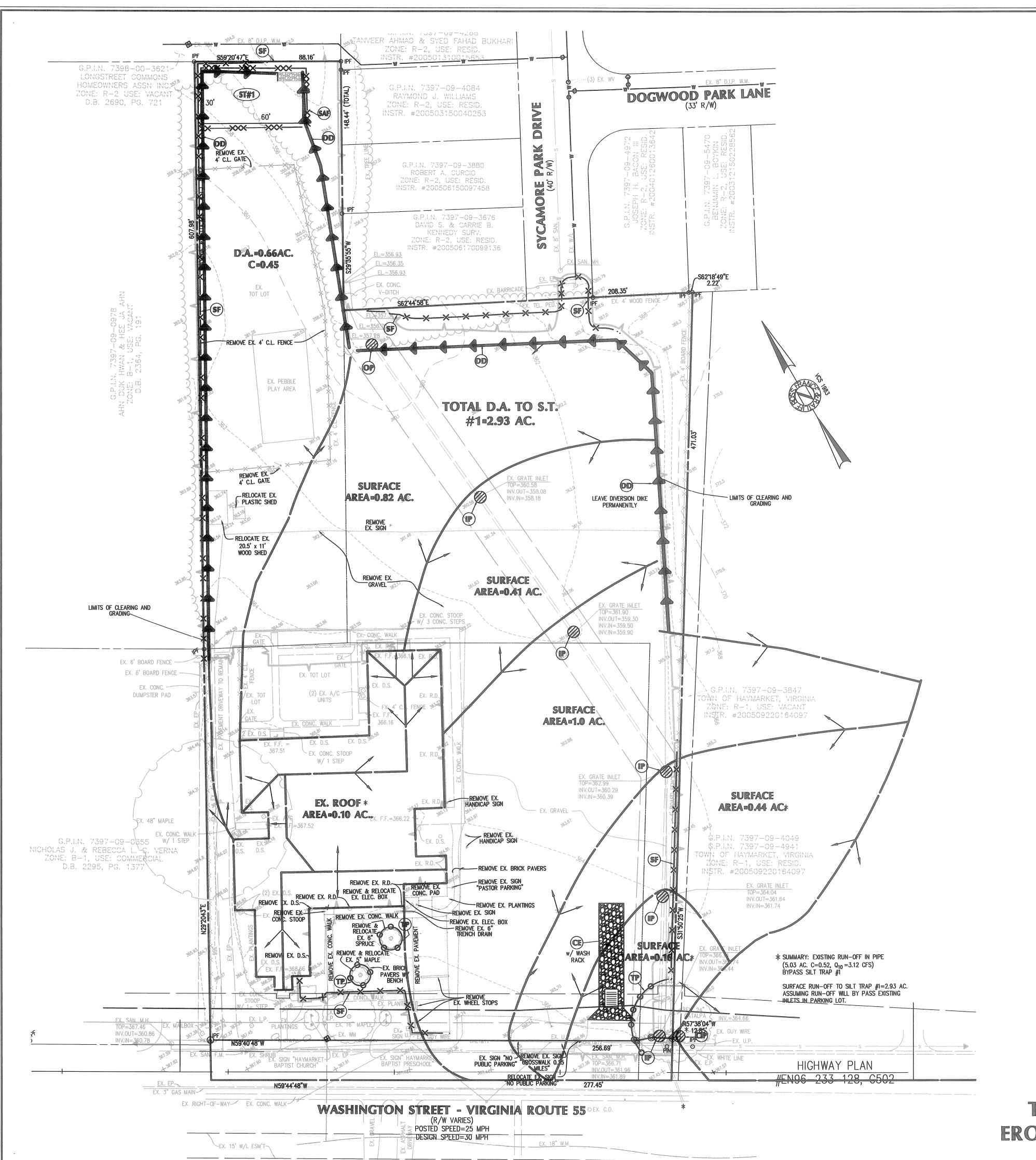
SUBJECT TO OTHER LIMITATIONS, THE FEE TITLE OWNER MAY LANDSCAPE THE EASEMENTS TO INCLUDE VEGETATION. SIGNS. AND FENCES. PROVIDED THAT DRAINAGE AND THE TOWN OF HAYMARKET OR THE OWNER'S ABILITY TO ACCESS THE EASEMENT IS NOT COMPROMISED AND THAT THE TOWN OF HAYMARKET IS NOT IN ANY WAY RESPONSIBLE FOR THE REPAIRS TO THESE LANDSCAPE ITEMS, EVEN IF DAMAGED BY TOWN OF HAYMARKET

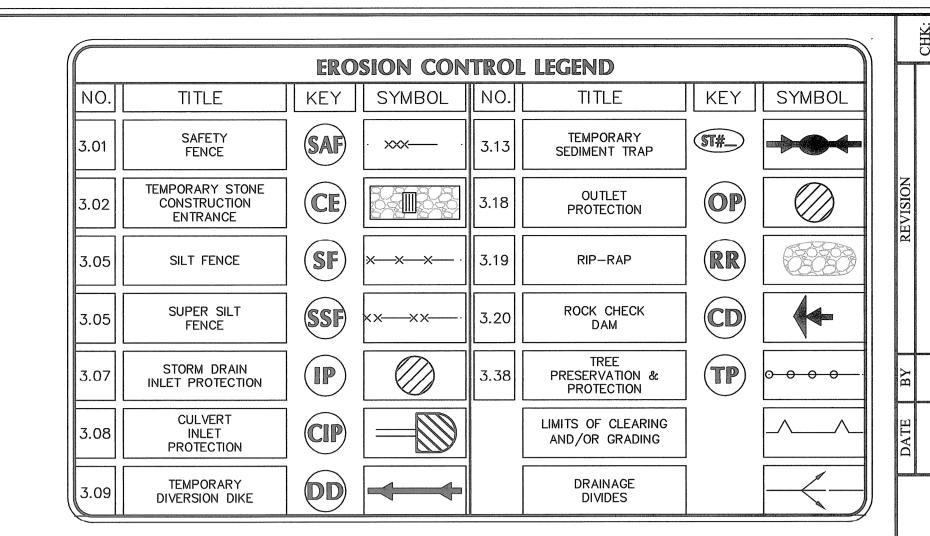


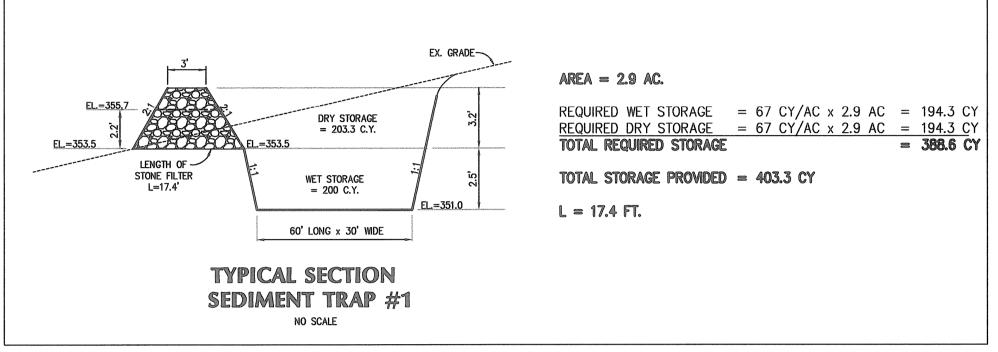
SHEET 3 OF 10 FILE NO.: SP # 1592'A'

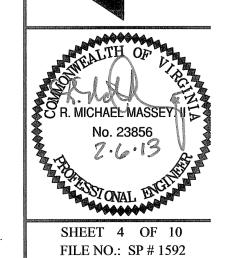


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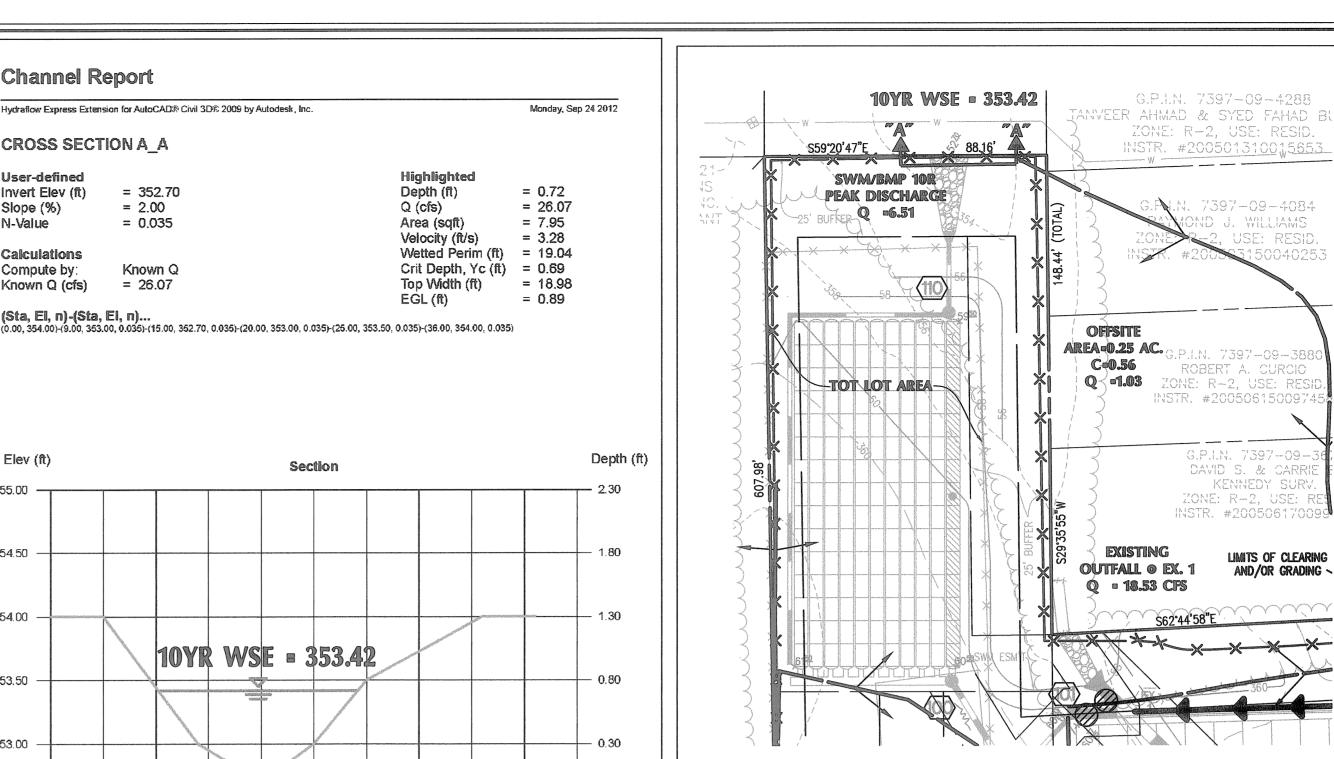








THIS DRAWING FOR DEMOLITION & PHASE I EROSION & SEDIMENT CONTROL PURPOSES ONLY



EROSION CONTROL NARRATIVE

-0.20

THIS SITE CONSISTS OF 3.207 ACRES FOR AN EXISTING CHURCH, WHICH 2.60 ACRES WILL BE DISTURBED. THE SITE IS LOCATED ON THE NORTHERN SIDE OF WASHINGTON STREET IN HAYMARKET. THE SITE IS MODERATELY SLOPED. ALL CLEARING AND GRADING SHALL BE LIMITED TO THE AREAS OUTLINED ON THE SITE AND EROSION CONTROL PLAN. SLOPES RANGE FROM 2 TO 33 PERCENT. THE SITE DRAINS INTO EXISTING CHANNELS NEAR THE NORTHERN AND SOUTHERN PROPERTY LINE.

THE PROPOSED PROJECT IS BORDERED BY WASHINGTON STREET TO THE SOUTH, RIGHT OF WAY TO THE EAST, AND EXISTING SINGLE FAMILY HOMES TO THE NORTH AND WEST.

25

30 35 40 45

15

20

Sta (ft)

IS PART OF THIS PLAN, LIMITED WORK WILL BE CONDUCTED WITHIN THE EXISTING RIGHT-OF-WAY FOR THE ENTRANCES TO THE SITE AND UTILITY CONNECTIONS.

SEE THE SOILS MAP LOCATED ON THE COVER SHEET. THE SITE INSPECTOR SHALL HAVE THE AUTHORITY TO ADJUST OR REQUIRE ADDITIONAL EROSION MEASURES IF REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE DISTURBED AREAS.

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF PRINCE WILLIAM COUNTY AND THE THIRD EDITION OF THE VIRGINIA EROSION AND

THE SPECIFIC AREA TO BE CLEARED SHALL BE IDENTIFIED PRIOR TO BEGINNING CONSTRUCTION. REFER TO THE PLAN FOR THE PROPOSED LIMITS OF CLEARING AND GRADING.

I. CONSTRUCTION ENTRANCE - 3.02 A STABILIZED STONE PAD WITH A FILTER FABRIC UNDERLINER LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE (TO INCLUDE

2. SILT FENCE - 3.05 SILT FENCE SEDIMENT BARRIERS WILL BE INSTALLED DOWN SLOPE OF DISTURBED AREAS TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW AS SHOWN ON THE PLAN. 3. STORM DRAIN INLET PROTECTION - 3.07 A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN DROP INLET OR CURB INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEMS PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA. 4. CULVERT INLET PROTECTION - 3.08 A SEDIMENT FILTER LOCATED AT THE INLET TO STORM SEWER CULVERTS WHICH PREVENTS SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED BY THE CULVERT. IT ALSO PROVIDES EROSION CONTROL AT CULVERTS DURING THE PHASE OF A PROJECT WHERE

5. PERMANENT DIVERSION DIKE — 3.09 AND TEMPORARY SEDIMENT FILTERS.
A SYSTEM OF PERMANENT DIVERSION DIKES WILL BE INSTALLED TO DIRECT FLOW INTO THE SEDIMENT FILTERS BELOW MAJOR GRADED AREAS AS INDICATED ON THE EROSION & SEDIMENT CONTROL PLAN. SPECIFIC DETAILS OF THE SEDIMENT TRAPS ARE SHOWN ON THE DETAIL SHEET.
6. TEMPORARY SEDIMENT TRAP — 3.13 A SMALL PONDING AREA, FORMED BY CONSTRUCTING AN EARTHEN EMBANKMENT WITH A STONE OUTLET ACROSS A DRAINAGE SWALE, TO DETAIN SEDIMENT—LADEN RUNOFF FROM SMALL DISTURBED AREAS FOR ENOUGH TIME TO ALLOW MOST OF THE SUSPENDED SOLIDS TO SETTLE OUT. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS. . OUTLET PROTECTION - 3.18 STRUCTURALLY LINED APRONS OR OTHER ACCEPTABLE ENERGY DISSIPATING DEVICES PLACED AT THE OUTLETS OF PIPES OR PAVED CHANNEL SECTIONS TO PREVENT SCOUR AND MINIMIZE THE POTENTIAL FOR DOWNSTREAM EROSION. 8. RIP RAP - 3.19 A PERMANENT EROSION RESISTANT GROUND COVER OF LARGE LOOSE ANGULAR STONE WITH FILTER FABRIC UNDERLINING TO SLOW THE VELOCITY OF CONCENTRATED RUNOFF AND PROTECT THE

9. TREE PRESERVATION AND PROTECTION — 3.38 PROTECTING EXISTING TREES FROM MECHANICAL AND OTHER INJURY DURING LAND—DISTURBING AND CONSTRUCTION ACTIVITY TO ENSURE THE SURVIVAL OF DESIRABLE TREES WHERE THEY WILL BE EFFECTIVE FOR EROSION AND SEDIMENT CONTROL AND PROVIDE OTHER ENVIRONMENTAL AND AESTHETIC BENEFITS.

PERMANENT OR TEMPORARY SOIL STABILIZATION BY SEEDING AND MULCHING SHALL BE APPLIED TO THE DENUDED AREAS WITHIN 7 CALENDAR DAYS OF COMPLETING ROUGH GRADING. ROADS, TRAVELWAYS AND PARKING FACILITIES SHALL BE STABILIZED WITH BASE COURSE STONE WITHIN 7 DAYS AFTER FINAL GRADING. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 7 CALENDAR DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT SOIL STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN 6 MONTHS. IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED, SEEDING/SOD WILL BE APPLIED TO ALL DENUDED AREAS AS PERMANENT STABILIZATION. THESE AREAS INCLUDE BUT ARE NOT LIMITED TO YARDS, PARKING ISLANDS, AND UTILITY EASEMENTS. FOR WINTER STABILIZATION, ANY AREA DENUDED FOR LONGER THAN 14 DAYS AFTER NOVEMBER 1 TO MARCH 1 SHALL BE MULCHED AND SEEDED APPROPRIATE TO THE SEASON AND SITE CONDITIONS.

SEDIMENT CONTROL, PHASE I:
THE PHASE I MEASURES SHALL BE INSTALLED AS THE FIRST STEP AND PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES. THE PHASE I EROSION AND SEDIMENT CONTROL MEASURES INCLUDE THE FOLLOWING: 2 TEMPORARY SEDIMENT TRAPS, SILT FENCE, ORANGE SAFETY FENCE, DIVERSION DIKES, CULVERT INLET PROTECTION, CHECK DAM AND CONSTRUCTION ENTRANCE WITH WASH RACK.

1. OBTAIN AN EROSION CONTROL PERMIT FROM TOWN OF HAYMARKET.
2. OBTAIN TEMPORARY CONSTRUCTION ENTRANCE PERMIT FROM VIRGINIA DEPARTMENT OF TRANSPORTATION. 3. INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE AND WASHRACK. THE CONTRACTOR SHALL, EITHER BY MEANS OF ONSITE FACILITIES OR TEMPORARY STORAGE, PROVIDE WASH WATER TO WASH MUD FROM VEHICLES AND CONSTRUCTION EQUIPMENT PRIOR TO THEM ENTERING THE RIGHT-OF-WAY. 4. STAKE-OUT THE LIMITS OF CLEARING/AND OR GRADING 5. STAKE-OUT THE LOCATION OF PERIMETER CONTROLS.

6. INSTALL THE PERIMETER CONTROLS AS INDICATED ON THE PHASE I EROSION AND SEDIMENT CONTROL NOTE: CONTRACTOR TO STABILIZE DIVERSION DIKES IMMEDIATELY AFTER INSTALLATION WITH PERMANENT VEGETATION. DIVERSION DIKE WILL REMAIN IN PLACE PERMANENTLY
7. OBTAIN APPROVAL FROM TOWN OF HAYMARKET OF THE PERIMETER CONTROLS. 8. INSPECT AND RESTORE EXISTING CONTROLS AS NEEDED ON SITE. THE STRUCTURES SHALL BE INSPECTED

9. CLEAR AND GRUB ANY AREAS SHOWN TO BE CLEARED ON THE SITE PLAN.

10. PROVIDE TEMPORARY SEEDING AS REQUIRED FOR ANY AREAS IN ACCORDANCE WITH VE&SCH.

11. NO BURYING OF STUMPS, OR ANY OTHER TRASH, JUNK, OR DEBRIS WILL BE ALLOWED ON THE SITE. 2. REMOVE ALL CLEARING DEBRIS, TRASH, CONCRETE, AND DEBRIS FROM THE SITE. 3. MAINTAIN SILTATION AND EROSION CONTROL MEASURES IN AN OPERATIVE CONDITION THROUGHOUT THE ENTIRE PERIOD OF THE CONSTRUCTION PROJECT. 14. THE TOWN INSPECTOR SHALL HAVE THE AUTHORITY TO MAKE ADJUSTMENTS IN THE FIELD TO THE EROSION AND SEDIMENT CONTROL MEASURES IF HE FEELS CORRECTIVE ACTION IS REQUIRED TO PREVENT

SEDIMENT CONTROL PHASE II:

1. ONCE THE PHASE I ITEMS HAVE BEEN CONSTRUCTED, PHASE II LAND DISTURBING ACTIVITIES MAY BEGIN, MAINTAIN PHASE I EROSION CONTROL IN AN OPERATIVE CONDITION. 2. ONCE THE REMAINDER OF THE STORM SEWER HAS BEEN INSTALLED, AND THE INLETS ARE FUNCTIONAL, INSTALL THE INLET PROTECTION. RIP—RAP OUTLET PROTECTION MUST BE INSTALLED

ONCE THE OUTLET STRUCTURE IS IN PLACE. 3. ONCE ROUGH GRADING OF THE PARKING LOTS AND TRAVELWAYS HAS BEEN COMPLETED, THE AGGREGATE SUBBASE SHALL BE INSTALLED TO STABILIZE THE AREA. 4. THE FILL SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION TO REDUCE THE CHANCE OF SHEET AND FILL EROSION. CONCENTRATED FLOWS SHALL BE DIVERTED AWAY FROM FILL SLOPES AND INTO A STABILIZED

CHANNEL. TEMPORARY SLOPE DRAINS SHALL BE INSTALLED TO CONVEY CONCENTRATED RUNOFF DOWN CUT AND FILL SLOPES. 3. UPON COMPLETION OF ALL CONSTRUCTION AND LAND DISTURBING ACTIVITIES, AND WHEN THE DISTURBED AREAS HAVE BEEN STABILIZED, THE SEDIMENT CONTROL MEASURES MAY BE REMOVED. WITH THE APPROVAL OF THE INSPECTOR. CONVERSION OF THE SEDIMENT BASIN TO STORMWATER MANAGEMENT/BMP SHALL BE COMPLETED AT THIS TIME

THE INCREASE IN IMPERVIOUS AREA, DUE TO THE CONSTRUCTION OF THE PROPOSED CHURCH, WILL BE CONTROLLED BY AN ON-SITE BEST MANAGEMENT PRACTICES AND STORMWATER MANAGEMENT FACILITY,

WHICH WILL BUILT WITH THE DEVELOPMENT OF THE SITE.

ALL MEASURES ARE TO BE INSPECTED DAILY BY THE SITE SUPERINTENDENT AND INSPECTOR. ANY DAMAGED DEVICES WILL BE REPAIRED BY THE CLOSE OF THE DAY. ALL TRAPS SHALL BE CLEANED OUT MONTHLY AND AFTER ANY RAINFALL OF 1 INCH OR MORE. IN ADDITION, THE FOLLOWING MAINTENANCE SCHEDULE

a) SEDIMENT TRAPS SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF OF THE HEIGHT OF THE WET b) STONE FILTERS SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF OF THE HEIGHT OF THE FILTER. SILT FENCE SHALL BE CLEANED WHEN SEDIMENT REACHES ONE HALF THE HEIGHT OF THE FENCE. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO INSURE THAT A GOOD STAND IS MAINTAINED. TEMPORARY STOCKPILES SHALL BE GRADED TO DRAIN FREELY AND HAVE PERIMETER EROSION CONTROLS INSTALLED IF TO REMAIN LONGER THAN 14 DAYS

DIVERSIONS SHOULD BE INSPECTED EVERY OTHER MONTH THE FIRST YEAR AFTER CONSTRUCTION AND ANNUALLY THEREAFTER. THE DIVERSIONS AND DRAINS SHOULD BE INSPECTED IMMEDIATELY AFTER ANY STORM EVENT EQUAL TO OR LARGER THAN THE 10-YEAR STORM EVENT. INSPECT BERMS FOR WASHOUT. REPLACE DAMAGED LININGS OR SOIL STABILIZERS AS NEEDED.

SPECIFICATIONS

MULCH ANCHORING

PRIOR TO SEEDING, INSTALL NECESSARY EROSION CONTROL PRACTICES SUCH AS DIKES, WATERWAYS, AND

SELECT PLANTS APPROPRIATE TO THE SEASON AND SITE CONDITIONS FROM TABLES 3.31-B.

TO CONTROL EROSION ON BARE SOIL SURFACES, PLANTS MUST BE ABLE TO GERMINATE AND GROW.

SEEDBED PREPARATION IS ESSENTIAL. 1. FERTILIZER: SHALL BE APPLIED AT 600 LBS./ACRE OF 10-20-10 (14 LBS./1,000 SQ.FT.) OR EQUIVALENT NUTRIENTS. FERTILIZER SHALL BE INCORPORATED INTO THE TOP 2 TO 4 INCHES OF THE SOIL 2. SURFACE ROUGHENING: IF THE AREA HAS BEEN RECENTLY LOOSENED OR DISTURBED, NO FURTHER ROUGHENING IS REQUIRED. WHEN THE AREA IS COMPACTED, CRUSTED, OR HARDENED, THE SOIL SURFACE SHALL BE LOOSENED BY DISCING, RAKING, HARROWING, OR OTHER ACCEPTABLE MEANS. 3. TRACKING: TRACKING WITH BULLDOZER CLEATS IS MOST EFFECTIVE ON SANDY SOILS. THIS PRACTICE OFTEN CAUSES UNDUE COMPACTION OF THE SOIL SURFACE, ESPECIALLY IN CLAYEY SOILS, AND DOES NOT AID PLANT GROWTH AS EFFECTIVELY AS OTHER METHODS OF SURFACE ROUGHENING.

SEED SHALL BE EVENLY APPLIED WITH A BROADCAST SEEDER, DRILL, CULTIPACKER SEEDER OR HYDROSEEDER. SMALL GRAINS SHALL BE PLANTED NO MORE THAN ONE INCH DEEP. GRASSES AND LEGUMES SHALL BE PLANTED WITH NO LESS THAN 1/4" SOIL COVER.

1. TEMPORARY SEEDINGS MADE UNDER FAVORABLE SOIL AND SITE CONDITIONS DURING OPTIMUM SPRING AND FALL SEEDING DATES MAY NOT REQUIRE MULCH. 2. SEEDINGS MADE IN FALL FOR WINTER COVER AND DURING HOT AND DRY SUMMER MONTHS SHALL BE MULCHED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. APPLICATION SHALL BE AS FOLLOWS:

MULCH MATERIAL SHALL BE SPREAD UNIFORMLY, BY HAND OR MACHINE.

WHEN SPREADING STRAW MULCH BY HAND, DIVIDE THE AREA TO BE MULCHED INTO APPROXIMATELY 1,000 SQ.FT. SECTIONS AND PLACE 70-90 LBS. (1-1/2 TO 2 BALES) OF STRAW IN EACH SECTION TO FACILITATE

STRAW MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT DISPLACEMENT. THE FOLLOWING METHODS OF ANCHORING STRAW MAY BE USED: 1. MULCH ANCHORING TOOL (OFTEN REFERRED TO AS A KRIMPER OR KRIMPER TOOL): THIS IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL SURFACE. THIS METHOD PROVIDES GOOD EROSION CONTROL WITH STRAW. IT IS LIMITED TO USE ON SLOPES NO STEEPER THAN 3:1, WHERE EQUIPMENT CAN OPERATE SAFELY. MACHINERY SHALL BE OPERATED ON THE CONTOUR. 2. FIBER MULCH: A VERY COMMON PRACTICE WITH WIDESPREAD USE TODAY. APPLY FIBER MULCH BY MEANS OF A HYDROSEEDER AT A RATE OF 500-750 LBS./ACRE OVER TOP OF STRAW MULCH OR HAY. IT HAS AN ADDED BENEFIT OF PROVIDING ADDITIONAL MULCH TO THE NEWLY SEEDED AREA. 3. LIQUID MULCH BINDERS: APPLICATION OF LIQUID MULCH BINDERS AND TACKIFIERS SHOULD BE HEAVIEST AT EDGES OF AREAS AND AT CRESTS OF RIDGES AND BANKS, TO PREVENT DISPLACEMENT. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS

AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED.

SPREAD OR MAY BE SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL.

S

Ratliff,

R. MICHAEL MASSEY No. 23856 2.6.13

SHEET 5 OF 10

FILE NO.: SP # 1592

BUFFER NARRATIVE

PROJECT DESCRIPTION:

THIS SITE CONSISTS OF 3.36 ACRES FOR HAYMARKET BAPTIST CHURCH OF WHICH 2.60 ACRES WILL BE DISTURBED FOR A BUILDING ADDITION, PARKING EXPANSION, AND AN UNDERGROUND DETENTION SYSTEM. THE SITE IS LOCATED ON THE NORTH SIDE OF WASHINGTON STREET IN HAYMARKET. THE SITE IS PRESENTLY DEVELOPED AS A CHURCH. THERE IS A WOODED AREA TO THE NORTH ALONG THE ADJOINING SINGLE FAMILY PROPERTIES WHICH PROVIDES A BUFFER.

SCREENING AND BUFFER YARD MATRIX:

*THE NORTHERN PART OF THE SITE IS R-1 ZONE AND ADJOINING LAND USE ZONED R-2, A 10 FOOT BUFFER YARD WITH A TRANSPARENT SCREENING IS REQUIRED. THE PLAN PROPOSED A 25 FOOT WIDE BUFFER YARD WITH A TRANSPARENT SCREENING. AN ADDITIONAL 15 FOOT WIDE BUFFER YARD IS PROPOSED THROUGHOUT

**THE NORTHWESTERN PART OF THE SITE PROPOSED R-1 ZONE (EXISTING ZONE B-1) AND ADJOINING LAND USE ZONED B-1, A 25 FOOT WIDE BUFFER YARD WITH AN OPAQUE SCREENING IS REQUIRED. HOWEVER THE UNDERGROUND STORMWATER MANAGEMENT IS PROVIDED 5 FEET OUTSIDE THE PERIMETER OF ADJOINING AREA AND A 6 FOOT BOARD ON BOARD FENCE HAS BEEN PROPOSED AS AN ALTERNATIVE SCREENING.

***THE SOUTHWESTERN PART OF THE SITE EXISTING ZONED R-1, AND ADJOINING LAND USE ZONED B-1, A 25 FOOT WIDE BUFFER YARD WITH AN OPAQUE SCREENING IS REQUIRED. HOWEVER THERE IS NO IMPROVEMENT IN THIS AREA AND AN EXISTING 6 FOOT BOARD ON BOARD FENCE HAS BEEN PROVIDED AS AN ALTERNATIVE SCREENING METHOD. NO ADDITIONAL METHOD IS APPLIED.

THE EASTERN PART OF THE SITE ZONED R-1, AND ADJOINING LAND USE ZONED R-1, NO BUFFER IS

1. THE OWNER OF FEE TITLE TO ANY PROPERTY ON WHICH PLANT MATERIAL HAS BEEN ESTABLISHED IN ACCORDANCE WITH AN APPROVED LANDSCAPE/PLANTING PLAN, SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE APPROVED PLANT MATERIAL, AS REQUIRED BY THE ORDINANCE.

2. THE WASHINGTON STREET IMPROVEMENT PLAN PHASE 1A PROJECT WILL MEET THE STREETSCAPE REQUIREMENTS OF SECTIONS 58-713 THROUGH 58-526 AS PART OF THE BUILDING ADDITION AND PARKING LOT EXPANSION. SEE ZONING DETERMINATION ON SHEET 3.

SCREENING AND BUFFER YARD MATRIX. SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: R-2

SCREEN A (SA) G.P.I.N 7398-00-3621, 7397-09-4288, 7397-09-4084, 7397-09-3880, 7397-09-3676, 7397-09-4972 PROVIDED BUFFER WIDTH: 25' REQUIRED BUFFER WIDTH: 10' PROVIDED BUFFER AREA: 6,813 SQ. FT. REQUIRED BUFFER AREA: 4,450 SQ. FT.

TYPE OF PLANT: ALT.1 1/1000 SQ,FT. CANOPY TREES, 4450/1000 = 5 REQUIRED 9 PROVIDED 1/500 SQ,FT. ORNAMENTAL TREES, 4450/500 = 9 REQUIRED 14 PROVIDED EVERGREEN TREES. = 0

1/100 SQ,FT. SHRUBS, 4450/100 = 45 REQUIRED48 PROVIDED 70 PROVIDED 59 REQUIRED TOTAL NUMBER OF TREES REQUIRED

"SCREENING AND BUFFER YARD MATRIX. PROPOSED SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: B-1

REQUIRED BUFFER WIDTH: 25' **THE STANDARD BUFFER CANNOT BE MET PURSUANT TO SECTION 58-702. PER SECTION 58-699(c), AN ALTERNATE SCREEN IS PROVIDED BY A 6 FOOT BOARD ON BOARD FENCE ADJACENT TO G.P.I.N. 7397-09-0978 AND ADDITIONAL BUFFER AREAS ADJACENT TO THE R-2 ZONING DISTRICTS ALONG THE NORTHERN PROPERTY

SCREEN C (SC) G.P.I.N. 7397-09-0978

SEE BUFFER NARRATIVE THIS SHEET.

"SCREENING AND BUFFER YARD MATRIX. EXISTING SITE LAND USE IS: R-1 AND ADJOINING LAND USE IS: B-1 SCREEN C (SC) G.P.I.N. 7397-09-0355

REQUIRED BUFFER WIDTH: 25' ***THE STANDARD BUFFER CANNOT BE MET PURSUANT TO SECTION 58-702. PER SECTION 58-699(c), AN ALTERNATE SCREEN IS PROVIDED BY AN EXISTING 6 FOOT BOARD ON BOARD FENCE ADJACENT TO G.P.I.N. 7397-09-0355 AND ADDITIONAL BUFFER AREAS ADJACENT TO THE R-2 ZONING DISTRICTS ALONG THE NORTHERN PROPERTY BOUNDARY.

SEE BUFFER NARRATIVE THIS SHEET.

SCHEDULE C PARKING LOT INTERIOR PLANTING

1) AREA OF PARKING: 61,017 SQ. FT.

2) INTERIOR LANDSCAPED AREA REQUIRED: 3,051 SQ. FT. (5%) INTERIOR LANDSCAPED AREA PROVIDED: 3,946 SQ. FT. (6.5%)

INTERIOR PARKING: 61,017 SQ. FT. (GROSS) 5% = 3,051 SQ. FT. REQUIRED = 3,721 SQ. FT. PROVIDED

> PARKING SPACES PROVIDED: 143 CANOPY TREES REQUIRED: 1/10 SPACES=14 CANOPY TREES PROVIDED: 16 SHRUBS REQUIRED: 3/10 SPACES=43 SHRUBS PROVIDED: 43

> > SCHEDULE E

PARKING LOT PERIMETER AREA G.P.I.N. 7397-09-3847

REQUIREMENT: 2 TREES AND 6 SHRUBS FOR EVERY 30 LINEAR FEET OF LANDSCAPE PARKING STRIP.

) LENGTH OF LANDSCAPE PARKING STRIP: 340 FT.

NUMBER OF PLANTS REQUIRED: 340 FT./30 FT.=11 (22 TREES & 66 SHRUBS) *LENGTH OF LANDSCAPE STRIP PROVIDED = 220' *

) NUMBER OF PLANTS PER REQUIRED PROVIDED LENGTH: * 210 FT./30 FT. =7 (14 TREES & 42 SHRUBS)

*THE STANDARD PERIMETER PARKING LOT LANDSCAPE CANNOT BE MET PURSUANT TO SECTION 58-703(d). PER SECTION 58-703(f), AN ALTERNATE SCREEN IS PROVIDED ADJACENT TO G.P.I.N. 7397-09-3847 DUE TO DRAINAGE INFRASTRUCTURE ASSOCIATED WITH THE WASHINGTON STREET IMPROVEMENT PLAN PHASE 1A AND PEDESTRIAN INTERCONNECTIVITY WITH THE ADJACENT TOWN OWNED PROPERTIES.

SCHEDULE H - LANDSCAPE LEGEND

BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	QUANTITY
LAF	RGE DECIDUOUS	TREES		
FRAXINUS PENNSYLVANIA	GREEN ASH	10'-12' (HT.)	2.5 INCHES	17
PRUNUS CERASIFERA	PURPLE PLUM	10'-12' (HT.)	2.5 INCHES	7
	SHRUBS			
VARIUS SPECIES	AZALEA	1'-2' (HT.)		110
VARIUS SPECIES	RHODODENDRUM	1'-2' (HT.)		22
SMA	LL EVERGREEN	TREES		
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6'-8' (HT.) W/ FULL BRANC	CHING	13
	ORNAMENTAL			
CORNUS KOUSA	KOUSA DOGWOOD	5'-6' (HT.)		15
	FRAXINUS PENNSYLVANIA PRUNUS CERASIFERA VARIUS SPECIES VARIUS SPECIES SMA JUNIPERUS VIRGINIANA	TARGE DECIDUOUS FRAXINUS PENNSYLVANIA GREEN ASH PRUNUS CERASIFERA PURPLE PLUM SHRUBS VARIUS SPECIES AZALEA VARIUS SPECIES RHODODENDRUM SMALL EVERGREEN JUNIPERUS VIRGINIANA EASTERN RED CEDAR ORNAMENTAL	TREES FRAXINUS PENNSYLVANIA GREEN ASH 10'-12' (HT.) PRUNUS CERASIFERA PURPLE PLUM 10'-12' (HT.) SHRUBS VARIUS SPECIES AZALEA 1'-2' (HT.) VARIUS SPECIES RHODODENDRUM 1'-2' (HT.) SMALL EVERGREEN TREES JUNIPERUS VIRGINIANA EASTERN RED CEDAR 6'-8' (HT.) W/ FULL BRANCE ORNAMENTAL	TREES FRAXINUS PENNSYLVANIA GREEN ASH 10'-12' (HT.) 2.5 INCHES PRUNUS CERASIFERA PURPLE PLUM 10'-12' (HT.) 2.5 INCHES SHRUBS VARIUS SPECIES AZALEA 1'-2' (HT.) VARIUS SPECIES RHODODENDRUM 1'-2' (HT.) SMALL EVERGREEN TREES JUNIPERUS VIRGINIANA EASTERN RED CEDAR 6'-8' (HT.) W/ FULL BRANCHING

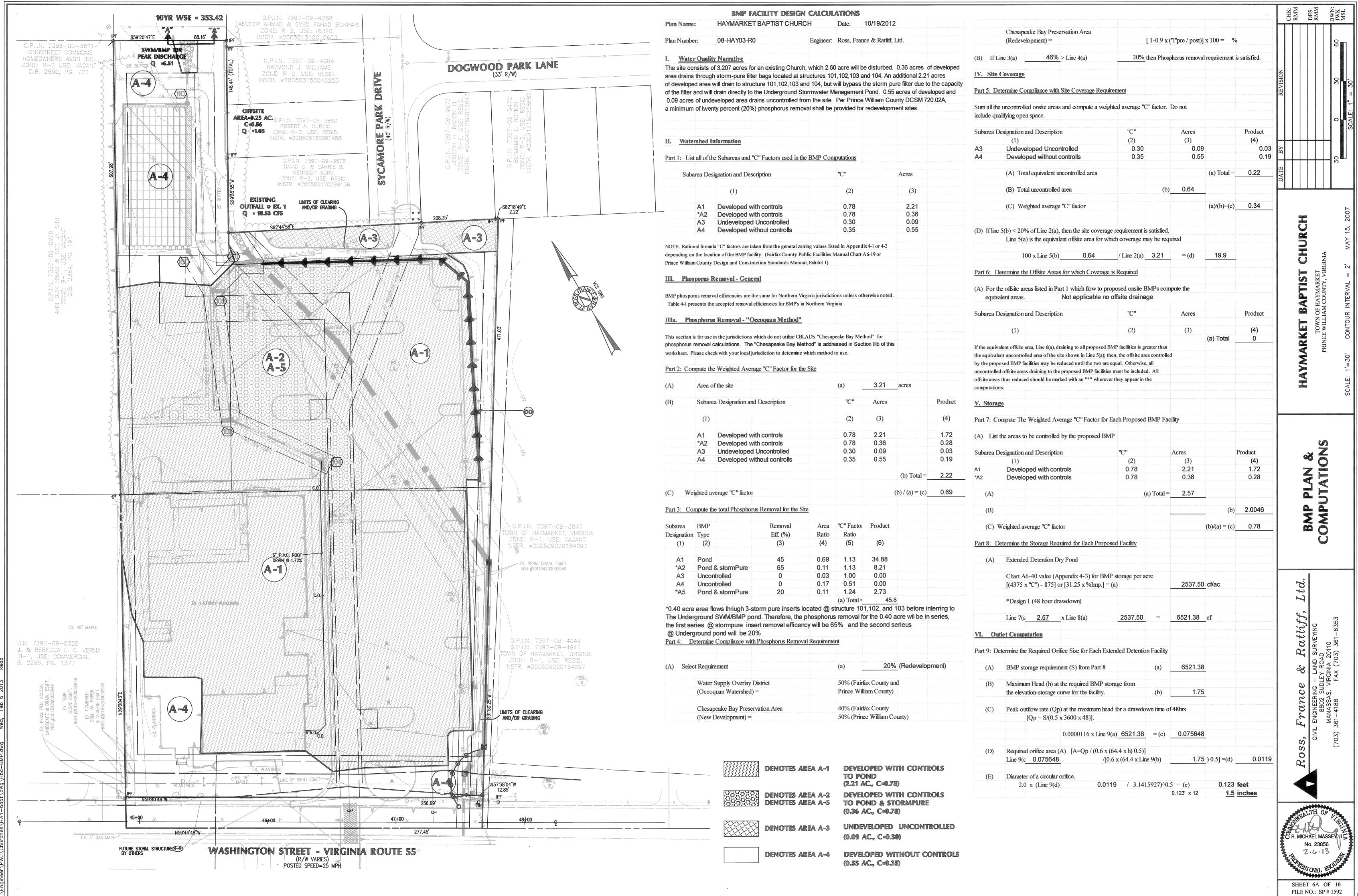
PLANTING PROCEDURES

ALL GROUND COVERS, SHRUBS AND TREES SHALL BE PLANTED FOLLOWING ACCEPTED AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND PROCEDURES. ALL TREES THAT REQUIRED STAKING SHALL BE STAKED ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, AND ALL VEGETATION SHALL BE WATERED AT THE TIME OF INSTALLATION ACCORDING TO THEIR SIZE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUATE WATERING AND MAINTENANCE OF THE PLANTS.

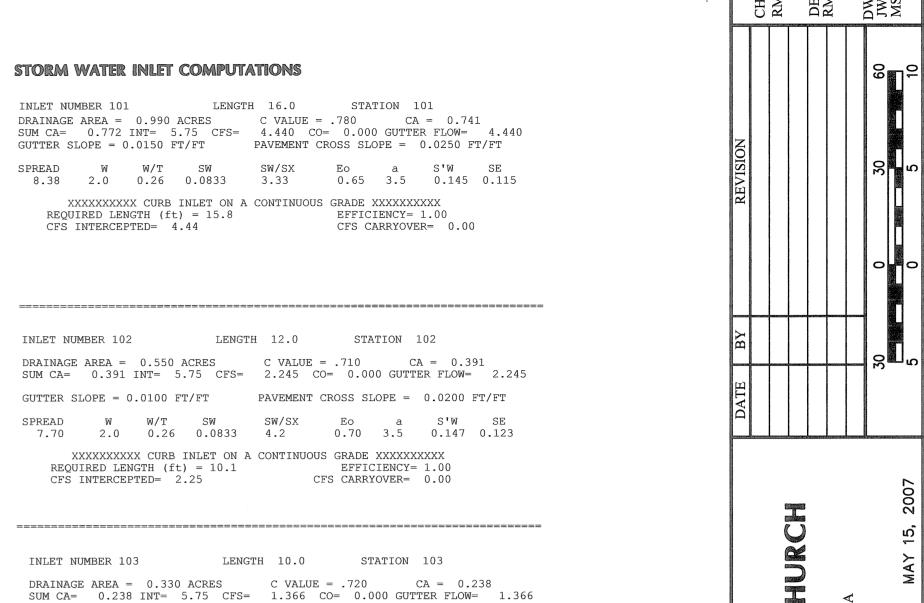
THIS DRAWING FOR LANDSCAPE **PURPOSES ONLY**

R. MICHAEL MASSEY II'S

SHEET 6 OF 10 FILE NO.: SP # 1592



Packet Pg. 21



INLET NUMBER 102 GUTTER SLOPE = 0.0100 FT/FT PAVEMENT CROSS SLOPE = 0.0200 FT/FT

> INLET NUMBER 103 LENGTH 10.0 STATION 103 GUTTER SLOPE = 0.0158 FT/FT PAVEMENT CROSS SLOPE = 0.0290 FT/FT
> SPREAD
> W
> W/T
> SW
> SW/SX
> Eo
> a
> S'W
> SE
>
>
> 4.18
> 2.0
> 0.48
> 0.0833
> 2.9
> 0.88
> 3.3
> 0.138
> 0.151
> XXXXXXXXX CURB INLET ON A CONTINUOUS GRADE XXXXXXXXX REQUIRED LENGTH (ft) = 8.3 CFS INTERCEPTED= 1.37 EFFICIENCY= 1.00 CFS CARRYOVER= 0.00

INLET NUMBER 104 LENGTH 14.0 STATION 104 GUTTER SLOPE = 0.0108 FT/FT PAVEMENT CROSS SLOPE = 0.0105 FT/FT
 SPREAD
 W
 W/T
 SW
 SW/SX
 Eo
 a
 S'W
 SE

 12.39
 2.0
 0.16
 0.0833
 7.9
 0.56
 3.7
 0.156
 0.097
 XXXXXXXXX CURB INLET ON A CONTINUOUS GRADE XXXXXXXXXX REQUIRED LENGTH (ft) = 12.9 EFFICIENCY= 1.00 CFS INTERCEPTED= 2.74 CFS CARRYOVER= 0.00 EFFICIENCY= 1.00 CFS CARRYOVER= 0.00

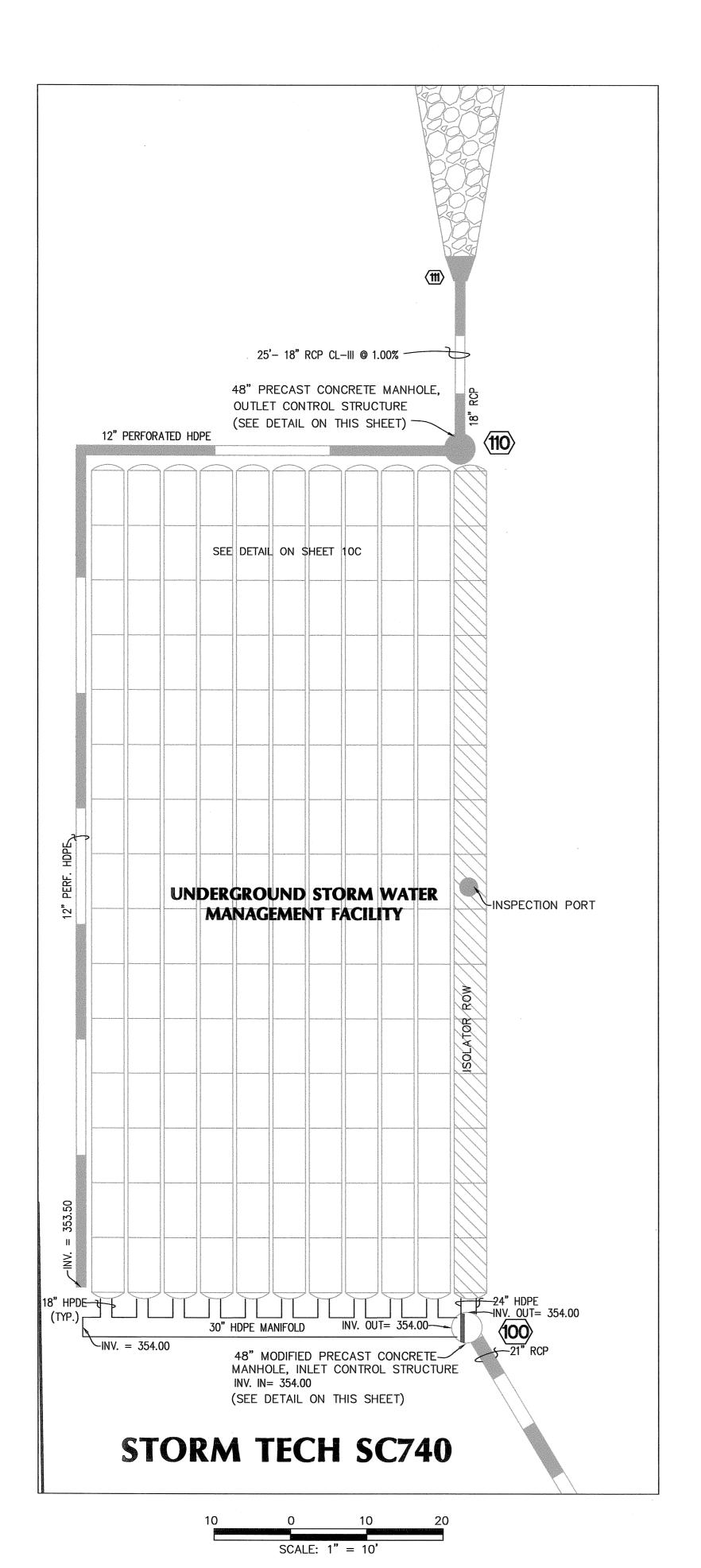
2000																		
	STORM SEWER COMPUTATIONS (EXIST. STORM SYSTEM THRU PARKING LOD)																	
	(EXIST. STORM SYSTEM THRU PARKING LOT)																	
0	AREA OFF CA INLET RAIN RUNOFF INVERT ELEV. OF OF OF OF OF OT CAPA- TIME RUNOFF INVERT ELEV. PIPE PIPE PIPE PIPE REMARK																	
	INC. AC.	TOTAL AC.	С	INCRE- MENT	ACCUM- ULATED	MIN- UTES	INCHES	INCRE- MENT	ACCUM- ULATED	UPPER END (FT)	LOWER END (FT)	FT	FT/FT	INCH	FT/SEC	C.F.S.	MIN- UTES	
																		BAITHT BIRP
X. 6	2.33	2.33	0.56	1.51		subtracts												WASH, ST.
X. 6	2.00	2.00	0.56	1.12														SOUTH SIDE WASH, ST. NORTH SIDE WASH, ST.
X. 5		4.33			2.63	10	5.92	15.56	15.56	363.74	361.74	83	0.0244	18		16.41		
X. 4		4.33			2.63	10	5.92		15.56	361.64	360.39	75	0.0169	18		13.65		
X. 3	0.74	5.07	0.56	0.41	3.04	10	5.92	2.42	17.98	360.29	359.50	99	0.008	18		9.40		
	0.40	- 4-	0.00	0.00	7.47	40	5.00	0.57	40.57	750.70	750.40	00	0.0447	40		44.47		

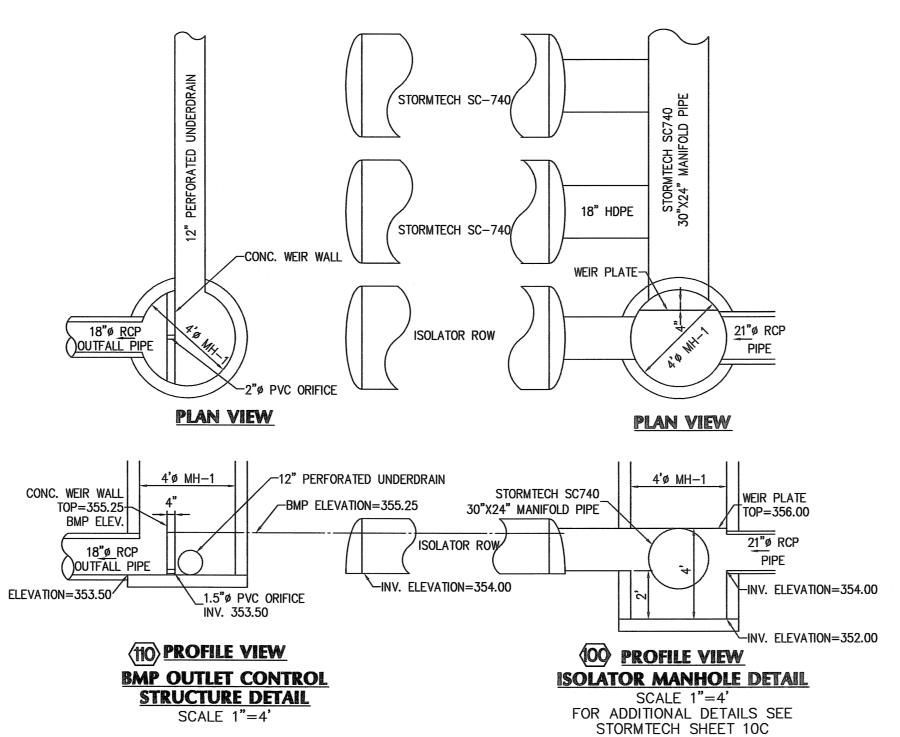
																		Kritiski Leger a camp a
						STO	RM SEWE	R COMPI	JTATI(ONS								e by Charle
		A	REA	RUN OFF COEF.	(CA	INLET TIME	RAIN FALL	RUNOFF	"Q" C.F.S.	INVER	T ELEV.	LENGTH	SLOPE	DIAM.	VELO.	CAPAC.	TIME
FROM	ТО	INC. AC.	TOTAL AC.	С	INCR.	ACCUM.	MINUTES	INCHES	INCREM	ACCUM	UPPER	LOWER	FT.	FT/FT	IN.	FT/S	C.F.S.	MIN.
Ex &Prop Roof	104	0.21	0.21	0.90	0.19	0.19	5.00	7.27	1.37	1.37	364.20	360.30	227.00	0.0172	6	4.3	0.74	0.89
104	10 3	0.49	0.70	0.90	0.44	0.63	5.00	7.27	3.21	4.58	359.89	358.69	78.00	0.0154	15	6.7	8.0	0.19
103	102	0.33	1.03	0.72	0.24	0.87	5.00	7.27	1.73	6.31	3 58 .59	3 57.15	10 1.00	0.0143	15	7.0	7.7	0.24
10 1	102	0.99	0.99	0.78	0.77	0.77	5.00	7.27	6.25	6.25	3 56 .70	356.35	28.00	0.0125	15	6.6	7.2	0.07
102	100	0.55	2.57	0.71	0.39	2.03	5.00	7.27	1.60	14.16	3 55.00	354.00	36.00	0.0278	21	11.2	26.4	0.05

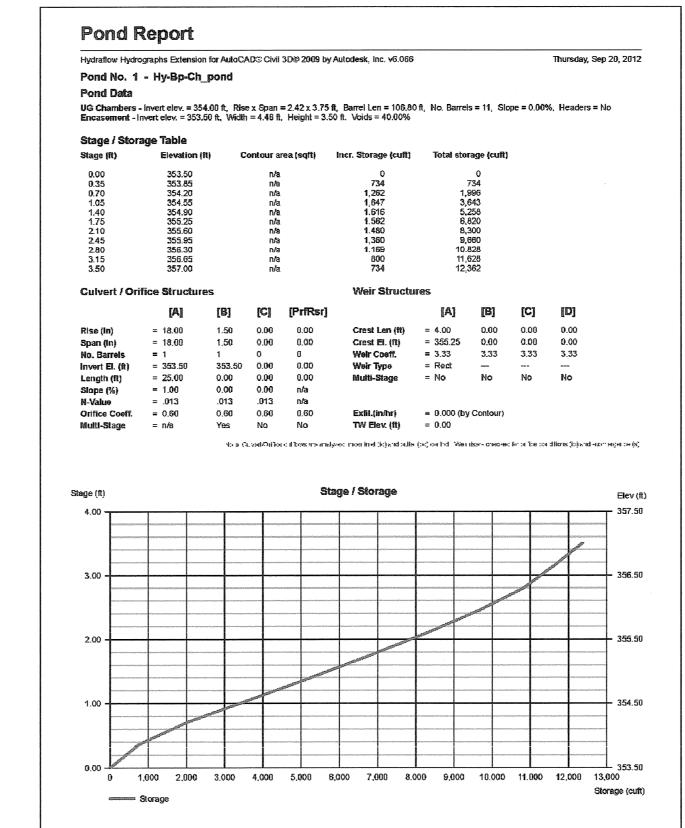
STORM DRAINAGE PROFILES

SCALE: HORZ.: 1"=30', VERT.: 1"=5'

SHEET 7 OF 10 FILE NO.: SP # 1592







i igai anot	w Hydrogra	phs Extensio	n for AutoCA	AD© Civil	3D@ 2009 by	Autodesk, Inc. v6.066	6			Thursday,	Sep 20,
Pond N	lo. 1 -	Hy-Bp-Ch	_pond								
Pond D	Data										
UG Chan Encasem	nbers-inv nent-inve	rert elev. = 35 rt elev. = 353	4.00 ft, Rise .50 ft, Width	= 4.46 ft	= 2.42 x 3.75 Height = 3.5	it, Barrel Len = 106.8 ioft, Voids = 40.00%	0 ft. No. Berrel	s=11. Slop	e = 0.009	%, Headers	s = No
_	Storage	Table Elevation ((SA) C.		rea (sqft)	Incr. Storage (cufi)	Total sta	rage (cuff)			
Stage (ft)	,		in, c				iotai stu	• • •			
0.00 0.35		353.50 353.85		n/a n/a		0 7 34		0 734			
0.70 1.05		354.20 354.55		n/a n/a		1.262 1,647		996 643			
1.40		354.90		n/a		1,616	5,	258			
1.75 2.10		355.25 355.60		n/a n/a		1,562 1,480		820 300			
2.45		355.95		n/a		1,360	9,	660			
2.80 3.15		356.30 356.65		n/a n/a		1,169 800		828 628			
3.50		357.00		n/a		734		362			
Culvert	t / Orific	e Structur			P100 - 5000 - II	Weir Struct		MILLIA D	9400	8520.0	
		[A]	[B]		[PrfRsr]		[A]	[8]	[c]	[D]	
Rise (in)		= 18.00 = 18.00	1.50 1.50	0.00	0.00 0.00	Crest Len (ft) Crest El. (ft)	= 4.00 = 355.25	0.00	0.00 0.00	0.00 0.00	
Span (in) No. Barre	,	- 10.00 = 1	1.30	0.00	0.00	Weir Coeff.	= 3.33	3.33	3.33	3.33	
Invert El.		= 353.50	353.50	0.00	0.00	Weir Type	= Rect	_			
Length (1		= 25.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No	
Slope (% N-Value	•	= 1.00 = .013	0.00 .013	0.00 .013	n/a n/a						
Orifice C		= 0.60	0.60	0.60	0.60	Exfil.(In/hr)	= 0.000 (b)	(Contour)			
Multi-Sta		= n/a	Yes	k1							
	1 9 0	- 114		No L veitzunnes	No Bressesses	TW Elev. (ft)	= 0.00 cros(serial wor	msetionsokos	erarrac car	oraici, aroditi	d dua margic
lage (ft)	iĝe :	- III			suitions are and			nset enseas	ig: 30F780 dar	rations (reigh	E
	iĝe :	11/4			suitions are and	the brevel at the rear Leasy		nsationsodes	eraccar	raisi, eroilt	E
age (ft)	ige :	- III			suitions are and	the brevel at the rear Leasy		NS2T ¢15¢496	promocean	dions (icron	E
iage (ft)		- III			suitions are and	the brevel at the rear Leasy		nest checke	NC 20176 - 01	Maist, aroth	E
age (ft)		- IKE			suitions are and	the brevel at the rear Leasy		No.2 0160406	NC XCTK-0	Maist, aroth	E 3
lage (ft)					suitions are and	the brevel at the rear Leasy	ares serial wor	NS-T 0160406	orac carer d	Maist, arother	E 3
age (ft)					suitions are and	the brevel at the rear Leasy	ares serial wor	IISOT CHECAVE	p articles	'dhors, izren	E 3
age (ft)		THE STATE OF THE S			suitions are and	the brevel at the rear Leasy	ares serial wor	nset choose	p arac cor	'dhors, izren	E 3
age (ft)					suitiews are and	the brevel at the rear Leasy	ares serial wor	nset choose	9 - SF 100 - OSF	K SISI, STORIES	E 3
age (ft)	199				suitiews are and	the brevel at the rear Leasy	ares serial wor	ns > T o receive	# '3F13C 23F	ritors; scotts	
age (ft) 4.00	ige :				suitiews are and	the brevel at the rear Leasy	ares serial wor	NG 2 T C 16C 40C	P - 3f 13C 23f	rest; aroll:	
4.00 -					suitiews are and	the brevel at the rear Leasy	ares serial wor	NS > T C YSC + 405	20120 2016 - 01	Silves its 6 M	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3
3.00 -					suitiews are and	the brevel at the rear Leasy	ares serial wor	IIGOT CYGOADG	P 3713C 23f	'Jhors', Izre'n	2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3
4.00 - 3.00 -					suitiews are and	the brevel at the rear Leasy	ares serial wor	NG 2 T C 16C 40C	9-3(13) 23(STORY STORY	2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3
4.00 T					suitiews are and	the brevel at the rear Leasy	ares serial wor	NS > T C Y 15 C 40 5	20120 2016 - 01	Shors In 6 M	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3
4.00 T					suitiews are and	the brevel at the rear Leasy	ares serial wor	INCOME CONTRACTOR	P 3 T 100 00 F	'Jhors Jaren	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3

PRE-DEVELOPMENT PEAK FLOW

3.21 1.70 PRE- DEVELOPED 'C' = 0.53 PRE-DEVELOPED Tc= 10 MIN. 10 YR. = 3.21 x 0.53x 5.92 = 10.07 cfs100 YR. = 3.21 x 0.53 x 8.10 = 13.78 cfs

2.57 = 0.22

POST- DEVELOPED 'C' = 0.69

 $2 \text{ YR.} = 3.21 \quad \text{x} \quad 0.69 \quad \text{x} \quad 5.75$ 10 YR. = 3.21 x 0.69 x 7.27 = 16.10 cfs $100 \text{ YR.} = 3.21 \text{ x} \quad 0.69 \text{ x} \quad 9.84 = 21.79 \text{ cfs}$

POST-DEVELOPED UNCONTROLLED BY-PASS

x 5.75 = 1.29 cfs10 YR. = 0.64 x 0.35 x 7.27 = 1.63 cfs 100 YR. = 0.64 x 0.35 x 9.84 = 2.20 cfs

ALLOWABLE DISCHARGE FROM UNDERGROUND FACILITY

2 YR. = 7.83 - 1.29 = 6.54 cfs10 YR. = 10.07 - 1.63 = 8.44 cfs

ACTUAL DISCHARGE FROM UNDERGROUND FACILITY

2 YR. = 3.98 cfs (26 MIN.) 10 YR. = 6.51 cfs (20 MIN.)

RESERVOIR ROUTING FORMULA

ds/dt = CHANGE IN STORAGE

FORMULA: I-O = ds/dtWHERE: I = INFLOW0 = OUTFLOW

HYDRAFLOW FIRST USES THE SPECIFIED STAGE/ STORAGE /

OUTFLOW li lj 2S/dt-0i 2S/dt+0j CFS CFS CFS CFS 0 24 10 24 95 95 206 33

3. COL. 4 IS COL. 5 - 2x COL. 6

ALLOWABLE DISCHARGE COMPUTATION

ON-SITE 3.21 0.53 = 1.70

POST-DEVELOPMENT PEAK FLOW FROM SITE

0.78 = 2.00

3.21 Ac. 2.22

POST-DEVELOPED Tc= 5 MIN.

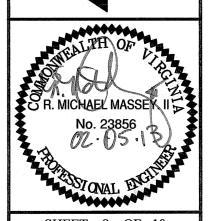
2 YR. = 0.64 x 0.35

DISCHARGE TABLE TO INTERNALLY PLOT A CURVE OF 2s/dt + O. IT THEN COMPUTES THE OUTFLOW HYDROGRAPH USING A PROCEDURE SIMILAR TO THE EXAMPLE SHOWN BELOW.

ROUTING PROCEDURE 1. COL. 1 AND COL. 2 ARE READ FROM THE INFLOW HYDROGRAPH 2. COL. 3 IS THE INFLOW AT TIME J.

4. COL. 5 FOR J IS (COL. 2 + COL. 3 + COL. 4)
5. COL. 6 IS COMPUTED BY STRAIGHT—LINE INTERPOLATION FROM THE PLOT OF 2S/dt = 0 VS. 0.

UNDERGROUNI SWM COMPUTATION



SHEET 8 OF 10 FILE NO.: SP # 1592

I J WI	naiah	h Repo			\$24.P.S.M.M.M., P.J.M.M.M.M.M.M.							
lydraflow i	Hydrographs E	xtension for Auto	CAD® Civil	3D® 2009	by Autode:	sk, Inc. v6.	066				Thursday,	Sep 20, 2012
Hyd. N	Vo. 2											
2yr_5m	in											
Storm f Time in Inflow h	raph type requency terval ryd. No. evation	= 2 yr: = 1 m	iin :no desc	cription	>		Peak d Time to Hyd. vo Reserv Max. S	peak olume oir nan	= = ne =	26 mii 19,04	n 8 cun≹ ≻Ch_po	ond
Storage Inc	tication method	dused						·				
Hydrog	raph Dis	charge Tat	ile							(Printed ≥a ues	;>=1.00% of Qp.;
Time (min)	inflow cfs	Elevation ft	Clv A cfs	Clv B cfs	Civ C cfs	PfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfi cfs	Outflow cfs
5	13.57 <<	354.21	0.047	0.046		*****				Market State		0.046
6	12.51	354.37	0.052	0.052						******		0.052
7 2	11.45	354.52 354.67	0.058 0.065	0.057 0.061								0.057
3 9	10.41 9.350	354.57 354.79	0.065	0.064								0.061 0.064
10	8.280	354.91	0.072	0.067								0.067
11	7.860	355.01	0.072	0.070								0.070
12	7.430	355.12	0.072	0.072			*****	-				0.072
13	6.990	355.21	0.080	0.075			0.475					0.075
14 15	6.560 6.140	355.30 355.39	0.080 0.080	0.077 0.079			0.175 0.678		-			0.252 0.757
13 16	5.900	355.46	0.080	0.080			1.262					1.342
17	5.640	355.52	0.081	0.081			1.835			-		1.917
18	5.400	355.56	0.089	0.082		-	2.344	*****	*****	-		2.426
19	5.140	355.60	0.089	0.083			2.775					2.858
20 24	4.910	355.63	0.089	0.084			3.146					3.229
21 22	4.740 4.580	355.65 355.67	0.089 0.089	0.084 0.085			3.428 3.633					3.513 3.718
22 23	4.300	355 68	0.089	0.065 0.085			3.033					3.718 3.860
24	4.220	355.69	0.089	0.085	-		3.858					3.942
25	4.060	355.69	0.089	0.085			3.894			-		3.979
26	3.940	355.69 <<	0.089	0.085			3.898		-	-		3.983 <
27 38	3.820	355.69	0.089	0.085			3.879					3.964
28 29	3.680 3.560	355.69 355.68	0.089 0.089	0.085 0.085			3.839 3.783					3.924 3.868
30	3.450	355.68	0.089	0.085			3.716					3.801
31	3.350	355.67	0.089	0.085			3.642					3.726
32	3.280	355.67	0.089	0.084			3.568		-			3.652
33	3.190	355.66	0.089	0.084			3.493					3.578
34 35	3 120 3.020	355 65 355.65	0.089 0.089	0.084 0.084			3 418					3 502
ชอ 36	3.020 2.930	355.64	0.089	0.084	*****		3.341 3.261					3.425 3.345
37	2.860	355.63	0.089	0.084		******	3.181					3.265
38	2.760	355.63	0.089	0.084			3.103					3.187
39	2.690	355.62	0.089	0.084	-		3.024			*****		3.108
40 44	2.600	355.62	0.089	0.083			2.945			****		3.028
41 42	2.550 2.500	355.61 355.60	0.089 0.089	0.083 0.083			2.868 2.795					2.951 2.878
1 2 13	2.450	355.60	0.089	0.083			2.730					2.813
44	2.410	355.59	0.089	0.083			2.672					2.755
45	2.360	355.59	0.089	0.083			2.616		******			2.699
46	2.310	355.58	0.089	0.083			2.561					2.644

Hydraflow	Hydrographs	Extension for Auto	CAD® Civil	3D® 2009	by Autode:	sk, inc. v6	.966				Thursday,	Sep 20, 201
Hyd.	No. 2											
10yr_5	imin											
Storm Time ii	graph typo frequency nterval hyd. No.	y = 10 y = 1 n	/rs	cription:	>		Peak d Time to Hyd. vo Reserv	peak olume	,- = =	25,12	n	ond
	levation	= 355		•			Max. S	torage	=	9,328		
Storage In	ndication meth	od used.										
		scharge Tal	ole							(Printed ⊭a ues	; > 1.00% of Qp
Time (min)	Inflow Cfs	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfi cfs	Outflow cfs
8	13.50	354.91	0.072	0.067								0.067
9	12.27	355.09	0.072	0.072								0.072
10	11.04	355.24	0.080	0.075	******		0.004		-		100 parties ex	0.075
11	10.48	355.39	0.080	0.079			0.681 1.804					0.760 1.885
12 13	9.890 9.320	355.51 355.62	0.081 0.089	0.081 0.083			2.953					3.036
13 14	8.730	355.70	0.089	0.085			4.025					4.110
15	8.170	355.76	0.089	0.086			4.864		-		M 4902 III	4.951
16	7.840	355.80	0.089	0.087			5.481					5.568
17	7.500	355.83	0.089	0.088			5.919					6.007
18	7.200	355.85	0.089	0.088			6.204					6.292
19	6.870	355.86	0.089	0.088			6.363					6.452
20	6.540	355.86 <<	0.089	880.0			6.418		-		-	6.507
21	6.300	355.86	0.089	0.088	-		6.399		-	****	00 William 19	6.488
22	6.090	355.86	0.089	0.088			6.336					6.425
23	5.850	355.85	0.089	880.0		-	6.238					6.327 6.201
24 25	5.640	355.85	0.089	880.0 880.0			6.113 5.970					6.058
26	5.400 5.240	355.84 355.83	0.089	0.088			5.815					5.903
20 27	5.240 5.070	355.82	0.089	0.087			5.658					5.746
28	4.910	355.80	0.089	0.087			5.502					5.589
29	4.740	355.79	0.089	0.087	***		5.346					5.433
30	4.580	355.78	0.089	0.087			5.189					5.275
31	4.460	355.77	0.089	0.087	-	********	5.035				W 0000 W	5.122
32	4.340	355.76	0.089	0.086	******		4.892	-				4.979
33	4.200	355.75	0.089	0.086			4.752					4.838
34	4.080	355.74	0.089	0.086			4.614					4.700
35	3.960	355.73	0.089 0.089	0.086 0.086			4.482 4.357					4.568 4.442
36 37	3.870 3.780	355.72 355.72	0.089	0.085			4.238					4.324
38	3.660	355.71	0.089	0.085			4.123					4.208
39	3.560	355.70	0.089	0.085			4.011				-	4.096
40	3.470	355.69	0.089	0.085			3.903					3.988
41	3.400	355.68	0.089	0.085			3.801					3.886
42	3.330	355.68	0.089	0.085			3.705					3.789
43	3 230	355 67	0.089	0.085	***************************************		3 611					3 696
44	3.160	355.66	0.089	0.084			3.522		***********	-		3.606
45	3.090	355.66	0.089	0.084			3.436			11 per 1004	******	3.520 3.437
46 47	3.020 2.970	355.65 355.64	0.089	0.084 0.084			3.353 3.274					3.43 <i>1</i> 3.358
47 48	2.970 2.900	355.64	0.089	U.UB4			3.199					3.283
40 49	2.860 2.860	355.63	0.089	0.084			3.129			-	-	3.213

Hydraflow		Ph Repo		3D® 2009	by Autode	sit, Inc. v6	.966				Thursday,	Sep 20, 2
Hyd. I	Vo. 2											
100yr_	5min											
Storm f Time in		y = 100 = 1 m	in				Peak di Time to Hyd. vo	peak lume	=	= 10.83 = 16 mi = 34,77	n 'O cuft	I
	nyd. No. levation	= 356	no desc 12 ft	cı ihrini i	₽		Reserve Max. St			Hy-B ₁ 10,21		JIIU
Storage Inc	dication meth	nod used.										
Hydroq	yr aph Di	ischarge Tal	le							(Printed •a ues	> 1.00% c
Time (min)	Inflow cfs	Elevation ft	Clv A cfs	CIv B cfs	CIv C cfs	PfRsi cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	Outf cfs
8	18.31	355.34	0.080	0.077	powds.		0.345		-			0.4
9	16.66	355.56	0.089	0.082	-	100 000 000	2.350		-		-	2.4
10	15.03	355.75	0.089	0.086		605 600 100 (100 MHz)	4.714		15 105 LOCATE			4.8
11	14.25	355.89	0.089	0.089			6.762					6.8
12 13	13.48 12.72	355.99 356.06	0.091 0.098	0.091 0.092		****	8.42/ 9.676					8.5 9.7
13 14	11.94	356.10	0.098	0.092			10.40					10.
15	11.16	356.11	0.098	0.093		W-12-12-12-12-12-12-12-12-12-12-12-12-12-	10.70			-		10.
16	10.69	356.12 <<	0.098	0.093			10.74					10.
17	10.22	356.11	0.098	0.093			10.63					10.
18	9.770	356.10	0.098	0.093			10.42					10.
19	9.300	356.08	0.098	0.093			10.14		CO 100000 100 100	an water comme	MA 1999/2011	10.
20	8.830	356.07	0.098	0.092			9.817		***************************************			9.9
21 22	8.540	356.05	0.098	0.092 0.092			9.476 9.156		*********	Mit this life Course		9.5 9.2
22 23	8.260 7.950	356.03 356.01	0.096	0.092			9.156 8.845					3.2 8.9
24 24	7.670	355.99	0.093				8.541					8.6
25	7.390	355.98	0.091	0.091			8.247					8.3
26	7.150	355.96	0.090	0.090			7.966					8.0
27	6.940	355.94	0.090	0.090	-		7.714					7.8
28	6.700	355.93	0.090	0.090			7.491					7.5
29 30	6.490 6.250	355.92	0.089 0.089	0.089 0.089			7.268 7.049		-			7.3 7.1
30 31	6.200	355.90 355.89	0.089	0.089			6.838					6.9
32	5.950	355.88	0.089	0.089		-	6.640		-			6.7
33	5.810	355.87	0.089	0.088		-	6.457					6.5
34	5.640	355.86	0.089	880.0			6.280					6.3
35	5.500	355.84	0.089	0.088			6.109					6.1
36	5.380	355.83	0.089	0.088		**********	5.950			NA 400 VAN 1800AD	,	6.0
37 38	5.260	355.82	0.089	0.088			5.799				****	5.8 5.7
38 39	5.120 5.000	355.81 355.81	0.089 0.089	0.087 0.087			5.653 5.512					5.7 5.5
<i>39</i> 40	4.890	355.80	0.089	0.087			5.378					5.4
41	4.790	355.79	0.089	0.087		-	5.251					5.3
42	4.700	355.78	0.089	0.087	-		5.130					5.2
43	4 630	355 77	0.089	N 087			5 019					51
44	4.530	355.76	0.089	0.086		*******	4.915					5.0
45	4.440	355.76	0.089	0.086	********		4.813	EC) CONTINUE OF				4.8
46	4.340	355.75	0.089	0.086			4.712		********			4.7
47 ap	4.250	355.74	0.089	0.086			4.612					4.6 4.6
48 49	4.180 4.080	355.73	0.089 0.089	0.086 0.086			4.518 4.427				-	4.0 4.5
49	4.000	300.73	บ.บธษ	0.060			4.421					4.0

Hydrograph Report

Hydrograph type = Reservoir Storm frequency = 100 yrs

= 1 min

Inflow hyd. No. = 1 - <no description>

Reservoir name = Hy-Bp-Ch_pond

Hyd. No. 2

Time interval

100yr_5min

Thursday, Sep 20, 2012

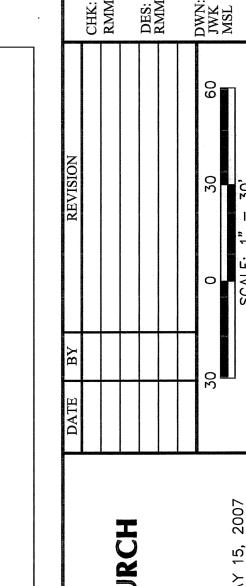
Q (cfs)

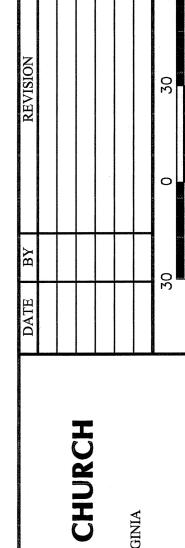
9.00

Time (min)

110 120

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2009 by Autodesk, Inc. v6.066





UNDERGROUNI SWM COMPUTATION

Thursday, Sep 20, 2012

= 16 min

= 34,770 cuft

= 356.12 ft

= 10,214 cuft

Peak discharge = 10.83 cfs

Time to peak

Hyd. volume

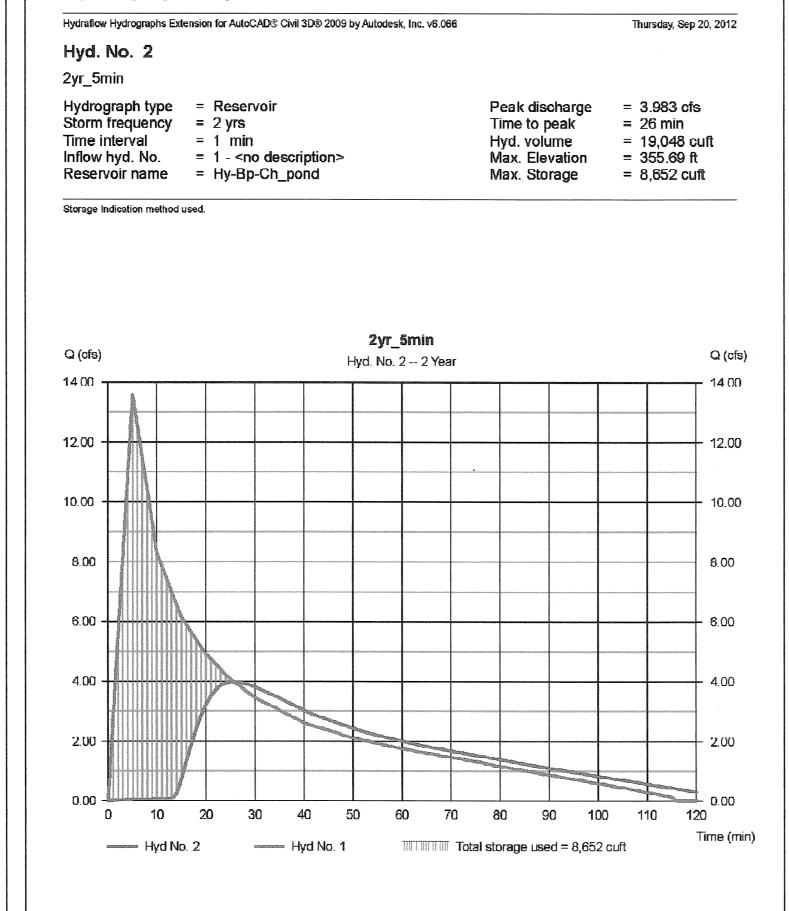
Max. Elevation

Max. Storage

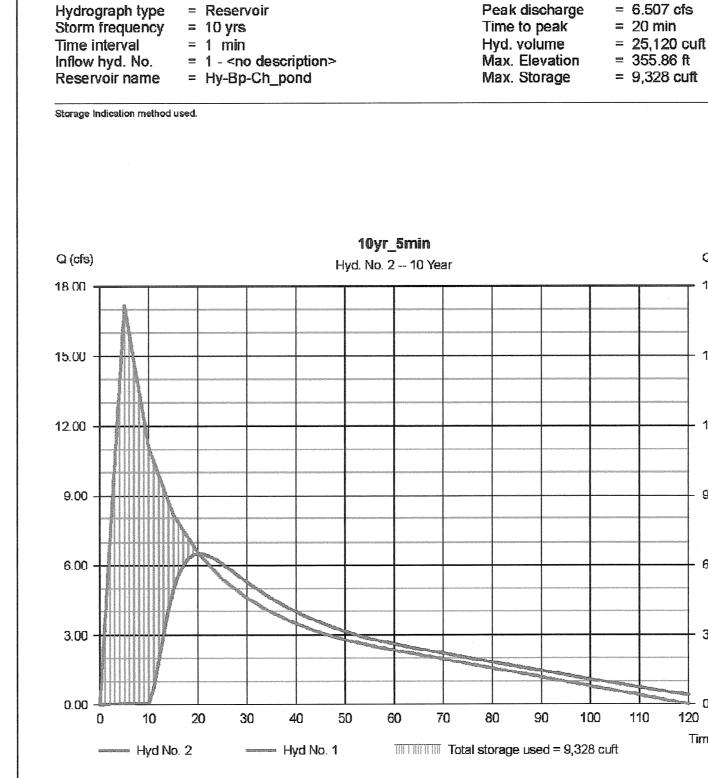
No. 23856

354.66 354.69 354.73 354.73 354.80 354.90 354.90 355.01 355.04 355.01 355.01 355.15 355.22 355.25 355.29 355.32 355.36 355.43 355.43 355.43 355.50 355.50 355.50 355.60 355.60 355.60 355.60 355.60 355.60 356.71 355.60 356.71 356.71 356.71 356.72 356.72 356.73 356.74 356.76 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 356.77 4,289
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Hy-Bp-Ch_pond



Hydrograph Report

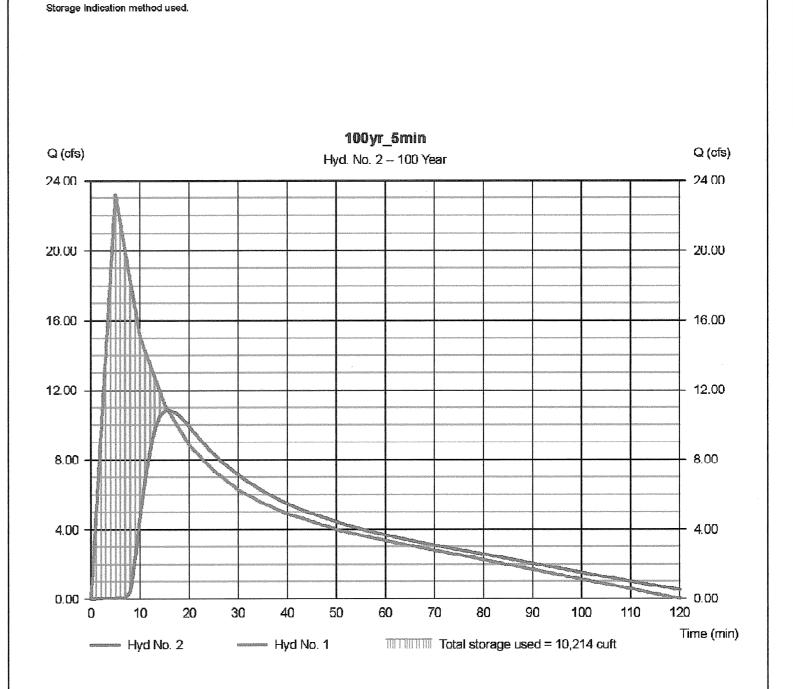


Hydrograph Report

Hyd. No. 2

10yr_5min

Hydraflow Hydrographs Extension for AutoCAD® Civil 3D® 2009 by Autodesk, Inc. v6.066



COST

5,000

SUB-TOTAL \$ _____5,000

@ \$1,800 EA

@ \$1,500 EA

@ \$1,500 EA

@ \$1.500 EA

@ \$1,500 EA

@ \$1,800 EA

@ \$1.000 FA

@ \$1,200 EA

@ \$5,000 EA

@ \$6,500 EA

@ \$4,000 EA

@ \$5.000 EA

@ \$2,500 EA

@ \$ 55 SY

@ \$ 55 SY

@ \$ 65 SY

676 EXCAVATION

<u>260</u> GEOTEXILE INSTALLING

___325 STONE BACKFILLING

_____4 STORM PURE INSERT

260 GEOTEXTILE

____295___ COVER FILL

___325___ STONE

8,112.00

195.00

65.00

7,150.00

3,900.00

3,540.00

2,000.00

SUB-TOTAL \$ 67,292.25

QUANTITY

_____ DE-2

_____ DE-3

_____ DE-4

_____ PP-1 (1 LOT)

_____ PP-2 (1 LOT)

_____ VALLEY GUTTER

_____ PP-1 (2 - 5 LOTS)

_____ PP-2 (2 - 5 LOTS)

_____ CG-9D OR EQUAL - 30' WIDTH

_____ CG-9D OR EQUAL - 40' WIDTH

_____ CG-10A OR EQUAL - 30' WIDTH

CG-10A OR EQUAL - 40' WIDTH
CG-11 - CONCRETE ENTRANCE

PIPESTEM DRIVEWAY - 10' (1 LOT)

_____ PIPESTEM DRIVEWAY - 18' (2-5 LOTS)

@ \$ 12.00 CY

@ \$ 0.75 SY

@ \$ 0.25 SY

@ \$ 22.00 TON

@ \$ 12.00 TON

@ \$ 12.00 CY

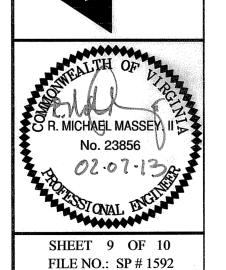
@ \$500..00 EA

S

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Ratliff, SURVEYING AD 20110 23) 361-6353

France ENGINEERING 8802 SU MANASSAS, 661-4188 0 R



NOTES

- Methods and materials used in the construction of water mains, sanitary sewers and appurtenances shall be in conformance with the current Prince William County Service Utility Standards Manual (USM) and the Virginia Départment of Health Regulations.
- 2. Approval of these plans by the Service Authority will in no way relieve the owner from complying with the methods, policies or requirements stated in the Service Authority's Utility Standards Manual (USM).
- 3. No trees, fences or other permanent structures will be located on any waterline or sanitary sewer easement without obtaining permission in writing from the Prince William County Service Authority.
- 4. Contractor to notify the Service Authority at least two (2) working days, but not more than ten (10) working days prior to commencement of demolition, excavation or
- blasting in areas with underground water and sewer lines. 5. a) Water Service Level HAYMARKET

Sewer Shed _____LITTLE BULL RUN

- 6. All subdivisions will require an address listing approved by the Prince William County Mapping Office. The address listing must be presented to the Service Authority at the time the utility permit is issued. Forms are available at the Service Authority. (Fax copies are not acceptable.)
- 7. All grinder pumps will be privately owned and maintained, unless otherwise noted.
- 8. Low pressure sewer systems are subject to the review of the State Health Department and requires DEQ approval.
- 9. The developer is responsible for all costs associated with damages to or relocation of water or sanitary sewer mains or service lines caused by the construction of this project.
- 10. The contractor shall coordinate all relocation of water or sanitary sewer facilities with the Service Authority's Inspector. No shut offs shall be done without the prior approval of the Service Authority's Inspector. The Inspector may require the contractor to submit a relocation work plan for approval prior to the commencement of the relocation work. The work plan will detail how the work will be done and the manpower, materials and equipment that will be at the site to perform the work.
- 11. Existing unused water service lines shall be exposed at the corporation stop on the main and shall be cut and crimped per the direction of the PWCSA inspector.
- 12. Existing unused laterals are to be cut and capped at the main per the direction of the PWCSA inspector.
- 13. When an existing water service or sanitary sewer lateral will be reused as part of a new development, the Service Authority shall inspect the existing service line or lateral to insure that they are serviceable and meet current PWCSA material specifications. Any defects or out—of—date materials shall be repaired or replaced to the satisfaction of the Service Authority before the existing water service or sanitary sewer lateral is placed back in service.

THRUST RESTRAINT

MINIMUM DESIGN PARAMETERS: PIPE MATERIAL: SOIL TYPE: SAFETY FACTOR: TRENCH TYPE: (100 PSI PLUS THE MAX STATIC PRESSURE OR 150 PSI, WHICH EVER IS GREATER) BURIED DEPTH: AS SHOWN IN THE PROFILES

*THE RESTRAINING LENGTH FOR EACH FITTING, REDUCER & DEAD END IS SHOWN AND SPECIFIED IN THE PROFILE SHEETS.

LOCAL FACILITIES CHARGE

THE PROPERTIES BEING DEVELOPED IN CONJUNCTION WITH THIS PROJECT 🖂 ARE 🖂 ARE NOT SUBJECT TO A LOCAL

FACILITIES CHARGE. LFC Area: ______

MASTER PLAN UTILITY ADJUSTMENT

A MASTER PLAN UTILITY ADJUSTMENT AGREEMENT ___ DOES DEVELOPER FOR DEFINED BETTERMENTS.

*DESIGN OR CONSTRUCTION CHANGES MUST CARRY THE CONSENT OF PWCSA ENGINEERING.

*THE DEVELOPER SHOULD REQUEST REIMBURSEMENT PER THE AGREEMENT AFTER BETTERMENTS ARE INSTALLED AND TESTED.

PWCSA WATER & SEWER MAIN INSPECTION FEES

		Rev 2 Qty. (Project Total)				
WATER MAIN	 529		(L.F.) x	\$3.20	=	1,692.80
SEWER MAIN	 =		(L.F.) x	\$5.00	_ =	
TV SEWER MAIN	 =		(L.F.) x	\$2.25	_ =	

TOTAL = 1,692.80

= 1,000.00

NOTE: Minimum fee of \$260 is required for water inspection service if water main is less than 100 L.F. Minimum fee of \$410 is required for sewer inspection service if sewer main is less than 100 L.F.

PWCSA AS BUILT FEES

	-	-	Rev 2 Qty. (Project Total)					
WATER MAIN		529		529	(L.F.) x	\$1.15	=	608.35
SEWER MAIN					(L.F.) x	\$1.70	_ =	

Minimum fee of \$1000 is required for all plans connecting to utilities or installing main NOTE: Fees shall be computed on a linear footage base for <u>plan revisions</u> that propose additional main as part of an actively developing project for which PWCSA has not yet executed its as-built.

AS BUILT RELEASE OF PLANS

THE UNDERSIGNED ENGINEER/ FIRM AGREES THAT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY SHALL HAVE THE RIGHT TO USE THESE PLANS FOR THE PREPARATION OF AS-BUILT RECORDS, AS NECESSARY.

THE ENGINEER / FIRM FURTHER AGREES THAT THE RIGHT TO USE THE PLANS SHALL BE PROVIDED WITHOUT COST TO THE SERVICE AUTHORITY.

NAME:	R. MICHAEL MASSEY, II	
	(TYPE OR PRINT)	_
TITLE:	VICE-PRESIDENT	
FIRM:	ROSS, FRANCE & RATLIFF, LTD	
SIGNATURE:	944	
	AAAW 4B OOGE	
DATE.	MAY 15, 2007	

LOCAL REVIEW AUTHORITY INFORMATION

PLAN TITLE: HAYMARKET BAPTIS	ST CHURCH
PWC PLAN NO.: 08-HAY03-R0	
ENGINEER: ROSS, FRANCE & RA	ATLIFF, LTD.
MAP NO.:	
SEV	<u>VER</u>
PROJECTED POPULATION:	
SEWER MAIN SIZE AND LENGTH: (Note: lines larger than 24" must be submitted to VDH for approval)	8" - = 10" - = 12" - =
NUMBER OF MANHOLES:	
<u>w</u>	/ATER
PIPE SIZES: (Note: lines larger than 18" must be submitted to VDH for approval)	4"
* CONNECTIONS NUMBER OF WATER METERS: RESIDENTIAL METER SIZE:	18" —
NUMBER OF FIRE HYDRANTS:	3

FIRE FLOW INFORMATION

A HYDRAULIC ANALYSIS IS REQUIRED OF ANY PROJECT EXTENDING WATER MAINS. A HYDRANT FLOW TEST CAN BE USED IN PLACE OF AN ANALYSIS TO CALCULATE AVAILABLE DOES NOT EXIST BETWEEN THE SERVICE AUTHORITY AND THE FIRE FLOW WHEN NO NEW WATER MAIN IS PROPOSED OR ONLY A FIRE HYDRANT IS SET

HYDRAULIC MODEL SUMMARY:

a) Minimum Pressure: 46.6 PSI

b) Maximum Pressure: 50.7 PSI

a) Static Pressure:

* HYDRANT FLOW TEST:

d) Available Fire Flow at 20 psi: ___

b) Residual Pressure:

SANITARY SEWER DESIGN & TEST TABLE

"n" factor	r = 0.013	5													-			PWCSA Us	e Only	
From MH	To MH	Units or Area	Flow / Unit	Avg. Flow Increment	Avg. Flow Total	Peak Factor	Q Total GPD	Pipe Size (in.)	Slope (%)	Actual Vel.(fps)	Full Flow Vel.(fps)	Capacity (GPD)	q/Q (%)	d/D (%)	Invert Upper	Invert Lower	Date Line Installed	Date Line Passed Test	MH ID	Date MH Passed Vac. Test
		01 74104		mor omore	7000	ractor	<u> </u>	0.20 ()	(1-7	75(10.11(1,p=)	(3.2)	(,-)		орро.	- 6				vuc. rest
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Fitting Typ e	Pipe M aterial	Soil Type	Safety Factor	Trench Type	Dep th Of Bury	Test Pressure	Nominal S i ze	Bend Angle	Branch Size	Length Along Run		Lowside Depth	Restraint Length	Restraint Length 2
Tee	Ductile Iron	CL	2.5 to 1	3	3.5	200	8		б	11			16	
Tee	Ductile Iron	CL	2.5 to 1	3	3.5	200	18		12	б			61 ft	
Tee	Duc t ile Iron	CL	2.5 to 1	3	3.5	200	12	Periodical Annual Acom	б	7			3 f t	
Tee	Ductile Iron	CL	2.5 to 1	3	3.5	200	12		4	3			6 ft	
Horizontal Bend	Ductile Iron	CL	2.5 to 1	3	3.5	200	8	22° ½					10 ft	
Reducer	Ductile Iron	CL	2.5 to 1	3	3.5	200	12		į.		8		49 ft	

SANITARY LATERAL SCHEDULE

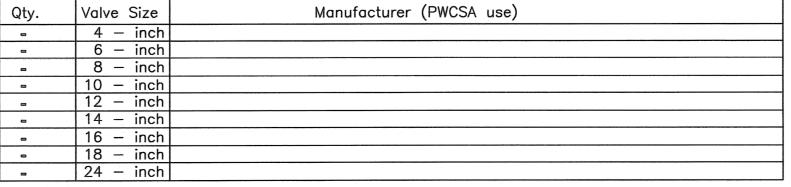
Fre	om Manhole:		To Manhole	e:	Slope: #.##%	6		Length: ###			Low Invert: ###	.##	Material:	PWCS	A Use Only
Eje Re	ector Pump equired 🎻	Lot No.	Station	Invert @ Main	Crown @ Main	Length of Lateral	Slope of Lateral (%)	Riser Height	Lateral Elev. @ End	Ground Elev. © End	Basement Floor Elev. @ End	Difference Basement Floor Elev. to Crown @ Main	Lateral Material	Date Installed	Stub Installed % of Grade
			-	-	•			-					-		
				-	-	9	-	-	-		-				
			=	-	-		8	-	-	-		523			
-															

MULTI-DWELLING OR NON-RESIDENTIAL METER SCHEDULE

Duilding	Building	Building	If applicable	Meter	Peak	lf applicable		Account	Гуре	-
Building Identifier	Address	Use	number of dwelling units	Size.	demand in gpm	continuous demand in gpm	Water & Sewer	Sub-Meter Account	Water Only Account	Sewer Only Account
-	14800 WASHINGTON STREET	CHURCH & PRESCHOOL	E13	EX. 5 x 3	8.89	-	\boxtimes			
	A fixture unit list and meter sizion information in this table.	ng calculations in acco	ordance to AW	/WA M22 2nd	d edition is to	be inserted in	n the plar	set supp	orting the	

VALVE SCHEDULE

SHEET REVISED AS OF JANUARY, 2011

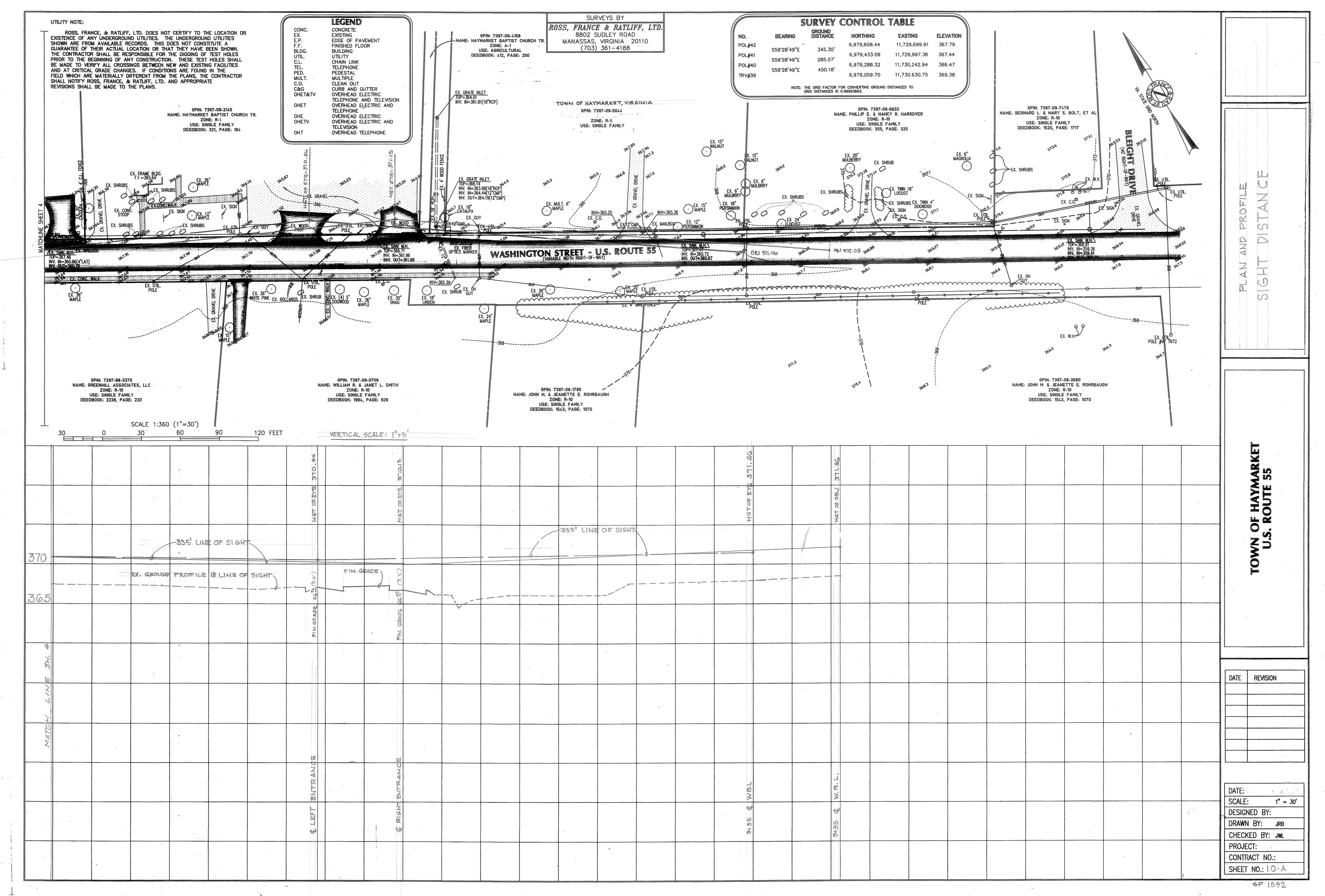


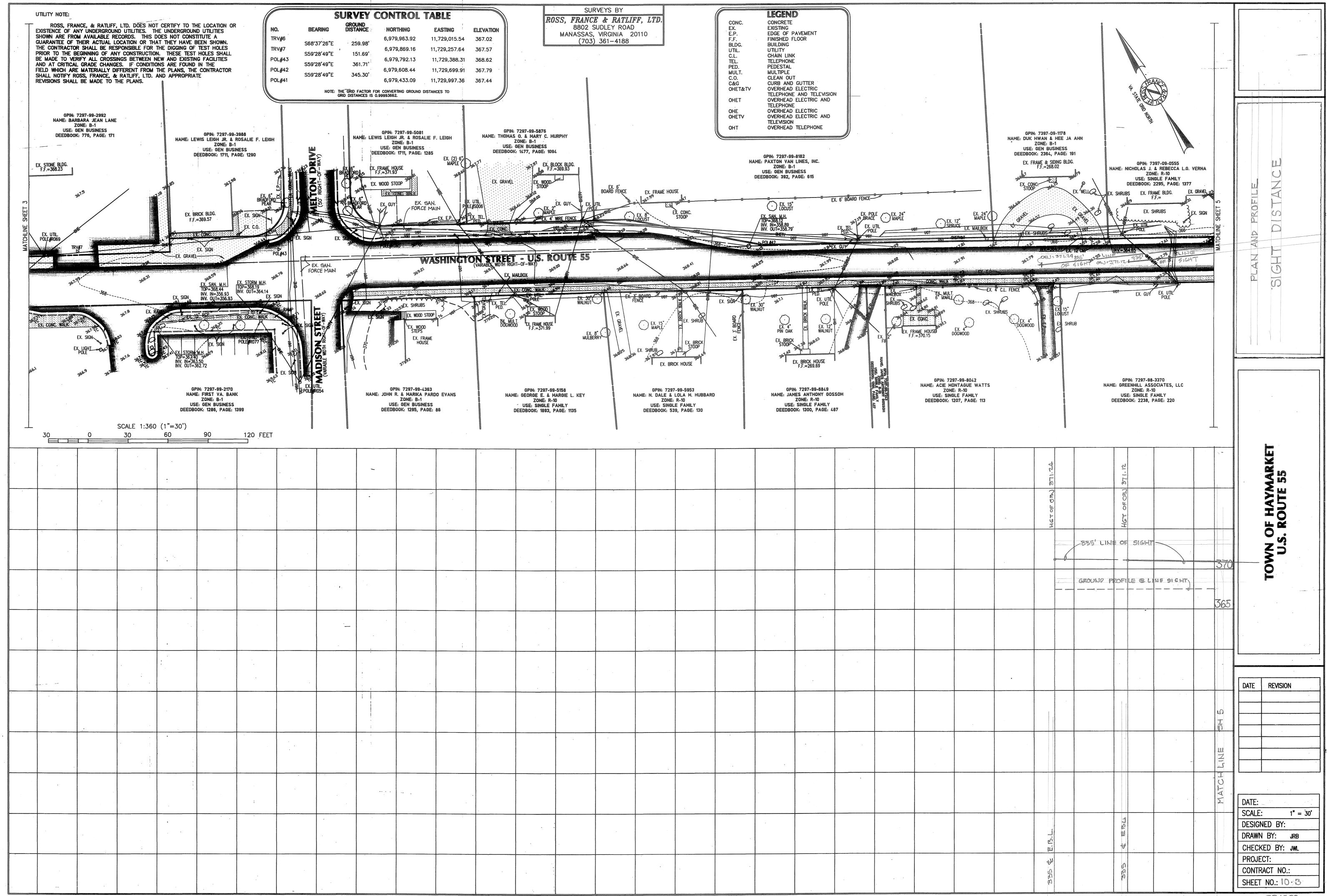
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WATER AND SANITARY

SEWER INFORMATION

SHEET 10 OF 10





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STORMTECH SC-740

DRAWING TITLE

CHAMBER DETAIL SHEET CHECKED BY SCALE AS SHOW DRAWING NO. NOV. 2008

STORMWATER CHAMBER SPECIFICATIONS CHAMBERS SHALL BE STORMTECH SC-740, SC-310 OR APPROVED EQUAL.

CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR

CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.

STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION

THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:

> A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET. THE 50-YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418-05 MUST BE USED AS A PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.

CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.

9. THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

StormTech[®]

DINWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067 PHONE: 888-892-2694 | FAX: 866-328-8401

20 Beaver Road, Suite 104 | Welfrershield | Connecticut | 05109

StormTech products are covered by one or more of the following patents: U.S. Patents: 5,401,459; 5,511,996; 5,716,163; 5,589,776; 5,839,844; Canadian Patents: 2,159,418. Other U.S. and Foreign Printed in U.S.A.

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CHAMBERS SHALL BE DESIGNED IN

"STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED

ACCORDANCE WITH ASTM F2787

WALL STORMWATER COLLECTION

CHAMBERS SHALL BE MANUFACTURED

POLYETHYLENE RESINS TESTED USING

FROM VIRGIN POLYPROPYLENE OR

NOMINAL 3/4" - 2" [19 mm - 51 mm]

CHAMBERS".

ASTM STANDARDS -

860.529.8188 | 888.892.2694 | fax 866.328.8401 | www.stormech.com

DRAWN BY: KLJ

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS AASHTO M43 MATERIAL LOCATION DESCRIPTION COMPACTION/DENSITY REQUIREMENT **DESIGNATION**(1) FILL MATERIAL FOR LAYER D STARTS FROM THE PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS ANY SOIL/ROCK MATERIALS, NATIVE SOILS, TOP OF THE CLAYER TO THE BOTTOM OF OR PER ENGINEER'S PLANS, CHECK PLANS MAY HAVE STRINGENT MATERIAL AND PREPARATION FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE FOR PAVEMENT SUBGRADE REQUIREMENTS. REQUIREMENTS. ABOVE. NOTE THAT PAVEMENT SUB-BASE MAY BE FILL MATERIAL FOR LAYER C STARTS FROM THE GRANULAR WELL-GRADED SOIL/AGGREGATE BEGIN COMPACTION AFTER 12" [305 mm] OF MATERIAL OVER 3, 357, 4, 467, 5, 56, 57, TOP OF THE EMBEDMENT STONE (B LAYER) TO MIXTURES, < 35% FINES. MOST PAVEMENT SUB-THE CHAMBERS IS REACHED. COMPACT ADDITIONAL 6, 67, 68, 7, 78, 8, 89, 9, | LAYERS IN 6" [152 mm] LIFTS TO A MIN. 95% STANDARD 18" [457 mm] ABOVE THE TOP OF THE CHAMBER BASE MATERIALS CAN BE USED IN LIEU OF NOTE THAT PAVEMENT SUB-BASE MAY BE A THIS LAYER. PROCTOR DENSITY (2), ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs [53 kN]. DYNAMIC FORCE NOT TO PART OF THIS LAYER. EMBEDMENT STONE SURROUNDING THE CLEAN, CRUSHED, ANGULAR STONE NO COMPACTION REQUIRED. CHAMBERS FROM THE FOUNDATION STONE NOMINAL SIZE DISTRIBUTION 3, 357, 4, 467, 5, (A LAYER) TO THE C LAYER ABOVE. BETWEEN 3/4 - 2 INCH [19 - 51 mm] (A) FOUNDATION STONE BELOW CHAMBERS FROM PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD NOMINAL SIZE DISTRIBUTION 3, 35, 4, 467, 5, THE SUBGRADE UP TO THE FOOT (BOTTOM) OF BETWEEN 3/4 - 2 INCH [19 - 51 mm] 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE". 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" [229 mm] (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR. VARIES: 359.50 -361.50 96" [2438 mm] FINAL GRADES 18" [457 mm] ELEV. = 357.00'----ELEV. = 356.50'-ELEV. = 354.00'-ELEV. = 353.50' StormTech[.] DRAWN B

- COVER ENTIRE ROW WITH ADS 601 NON-WOVEN GEOTEXTILE (OR EQUAL) INSPECTION PORT (SEE STORMTECH SC-740: 8' [2.4 m] WIDE STRIP SC-740 INSPECTION PORT DETAIL) -SC-310: 5' [1.5 m] WIDE STRIP - STORMTECH END CAP - 2 LAYERS OF ADS 315ST WOVEN GEOTEXTILE (OR EQUAL) BETWEEN FOUNDATION STONE AND CHAMBERS SC-740: 5'-6" [1.7 m] WIDE STRIP SC-310: 4'-0" [1.2 m] WIDE STRIP ISOLATOR ROW PROFILE StormTech⁻

- CLASS "C" CONCRETE

INSPECTION PORT WITH SCREW-IN CAP -

FLOOR BOX FRAME AND LID WITH

4" (100 mm) PVC RISER

AASHTO MZB8 CLASS 2

INSPECTION PORT TO BE ATTACHED

S.S. CAP SCREW LID CLOSURE

70 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067

- ACCEPTS 4" [100 mm] SCH 40 PVC

PIPE FOR INSPECTION PORT

DATE: 6/15/11 DRAWN BY: KLJ

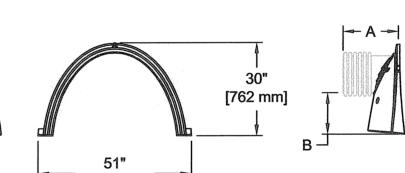
CHECKED.

→ 85.4" [2169 mm] INSTALLED — |

THIS DIRECTION

(OVER SMALL CORRUGATION) BUILD ROW IN

─ OVERLAP NEXT CHAMBER HERE



PART#	STUB	A	В	C
SC740EPE06T	6" [150 mm]	10.90" [277 mm]	18.50" [470 mm]	N/A
SC740EPE06B	6" [150 mm]	10.90" [277 mm]	N/A	0.50" [13 mm]
SC740EPE08T	8" [200 mm]	12.20" [310 mm]	16.50" [419 mm]	N/A
SC740EPE08B	8" [200 mm]	12.20" [310 mm]	N/A	0.60" [15 mm]
SC740EPE10T	10" [250 mm]	13.40" [340 mm]	14.50" [368 mm]	N/A
SC740EPE10B	10" [250 mm]	13.40" [340 mm]	N/A	0.70" [18 mm]
SC740EPE12T	12" [300 mm]	14.70" [373 mm]	12.50" [318 mm]	N/A
SC740EPE12B	12" [300 mm]	14.70" [373 mm]	N/A	1.20" [30 mm]
SC740EPE15T	15" [375 mm]	18.40" [467 mm]	9.00" [229 mm]	N/A
SC740EPE15B	15" [375 mm]	18.40" [467 mm]	N/A	1.30" [33 mm]
SC740EPE18T	18" [450 mm]	19.70" [500 mm]	5.00" [127 mm]	N/A
SC740EPE18B	18" [450 mm]	19.70" [500 mm]	N/A	1.60" [41 mm]
*SC740EPE24B	24" [600 mm]	18.50" [470 mm]	N/A	0.10" [3 mm]

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

*FOR THE SC740EPE24B THE 24" [600 mm] STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" [44 mm]. BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL





StormTech. Subsurface Stormwater Managemen

70 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067 WWW.STORMTECH.COM

SCALE: NTS 3/30/10 DATE: DRAWN BY: KLJ CHECKED:

SC-740 TECHNICAL SPECIFICATIONS

3.0 Isolator Row Step By Step Maintenance Procedures

STORMWATER CHAMBER SPECIFICATIONS Step 1) Inspect Isolator Row for sediment respection ports (if present) Remove lid from floor box frame Remove cap from inspection rise iii. Using a flashlight and stadia rod, neasure depth of sediment and cord results on maintenance log iv. If sediment is at, or above, 3 inch depth proceed to Step 2. If not proceed to step 3. B) All Isolator Rows i. Remove cover from manhole at upstream and of Isolator Row ii. Using a flashlight, inspect down isolator flow through outlet pipe

. Mirrors on poles or cameras may be used to avoid a confined space entry Follow OSHA regulations for confined space entry if entering manhole iii. If sediment is at or above the lower row of sidewall holes (approximately 3 inches) proceed to Step 2. If not proceed to Step 3.

Stap 2) Clean out Isolator Row using the JetVac process A) A fixed culvert cleaning nozzle with rear facing nozzle spread of 45 inches or more is preferable B) Apply multiple passes of JetVac until backflush water is clean C) Vacuum manhole sump as required

Sign 3) Replace all caps, lids and covers, record observations and actions Step 4) inspect & clean catch basins and manholes upstream of the StormTech system

- GRANULAR WELL GRADED SOIL/AGGREGATE

MIXTURES, <35% FINES. COMPACT IN 6" [152 mm] LIFTS

Observations. Actions New installation. Fixed point is O frame at grade dim 63 fL none Mucky feel, debris visible in manhole and in Isolator now, maintenance due 7/7/03 6.3 ft.

System jetted and vacuumed

STORMTECH REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.

OUR TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-892-2694 TO SPEAK TO A TECHNICAL SERVICES REPRESENTATIVE OR VISIT WWW. STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.

STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.):MINIMUM COVER IS 18" [457 mm] NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96" [2438 mm] INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24" [610 mm], MAXIMUM COVER IS 96" [2.438 m].

THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.

AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS. 6. STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.

BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.

THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING

THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.

SENSITIVE CONSTRUCTION AREAS.

10. STORMTECH PRODUCT WARRANTY IS LIMITED. SEE CURRENT PRODUCT WARRANTY FOR DETAILS. TO ACQUIRE A COPY CALL STORMTECH AT 1-888-892-2694 OR VISIT WWW.STORMTECH.COM

CLEAN, CRUSHED, ANGULAR STONE TO 95% STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS ADS 601 NON-WOVEN **GEOTEXTILE (OR** EQUAL) ALL VARIES: 359.50 - 361.50 | 6" [152 mm] AROUND **ANGULAR STONE** 18" [457 mm] 96" [2438 mm] ELEV. = 357.00 MIN. 6" [152 mm] ELEV. = 356.50 ----30" [762 mm] - 6" [152 mm] ELEV. = 353.50' -SC-740 END CAP — 12" [305 mm] MIN DESIGN ENGINEER RESPONSIBLE FOR [1295 mm] ENSURING THE REQUIRED BEARING CAPACITY OF SUBGRADE SOILS -

THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

> StormTech⁻ 70 INWOOD ROAD, SUITE 3 | ROCKY HILL, CT 06067 PHONE: 888-892-2694 | FAX: 866-328-8401

THE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

StormTech⁻ Subsurface Stormwater Managemen

SCALE: NTS DATE: 3/30/10 DRAWN BY: KLJ CHECKED:

SC-740 TYPICAL CROSS-SECTION SCALE: NTS DATE: 6/15/11 DRAWN BY: KLJ CHECKED:

MILE DE

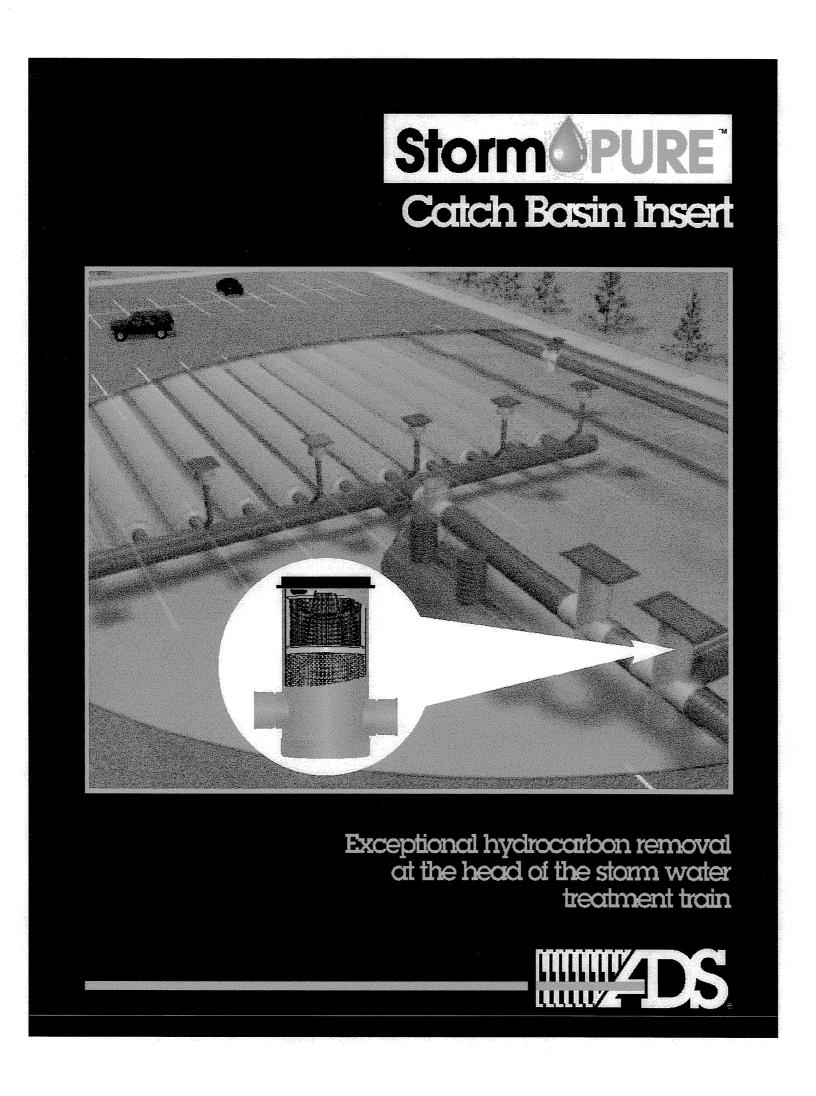
STORMTECH GENERAL NOTES

- A -This drawing was prepared to support the design engineer for the proposed conversion. It is the ultimate responsibility of the design engineer to assure that the stormwater system's desig $\ensuremath{\,\underline{\,}}$ is in full compliance with all applicable laws and regulations. It is the AASHTO M288 CLASS 2 design engineer's responsibility NON-WOVEN GEOTEX to ensure that the StormTech products are designed in accordance with [1295 mm] StormTech minimum requirements. NOMINAL CHAMBER SPECIFICATIONS StormTech LLC does not approve plans, sizing, or system designs. The design SIZE (W x H x INSTALLED LENGTH) 51.0" x 30.0" x 85.4" [1295 mm x 762 mm x 2169 mm] engineer is responsible for all CHAMBER STORAGE 45.9 CUBIC FEET [1.30 m³] design decisions. MINIMUM INSTALLED STORAGE 74.9 CUBIC FEET [2.12 m³] WEIGHT 75 lbs. [33.6 kg] DATE REVISIONS STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STORMTECH GENERAL NOTES STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

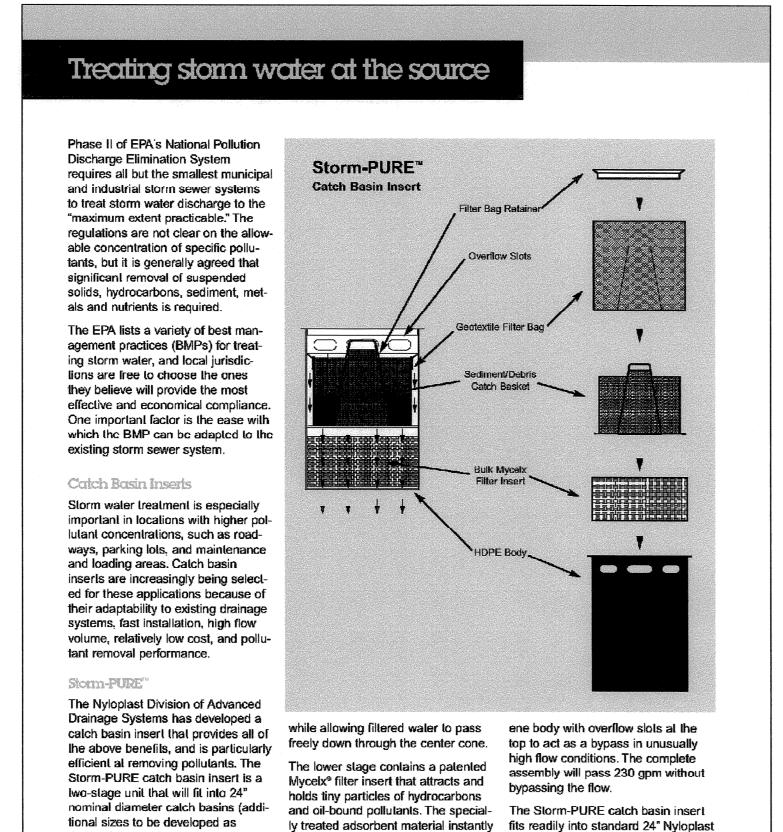
— 90.7" [2304 mm] ACTUAL ——

CHK:
RMM
DES:
RMM

SHEET 10D OF 10 FILE NO.: SP # 1592



Unmatched pollutant removal The Storm-PURE water quality basin and effluent were analyzed by Energy ducted at the University of Arkansas on four competitive catch basin stands apart from competitive units in Laboratories Inc. to determine inserts. As can be seen, the Stormils ability to remove suspended removal efficiency. solids, hydrocarbons and other pollu-Pure basin has more than double The results are shown in the table the pollutant removal efficiency tants. In a laboratory test, polluted below, which also includes the pubthan any of the competing brands. storm water was processed through lished analysis of similar tests conthe unit, and samples of the influent Pollution Removal Performance Competitive Catch Basin Inserts Storm-PURE Basin Influent Effluent Removal Removal Rate Rate B C D 45% 10% 40% 21% Total Suspended Solids 295 mg/L 9 mg/L Total Petroleum Hydrocarbons 320 mg/L 16 mg/L 18% 18% 16% (at 150 gpm flow rate) 0.45 mg/L 0.06 mg/L 86.67% NA NA NA Oxygen Demand, Biochemical (BOD) 250 mg/L 26 mg/L 89.60% Oxygen Demand, Chemical (COD) 650 mg/L 130 mg/L 80.00% 54.4 mg/L 17.7 mg/L 67.46% Phosphorus, Total as P 28.9 mg/L 7.39 mg/L 74.43% Sediment and Debris 98.00% NA Storm-Pure Specifications Dimensions ' Max. Flow Rate of Filter 230 gpm (0.51 cfs) (at 0 ft. of head weir flow) Max. Flow Rate of Bypass (at 0.5 ft. of head orifice flow) 1189 gpm (2.65 cfs) Max. Flow Rate of Filter & Bypass (at 0.5 ft. of head orifice flow) 1419 gpm (3.16 cfs) Primary Filter (Upper Section) Sediment/Debris Storage Capacity 1.42 cu ft (170 lbs) Sediment/Debris Particle Size **←** A → >0.033 in (838 micron) Captured by Primary Filter Sediment/Debris Particle Size Captured by Secondary (Micelx) Filter >0.012 in (300 micron Nom. Diameter Α Secondary Filter Hydrocarbon 21.38" | 30.00" 24" 15 lbs (2.04 gal) Removal Storage Capacity * Additional sizes to be developed as dictated 1.60 cu ft Secondary Filler Media Volume



petroleum hydrocarbons.

sion-resistant high density polyethyl-

by a geolexlile filter bag. This assem- Both stages are housed in a corro-

bonds contaminant particles, result- catch basins (including curb inlets

ing in a 95.0% removal rate of total and road and highway basins), pro-

viding a highly engineered solution

for treating storm water. A kit is avail-

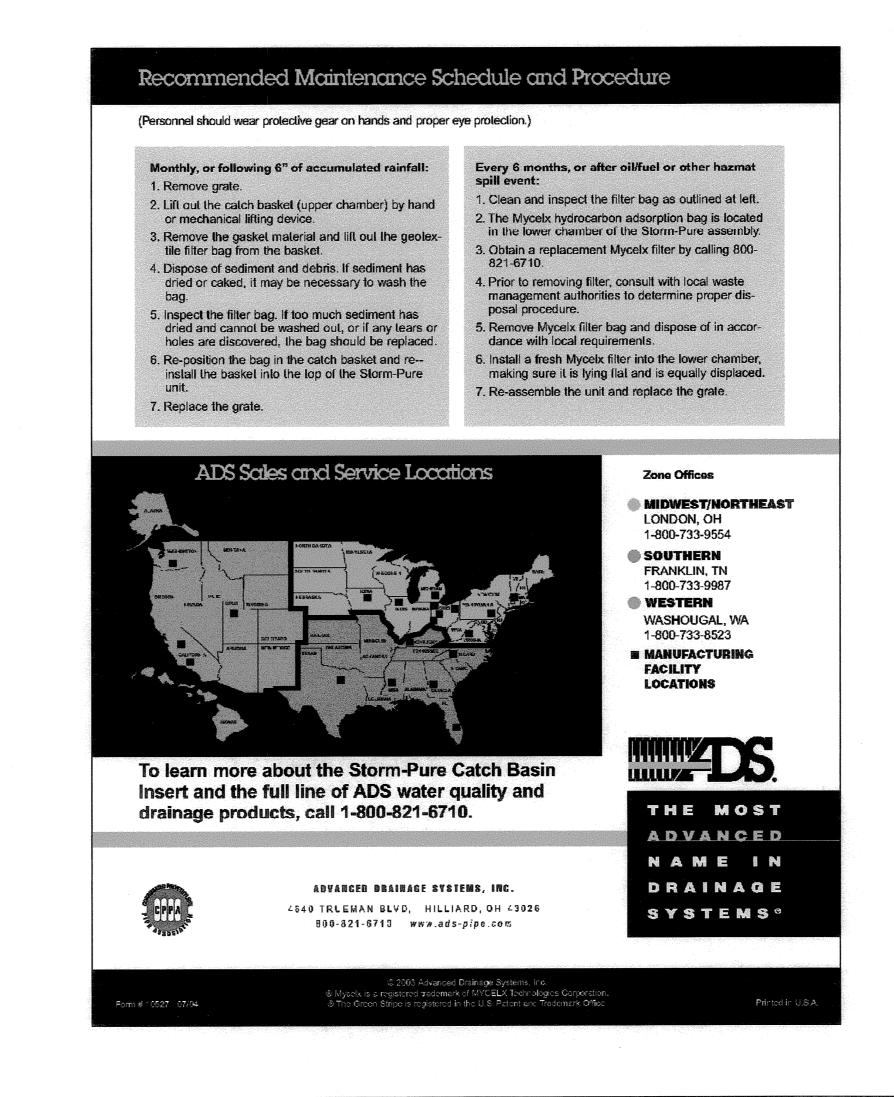
able for retrofitting standard concrete

demand dictates).

The upper section consists of a per-

forated metal catch basket covered

bly captures sediment and debris



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R. Michael Massey II Vice President, Secretary

Larry J. Ratliff Vice President, Treasurer

February 6, 2013

Ms. Holly Montague, P.E. - Town Engineer The Town of Haymarket P.O. Box 1230 Haymarket, VA 20168

Re: Plan Name: Haymarket Baptist Church Building Addition & Parking Expansion

Plan Number: 08-HAY03-R0

Final Site Plan- 4th Submission

Dear Ms. Montague

The following are our responses to the comments generated from the 4th review of the above referenced plan:

PLATS

58-506 3(b)	No plat provided in last submission. Provide plat to verify previous comments were addressed.
, ,	Response: Plat is provided with this submission.
	Teopologi I in io providen with this outsinosion.
Proced. Man.	
4.05.4B(14)	

1	Haymarket	On E&S Phase II, on top of the new sanctuary addition, there is text that
	58-506(3)k.8.	reads, "Ex. Roof Area down spouts @ grade to #104." Is this A=0.11 ac
	58-506(3)1.8.	included in the "To #104 Total A =0.53 Ac, is it in addition to this area or
	PWC Admin.	is it text that does not belong? Does the existing roof & new sanctuary
	Proced. Man.	actually drain to #104?
	4.05.4B(37)	Response: - Roof drain has been added to the plan. Storm
		computation, E&S Phase II, and BMP plan have been revised accordingly.

Page 1 of 3

2	Haymarket 58-506(3)1.8. PWC Admin. Proced. Man. 4.05.4B(41)	Per discussion, the Diversion Dike will be left in place permanently. Add a note to the Erosion Control Narrative that the Diversion Dike will remain in place permanently and include permanent maintenance note(s). Response: Note has been added to the Erosion and Control Narrative accordingly.
3	Haymarket 58-506(3)1.6. 58-699(c) 58-703(f) PWC Admin. Proced. Man. 4.05.4B(43)	Submit a waiver for using alternate buffer screening on the northwest side of the project. Response: Waiver is being submitted with submission Include waiving perimeter parking lot landscaping requirements on the southeast side of the parking lot due to the drainage proposed by the Town's Streetscape project. Response: Waiver has been included accordingly.
4	Haymarket 58-506(3)1.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	a. Include a perimeter parking lot landscaping schedule for the landscaping provided on the northeast side of the parking lot. Response: Schedule has been added to plan. b. Move the rhododendrons that are within the fence at the Tot Lot to outside the fence so they can be claimed for buffer credit. Response: Rhododendrons have been moved to the outside of the fence.
5	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(19) 4.05.4B(38) Fairfax Co PFM Pg. 6-30	Per Fairfax County PFM: In nonresidential areas, "open space" is defined as perpetually undisturbed areas placed in floodplains or conservation easements and without other encumbrances. It also states: Any areas with maintained landscaping or active recreation areas are not to be used in "open space" determinations. Response: Open space has been eliminated accordingly. Consider reducing or eliminating the Open Space providing BMP credit so that the proposed landscaping will not have to be relocated in this area. Only 20% Phosphorus Removal is required for redevelopment per previous discussions, but Site Coverage will still need to be verified once both the area behind the Diversion Dike and the area currently in the Open Space are added to the uncontrolled area. Response: Open space has been eliminated. BMP computations have been revised accordingly. If Open Space is not eliminated, there are not any Open Space minimum size requirements but any Open Space needs to be placed in an easement if it is used for 100% BMP credit. Response: Open space has been eliminated.
6	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook	a. Since the Diversion Dike is to remain in place, remove A-2 notation on map. In the computations, it appears that areas A1 and A2 already do not include this area (A1 + A2 = 2.36 Ac which matches storm computations that do not include this area). Add this area to A-4, Developed without controls, if it is already not included. Response: A-2 notation shown behind the Diversion Dike and has been removed. Total area draining to BMP facility has been revised to 2.57 acre. Diversion Dike has been moved back to increase the drainage area going to structure #104 for BMP purpose. b. Is the existing roof/new sanctuary addition draining to #104 (see comment #1)? If it is, hatch this area on the BMP Map. Response: Roof drain has been provided to transport the existing building and proposed sanctuary roof area. BMP area has been

revised.

c. Provide documentation that other jurisdictions have allowed 10% credit for "Filter Strip" on grassed/landscaped areas. This documentation can be an approved BMP Map & Computations allowing the 10% credit so long as it is apparent that it is the same type of situation (grassed/landscaped area). Response: Filter Strip credit has been eliminated.

d. Per Outlet Computation, the orifice size should be 0.0694666 (0.8"). The orifice in the SWM computations 2". Even rounding for available pipe include the area remaining behind the Diversion Dike to be left in place and any reduction of Open Space].sizes, why is the orifice in the SWM computations more than twice this size? The drawdrown time will be much less than 48 hours if a 2"orifice is used.

Response: Computations have been revised and 1.5" office size is required.

e. Revise the Water Quality Narrative to read: The site consists of 3.207 acres for an existing Church, which 2.60 acres will be disturbed. 0.36 acres of developed area drains through storm-pure filter bags located at structures 101, 102. 103 and 104. An additional 2.00 acres will drain to structures 101, 102, 103 and 104, but will bypass the storm-pure filter due to the capacity of the filter and will drain directly to the Underground Stormwater Management Pond. XX acres of developed area drains uncontrolled from the site [update this area to 0.39 acres of developed area drains through the grass and tree filter strip located in the northern part of the site. Per Prince William County DCSM 720.02A, a minimum of twenty percent (20%) phosphorus removal shall be provided for redevelopment sites.

Response: Water Quality Narrative has been revised accordingly.

If you have any questions please call (703)361-4188.

Sincerely

Tsigereda Damte Project Engineer

Ross, France & Ratliff, Ltd.

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R. Michael Massey II Vice President, Secretary

Larry J. Ratliff Vice President, Treasurer

October 8, 2012

Ms. Holly Montague, P.E. – Town Engineer
The Town of Haymarket
P.O. Box1230
Haymarket, VA 20168

Dear Ms. Montague

The following are our responses to the comments generated from the 3nd review of the above referenced plan:

PLATS

1	Haymarket	Show all existing easements. Include the existing easements that are now
-	58-506 3(h)	recorded easements from the Enhancement Plan via the Certificate of Take.
	3(n)	It should be noted that the permanent drainage easement recorded via the
	PWC Admin.	Certificate of Take is subject to change pending an agreement
	Proced. Man.	between the Church and the Town being finalized
	4.05.4B(14)	Response: Existing and proposed easements have been shown
		accordingly.
2		Under Owner's Consent & Dedication, change 3rd from last sentence
		from County to Town.
		Response: Owner's Consent & Dedication sentence has been revised
		accordingly.
3		Mixed use zoning within the consolidated parcel still needs to be
		addressed. Consider re-zoning and providing required buffers and/or
		providing a screening fence on western boundary as an alternative screen
	1	accompanied by a waiver for buffer requirements.
		Response: Rezoning application has been submitted. Required
		buffers have been provided.

PLANS

Page 1 of 6

SPECIALIZING IN SITE DEVELOPMENT, PLANNING, WATER AND SEWER DRAINAGE, UTILITIES, ROADS AND ALL TYPES OF LAND SURVEYS

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1	Washington Enhancement Plan Phase 1A	 a. Since this plan raises the grade on the site and the Enhancement Plan lowers the street grade, provide a grading detail and/or profile demonstrating how the two projects will ultimately tie-in together. Response: Grading has been adjusted accordingly. Detail and profiles demonstrating how the two projects will finally tie in together have been provided accordingly.
		b. If this plan is resubmitted after the pending agreement is finalized between the Church and the Town and the Enhancement Plan drainage is revised, show the proposed Enhancement drainage cutting across the parking lot and label "By Others." Additional comments regarding conflicts with Enhancement drainage are held and will not need to be resolved if the
		across the parking lot has been shown accordingly.
2	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	Show all existing Right of Way and easements. Include the existing rightof way and easements that are now recorded from the Enhancement Plan via the Certificate of Take. What is labeled as Future Right of Way is not the actual Right of Way line but an easement line. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town. Response: Easements have been shown accordingly. The permanent drainage easement is subject to change per agreement.
3	Haymarket 58-506 3(h) PWC Admin. Proced. Man. 4.05.4B(28) & B(34)	a. Show the setback line on the plans. Response: Setback lines have been shown accordingly. b. Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements. Response: Rezoning application has been submitted. A matrix indicating the required screen adjacent to each property/zoning district boundaries have been provided accordingly. Alternative 6' board on board fence screening has been provided along the western property boundary where the standard cannot be met.
4	Haymarket 58-506 3(h) PWC Admin. Proced.	Verify that the line of sight is still outside the existing Right of Way after showing the correct Right of Way (see note 2). Use intersection sight distance of 335' instead of the 390' shown on the plans and also

Page 2 of 6

	Man. 4.05.4B(14)	you may take advantage that the eye location only needs to be 14.5' minimum from the edge of pavement instead of the 18' shown on the plans. The sight distance profile is shown correctly with a line of sight of 335'. Response: Line of sight has been revised and easement has been provided where the line of sight is inside the existing Right of Way
5	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(37)	Verify that all areas shown on E&S Phase II & the SWM/BMP map are incorporated into the drainage areas on the storm comps. For instance, it is not clear what structure picks up the A=0.26 at the Tot Lot/SWM facility. In addition, the SWM/BMP computations show 2.74 Ac are being treated but the storm computations only show 2.25 Ac as entering the system at Str. 100. Response: All area shown on E&S Phase II & the SWM/BMP map vs. areas on the storm comps have been coordinated with each other.
6	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC Admin. Proced. Man. 4.05.4B(41) VA E&S Control Handbook	 a. In E&S Phase I, the Diversion Dike/Sediment Trap appear to block the existing swale as it runs along the property line and back onto Church property behind GPIN 7397-09-3676, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? Response: Diversion Dike and Sediment Trap have been revised to avoid blocking the existing swale. Grading has been revised to not impact swale.
		b. In E&S Phase II, the Diversion Dike stops where the proposed grading is still forcing the water back into the parking lot and ultimately into Str.101, defeating its purpose. Response: Diversion Dike has been extended to force the water back into the existing swale.
		c. On E&S details, X out all practices not used (i.e. Level Spreader, FuelTank Containment, etc.) Response: On E&S details all practices not used have been crossed out accordingly.
		 d. In Erosion Control Narrative on Sheet 5, add maintenance note for Temporary Sediment Trap. Response: In Erosion Control Narrative on Sheet 5, maintenance note for Temporary Sediment Trap has been added accordingly.
		e. In Erosion Control Narrative on Sheet 5, add narrative/installation notes for Sediment Control, Phase II. Response: In Erosion Control Narrative on Sheet 5, narrative/installation notes for Sediment Control, Phase II. has been added accordingly.
7	Haymarket	a. On BMP Plan, show appropriate hatching for west driveway and
		1

Page 3 of 6

	58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38) NOVA BMP Handbook	grassed area adjacent to western property line. Response: BMP plan hatching have been determined based on the drainage divides and locations of structural controls. b. On BMP Plan & Computations, fill out Part I. Water Quality Narrative. Response: On BMP Plan & Computations, Part I. Water Quality Narrative has been provided.
		 c. Storm Pure insert is listed as a BMP, but nowhere in the plans is it noted which structures have the inserts. Label the storm profile for structures with Storm Pure inserts. Response: Structures with Storm Pure inserts have been labeled accordingly.
		 d. When providing BMPs in series, subsequent BMPs have reduced efficiencies. A different project within the Town reduced the efficiency 20% for each subsequent BMP in the series. Update Phosphorus Removal chart to reflect the BMPs in series. Response: Phosphorus Removal chart to reflect the BMPs in series has been updated accordingly.
		e. Per manufacturer, the phosphorus removal for Storm Tech chambers is 49% maximum. I recommend using a rate 40%-45% since facilities rarely reach their maximum ability. Update Phosphorus Removal chart. Response: The phosphorus removal for Storm Tech chambers has been revised to 45% accordingly.
		f. Per manufacturer, max flow rate through Storm Pure insert is 0.51 cfs and max flow rate for filter + bypass is 3.16 cfs. Flow rates through the structures are higher than this. Verify this type of BMP is appropriate or consider other BMP type (i.e. Filterra Unit) Response: Maximum flow rate through each storm pure insert has been revised to 0.51 cfs. accordingly
8	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38)	 a. Provide maintenance note for the Storm Tech unit. Response: Maintenance note for the Storm Tech unit has been provided. b. Verify height of weir wall on BMP Outlet Structure detail on
	4.03.41(30)	Sheet 8. It is listed as 355.25, but all associated pond computations say 355.50. Response: Height of weir wall on BMP Outlet Structure detail on Sheet 8 has been verified. Pond routing has been revised accordingly.
9	Haymarket 58-506(3)k.8.	a. Show the depth of water on the ditch cross section for Outfall Ex- Response: Existing ditch should be re-installed as part of the

Page 4 of 6

10	Haymarket 58-506(3)1.6. 58-700 PWC Admin. Proced. Man.	Show ditch computation and cross section for the SWM/BMP outfall. Response: Ditch computation and cross section for the SWM/BMP outfall has been shown on sheet 5. Provide the Buffer Landscaping Schedule(s) with required and propose plantings for the buffers. Response: Required and proposed Buffer Landscaping Schedule(s) with plantings have been provided.
11	4.05.4B(43) Haymarket 58-506(3)l.6. 58-703 PWC Admin. Proced.	a. The shrubs for the interior parking lot landscaping need to be interior to the parking lot, not on the perimeter. Response: Shrubs for the interior parking lot landscaping have been provided interior to the parking lot. b. Provide perimeter parking lot landscaping & schedule for the east side of the parking lot. The Town treats vacant parcels as being
	Man. 4.05.4B(43)	developed per 58-698. In addition, the purpose of perimeter parking lot landscaping is to shield the parking lot. The R-1 zoning is for single family home detached dwellings and certain additional uses which serve residents. Churches are allowed in R-1, but consideration should be given to the intent of the ordinance. Parkin lots are normally associated with denser residential and business/industrial areas, not single family homes. While a full blown buffer is not required because the Church's R-1 parcel is adjacent to another R-1 parcel, minimally provide perimeter parking lot landscaping for parking lot adjacent to other parking lots per 58-703. A waiver can be requested for areas that cannot be planted due to existing drainage/ Enhancement plan drainage easement. Response: Perimeter parking lot landscaping is not required per Section 58-703 (b). This section stated that perimeter parking lot landscaping is required if the parking area is adjacent to a public or private street or adjacent to other parking lot.
12	Haymarket 58-506(3)l.9. PWC Admin. Proced. Man. 4.05.4B(39)	The proposed grading is filling in the existing swale running along the property line and back onto Church property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties? Response: Grading line has been revised. On Handicap Ramp 1, a low point is being created at Point 11. Verify
13	PWC Admin. Proced. Man. 4.05.4B(32) PWC DCSM	On Handicap Ramp 1, a low point is being created at Point 11. Verify correct elevations are being shown or revise grading. Response: Handicap Ramp has been corrected.

improvement plan project by others.

58-506(3)1.8.

Page 5 of 6

	602.07.R VDOT CG-12	
14	Unit PriceList	a. Verify storm sewer lengths. I compute 179' of 15" pipe instead of 207', 33' of 18" pipe instead of 8', and 36' of 21" pipe instead 65'.
		Response: The 15" pipe total length is 207. You didn't compute the 28' RCP pipe from structure 101 to 102. 18" and 21' pipe have been revised.
		b. Add raising existing inlets & providing MH tops
		Response: MH tops and structures have been added to unit price list.
		c. Add Storm Pure inserts. Response: Storm Pure insert have been added accordingly.
		 d. Add rip-rap outfalls. Response: Rip-rap outfalls have been added to the unit price list.
		e. Add CG-12s. Response: CG-12s have been added to the unit price list.

If you have any questions please call (703)361-4188.

Sincerely,

Tsigereda Damte Project Engineer

Ross, France & Ratliff, Ltd.

CIVIL ENGINEERING - LAND SURVEYING



Ross, France & Ratliff, Ltd.

8802 SUDLEY ROAD . MANASSAS, VIRGINIA 20110-1731 . (703) 361-4188 . WWW.RFRLTD.COM

Thomas A. Dougher President Charles E. Ross Joe H. France

R. Michael Massey II Vice President, Secretary

Larry J. Ratliff Vice President, Treasurer

February 6, 2013

Mr. R. Marchant Schneider – Town Planner
The Town of Haymarket
P.O. Box 1230
Haymarket, VA 20168

Re: Plan Name: Haymarket Baptist Church Building Addition & Parking Expansion

Plan Number: 08-HAY03-R0

Final Site Plan- 4th Submission

Dear Mr. Schneider:

The following are our responses to the comments generated from the 4th review of the above referenced plan:

1. Sheet 1, "Cover Sheet", "Present Zoning and Use", add text "Proposed: R-1, Church" following the text "B-1 and R-1, Church".

Response: Text has been added to the cover sheet.

2. Sheet 1, "Revisions", please list comment response revision dates to the plan set.

Response: Comment response revision dates have been added to cover sheet.

3. Sheet 3, Site Plan, insert Zoning Determination Letter dated August 6, 2012.

Response: Zoning Determination letter has been added to site plan sheet.

- 4. Sheet 3, Site Plan, Note 11, add a footnote to "Front: 35 Feet" referencing the Zoning Determination Letter. Response: Footnote has been added to site plan sheet.
- 5. Sheet 3, Site Plan, Note 11, add a footnote to "Site Coverage Provided: 72.3%" referencing the Zoning Determination Letter.

Response: Footnote has been added to site plan sheet.

 Sheet 3, Site Plan, Sheet 3a, Details, Dumpster Pad, note the dumpster pad with screen is to be provided per the Town of Haymarket Architectural Review Board Guidelines. The guidelines are posted online at www.townofhaymarket.org.

Response: Note has been added to sheet 3.

- Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 2 (**), replace "provided" with "proposed".
 - Response: Provided has been replaced by prosed on Landscape Plan.
- Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), "...adjoining land use zone R-2" should reference B-1, note R-2.
 - Response: B-2 has been noted in place of R-2.
- Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), strike the language followin "...no improvement in this area" and insert "... and an existing a 6 foot board on board fence has been provide as an alternative screening method. No additional method is applied." Response: Language has bee changed as requested.
- 10. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix(es)", indicate the PIN#s to which the screen an buffer yard is applied.
 - Response: PIN #s have been added.
- 11. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 2 (**), replace footnot language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), a
- Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 2 (**), replace footnot language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), a salternate screen is provided by a 6 foot board on board fence adjacent to PIN# and additional buffer area adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet."

 Response: Footnote language has been replaced.

 Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 3 (***), replace footnot language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), a alternate screen is provided by an existing 6 foot board on board fence adjacent to PIN# and additional buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this seems and additional se 12. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 3 (***), replace footnot

- 13. Sheet 6, Landscape Plan, add an additional Schedule for perimeter parking lot landscaping adjacent to
- 14. Sheet 6, Landscape Plan, add a note to the Sheet stating that the Washington Street Improvement Plan Phase 14

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Thomas A. Dougher President Charles E. Ross Joe H. France

R. Michael Massey II Vice President, Secretary

Larry J. Ratliff Vice President, Treasurer

October 8, 2012

Mr. R. Marchant Schneider – Town Planner
The Town of Haymarket
P.O. Box1230
Haymarket, VA 20168

Dear Mr. Schneider:

The following are our responses to the comments generated from the 3nd review of the above referenced plan:

1. Sheet 1, "Cover Sheet", identify zoning and uses on all parcels.

Status: Comment addressed.

Sheet 1, "Professional Seal and Signature", reference Town of Haymarket Standards and Ordinances.

Status: Comment addressed.

3. Sheet 1, "Bond Estimate", reference "Town" not "County".

Status: Comment addressed.

4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required

Page 1 of 5

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pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.

Status: Provision of the Zoning Tabulation is noted; however, the specific yards, setback, building height, lot coverage, etc. should be clearly depicted on the site plan. Existing structures / site improvements that are in conflict with the standard (i.e. driveway on the west side of the existing building, vestibule at the front of the church) can remain so long as the non-conformity is not expanded. It is recommended that the Zoning Determination Letter dated August 6, 2012 regarding the required building setback for the sanctuary addition, overall lot coverage, and required streetscape improvements be included in the plan set.

A rezoning application to rezone the B-1 parcel to an R-1 parcel should reference the requested district standards. The Zoning Tabulation note should also be revised to remove the B-1 district standards. Also, please include the dimensions of the "relocated wood shed" (see Sections 58-52(7 and 58-58(b)).

Response: Rezoning application has been submitted pursuing rezoning from B-1 zoned to R-1. Zoning tabulation has been revised accordingly. Per Zoning Determination Letter dated August 6, 2012 the required building setback for the sanctuary addition and overall lot coverage have been provided. Frontage improvements have been coordinated with Washington Street improvement plan and shown on the site plan. Dimensions of the relocated wood shed have been provided.

5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.

Status: Addressed. Note: Are loading spaces to be provided? Is so, please identify the spaces on the site plan.

Response: Minimum information requirements have been confirmed. Loading space has been provided.

6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.

Status: Comment addressed.

7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.

Status: Comment addressed.

8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)).

Page 2 of 5

Status: A dumpster is currently utilized by the Applicant. If the Applicant wishes to continue its use of a dumpster and/or anticipates additional dumpsters, their location should be identified on the plan and a detail sheet of the associated enclosure provided.

Response: Dumpster pad w/8' board on board fence and gate has been provided on the plan and the associated enclosure has been provided on detail sheet.

9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: In order to evaluate compliance with the noted Sections, please provide a matrix indicating the requisite screen adjacent to each property/zoning district boundary and depict the corresponding screen on the site plan. The matrix should correspond with the screen and buffer yard required by Section 58-702 and list the specifications of Section 58-704. Where the standard cannot be met and an alternate screen is proposed (i.e. such as the fence along the eastern property boundary bordering the B-1 zoning district), the Applicant should footnote the request for the alternative (see Section 58-699(c)) and indicate why the alternative is necessary/appropriate (See Comment 15 below).

NOTE: A request to rezone the B-1 parcel to R-1 should reflect the corresponding standard and wil alleviate the necessity to address alternative screens internal to the site due to the current "split" zoning of the Property.

Response: A matrix indicating the requisite screen adjacent to each property/zoning district boundaries have been provided accordingly. Alternative 6' board on board fence screening has been provided along the eastern property boundary where the standard cannot be met.

10. It is recommended that the note "Ex. Pavement" referring to the driveway on the west side of the building be revised to note "Ex. Pavement Driveway to Remain".

Response: Label been revised accordingly.

11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: See Comment 9 above.

Response: Landscape has been provided per Section 58-701 and Section 58-702; Buffer yard and Screening matrix have been provided adjacent to the B-1, R-1, and R-2 districts.

12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.

Status: Comment addressed.

Page 3 of 5

13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.

Status: Section 58-704(b) indicates minimum size requirements. The "Large Deciduous Trees" listed within Schedule H – Landscape Legend are an incorrect size. The correct height is 10'-12' feet, not 7'-8'.

Please also indicate caliper size for all plantings and note the planting procedures associated with their installation (Section 58-704(c)).

Response: The correct heights of trees and caliper sizes have been provided, planting procedures note associated with their installation has been provided accordingly.

14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Status: The above-mentioned Zoning Determination states that the Washington Street Improvement Plan Phase 1A project will serve to meet the requirements of Sections 58-713 through 58-526 in conjunction with the proposed building addition and parking lot expansion.

Response: Comment noted. The Town of Haymarket Washington Street Improvement project addressed these requirements.

NEW COMMENTS

15. Please provide a narrative summarizing the proposal and the justification for the requested alternative buffers /screens.

Response: A narrative summarizing the proposal and the justification for the requested alternative buffer/ screens has been provided.

16. If Applicant intends to pursue a rezoning application, it is suggested that the Applicant incorporate a Rezoning Plat with the plan set and revise the plan Sheets accordingly.

Response: Rezoning application has been submitted. Copy of plat has been incorporated within this submission.

17. Sheet 1, "Cover Sheet". In the block above "Vicinity Map", indicate Town of Haymarket as the approving authority, not Prince William County.

Response: Cover sheet has been revised accordingly.

18. Please update the Revision Block on all Sheets to reflect the most current plan set.

Response: Revision Blocks typically are updated when a revision is occurring to an approved plan.

19. As noted in the Zoning Determination, the PIN numbers on the plan set do not reflect those PINs referenced by the PWC mapping system. It is recommended that this inconsistency be resolved. Also, please correct the address of Church building (14800 Washington Street).

Response: Zoning Determination and PIN numbers have been revised. Church address has been revised accordingly.

20. Interior / Perimeter Parking Lot Landscaping. Comments by the Town Engineer address the requirements of Section 58-703.

Response: Interior parking has been provided per section 58-703(e). Per Section 58-703 (b) perimeter parking lot landscaping is required if the parking area are adjacent to a public or private street or adjacent to other parking lot and perimeter parking lot landscaping is not require for this site

21. Please provide a draft version of the stormwater facility maintenance agreement for review by the Town Attorney.

Response: A draft version of the stormwater facility maintenance agreement has been provided to the Town Attorney.

If you have any questions please call (703)361-4188.

Sincerely,

Tsigereda Damte Project Engineer

Ross, France & Ratliff, Ltd.

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Ross, France & Ratliff, Ltd.

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Thomas A. Dougher President Charles E. Ross Joe H. France

R. Michael Massey II Vice President, Secretary

June 27, 2012

Larry J. Ratliff

Vice President, Treasurer

Ms. Holly Montague, P.E. – Town Engineer Mr. R. Marchant Schneider – Town Planner

The Town of Haymarket

P.O. Box1230

Haymarket, VA 20168

Re: Plan Name:

Haymarket Baptist Church

Dear Ms. Montague and Mr. Schneider:

The following are our responses to the comments generated from the 2nd review of the above referenced plan:

ENGINEERING COMMENTS:

PLATS:

1.	Haymarket 58-506 (3)h, (3)n PWC Admin.	Note #1 stating that all existing easements might not be shown must be removed. Show all existing easements. Perform title search, if needed, so note can be removed. Response: Note #1 has been modified to identify the
2	Man. 4.05.4(B14)	title report information provided by the Town.
2.	Haymarket 58-506 (3)h, (3)n	Provide on-site and off-site sight distance easements. Provide off-site plat. Response: Line of sight is inside of the future right way and sight
	PWC Admin.	distance easement is not required
	Man. 4.05.4(B14)	
3.		Note #5, change County reference to Town of Haymarket.
		Response: County references have been changed to Town of Haymarket
		accordingly.
4.		Under Owner's Consent & Dedication, change #2 from Board of County
		Supervisors to the Town of Haymarket. Response: County reference has
		been changed to Town of Haymarket accordingly.
5.		For access, the SWM should tie into the public R/W.
		Response: SWM/BMP access has been tied to public R/W accordingly.
6.		While this is a consolidation plat, there is mixed zoning between the parcels
		being consolidated. A mixed use parcel is allowed, but setbacks and buffers
	İ	are still required between B-1 and R-1 zoning. Consider re-zoning or
		submitting a waiver for the setbacks and buffers. Response: Comment is
		noted and if necessary the Church will seek a waiver of the setbacks and
		buffers.

SPECIALIZING IN SITE DEVELOPMENT, PLANNING, WATER AND SEWER, DRAINAGE, UTILITIES, ROADS, AND ALL TYPES OF LAND SURVEYS

PLANS:

PLANS:	Washington	Der Ordinanca frantaga improvemente includina quel buiele sidemalle
Comment #1.	Washington Streetscape Enhancement Plan Haymarket 58-713 thru 58-727	Per Ordinance, frontage improvements including curb, brick sidewalk, street lighting and street trees are required. However, since the Washington Streetscape Phase 1A is in this area, a sit down meeting between the Church, the Town and the engineers is strongly recommended in order to come to agreement/compromise on what to do with the street frontage improvements as well as the drainage, R/W and easements that this site plan and that Phase 1A requires. Without an agreement between the Church and the Town, the Church would be responsible for all frontage improvements in accordance with the Washington Streetscape Phase 1A plan. Response: Frontage improvements have been coordinated with Washington Street improvement plan. Improvements are limited to placement of Walk/CG-12 at entrances to site. The storm sewer proposed by the improvement plan shall be installed as part of the improvement project and not this project.
Old	Haymarket	Show Town of Haymarket Zoning, not Prince William County, on Site Plan
Comment	58-506 (3)c	and associated sheets and make sure all parcels are correct. See attached
#2.	PWC Admin.	Town of Haymarket Zoning Map.
1	Man. 4.05.4(B7)	For example, the Town of Haymarket does not have a R-4 zoning and part of
		the Church property is showing to be B-1 zoning when it is R-1.
Old	Haymarket	Response: Town of Haymarket Zoning have been shown accordingly. After showing all existing easements, remove Note 1 on Sheet 3.
Comment	58-506 (3)h, (3)n	Response: Note 1 has been removed.
#4.	PWC Admin.	
	Man. 4.05.4(B14)	
	Haymarket 58-506 (3)h PWC Admin Man. 4.05.4 (B28) &(B34)	Show all building restriction lines, setbacks/buffers and yard requirements per Haymarket Zoning. Is GPIN 7397-09-2472 being re-zoned? While there is a consolation plat, the issue of mixed use zoning or re-zoning has not been addressed. It is possible to have a mixed use property with more than one zoning, but then buffers would still need to apply or waivers applied for and approved. In addition, even though the church is already constructed and will not be modified, the building restriction line/setback/buffer between the Verna property (B-1) and the Church property (R-1) should be shown. Response: Zoning tabulation has been added to general notes which shows the setback requirements and if necessary the Church will seek a waiver of the setbacks and buffers.
	Haymarket	After coordination with Washington Street Phase 1A Enhancement project,
Comment #6.	58-506 (3)k.1.	show frontage improvements. See Old Comment #1 above. Response:
		Frontage Improvements have been coordinated with Washington Street improvement plan and shown on the site plan.
Old	Haymarket	Label width of proposed sidewalk in front of sanctuary addition, similar to
Darries Outdoors	58-506 (3)k.1.	the labeling "6' CONC WALK" behind the existing tot lot.
	\$ 50m	Response: Width of sidewalk has been labeled.
Balticologic	PWC Admin Man.	Since this plan is adding the CG-12 handicap ramps, add detail and chart of
Segment of	OND INFORM EDITING COMPANION CONTROL OF THE PROPERTY OF THE PR	
Comment	4.05.4(B32)	required ramps lengths based on curb slope. Response: CG-12 handicap
Comment #14.	4.05.4(B32) PWC DCSM	ramps and detail and chart or required ramps length have been
Comment #14.	4.05.4(B32) PWC DCSM 602.07.R.	
Comment #14.	4.05.4(B32) PWC DCSM	ramps and detail and chart or required ramps length have been

Comment	58-506 (3)1.8.	sentence. The owner will be responsible for the underground storage facility.
#17.	PWC Admin Man.	Coordinate with Town Clerk on SWM/BMP agreement (she has samples).
	4.05.4(B38)	Response: Maintenance note has been revised accordingly. Town Clerk
	PWC DCSM	has provided a sample agreement which will be included within the deed
	722.05	of easement for the plat.
Old	Haymarket	Verify all storm sewer and SWM facility inverts, lengths and slopes between
Comment	58-506 (3)1.8.	computations, profiles plans and details: Response: All storm sewer and
#22	PWC Admin Man.	SWM facility inverts, lengths and slopes have been verified.
	4.05.4(B37)	Inverts do not match for 101 to 102 and inverts and lengths do not match 102 to 100 on storm comps vs profiles. Response: Inverts have been revised
		accordingly.
		Slope on profile for 110 to 111 does not match Pond Report Culvert/Orifice
		Structure information. Response: Inverts and profiles have been shown
		correctly.
Old	Haymarket	On E& S Phase II, Inlet Protection can only be used for areas up to 1 Ac. Str
Comment	58-506 (3)1.8.	101 has larger than 1 Ac draining to it. For larger areas, different treatment
#30.	PWC Admin Man.	methods must be used.
	4.05.4(B42)	Response: Diversion Dike has been provided to divert the offsite
	Virginia Erosion	drainage area and reduce the drainage area to storm structure 101 to
	& Sediment	below an acre until area is stabilized.
	Control Handbook	
Old	Haymarket	Show the buffers on the landscaping plan and move labels on landscaping
Comment	58-506 (3)1.6.	plan so they are legible. Response: Buffer has been shown on the
#32.	PWC Admin Man.	landscaping plan accordingly.
	4.05.4(B43)	amasan pang pana areas amgaj.
1.		On Title Sheet, change references to Prince William County/County to Town
		of Haymarket. Response: Title sheet has been revised accordingly.
2.	Haymarket	a. Provide on-site and off-site sight distance easements.
	58-506 (3)h, (3)n	Response: Line of sight is inside of the future right way and sight
	PWC Admin.	distance easement is not required.
	Man. 4.05.4(B14)	b. Ideally, there should be an existing easement on the storm sewer from
		Washington Street to the outfall at EX1 since it is road drainage. If not,
		then provide a drainage easement.
		Response: Easement is no longer required since Town Enhancement
		Project is to remove the existing storm sewer.
		The proposed storm to the underground SWM/BMP does not require
		easements since it is on-site storm sewer. However, for access, the SWM
		easement needs to connect to the public R/W (or a drainage easement for
	1	the existing storm sewer).
		Response: SWM/BMP access has been connected to public R/W.
3.	Haymarket	Have the engineer seal sight distance sheets 10A, 10B and Storm Tech detail
	58-506 (3)j.	sheet 10C.
	PWC Admin Man.	Response: Engineer seal has been provided for referenced sheets.
	4.05.4(B6)	
4.	Haymarket	a. Verify areas shown in BMP map and computations. Since the parcels are
	58-506 (3)1.8.	being consolidated into one parcel, the existing church and surrounding
	PWC Admin Man.	area must be included. In addition, there is off-site water (0.23 Ac)
	4.05.4(B38)	draining into the underground facility that must be included
	PWC DCSM	Response: BMP area and computation has been revised accordingly.
	722.05	b. BMP Computations: Part 5, line D shows the uncontrolled area is 28.4%,
		which exceeds the 20% maximum. Therefore, site coverage

requirements are not met. Response: BMP drainage area has been revised to meet the required coverage. c. BMP Computations: Verify BMP Orifice computations. I calculate a larger head at the BMP storage elevation and a smaller diameter orifice required.
Response: BMP outlet computation and required orifice size have
been revised.

PLANNING COMMENTS:

- 1. Sheet 1, "Cover Sheet", identify zoning and uses on all parcels. Response: Zoning and Use have been identified.
- Sheet 1, "Professional Seal and Signature", reference Town of Haymarket Standards and Ordinances.
 Response: Town of Haymarket reference has been shown.
- 3. Sheet 1, "Bond Estimate", reference "Town" not "County". Response: Town of Haymarket reference has been shown.
- 4. Sheet 3, Site Plan, Provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance. Response: Zoning Tabulation listing has been added to the General Notes.
- 5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided. Response: Minimum information requirements have been confirmed.
- Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site
 plans have identified 1 space per five students/faculty. Response: Parking requirements have been
 confirmed.
- 7. Sheet 6, Landscape Plan, demonstrate conformance with section 58-695, Contents of landscape plan. Response: Landscape Plan is now in conformance with section 58-695.
- 8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)). Response: Comment noted and presently there are no dumpster locations planned.
- Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700,
 Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts. Response: Screening has been provided through landscaping and fencing.
- 10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards. Response: Comment noted and the referenced driveway and entrance should be grandfathered.
- 11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts. **Response: Adequate buffering has been provided between the different uses.**
- 12. Sheet 6, Landscape Plan, demonstrate conformance with section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is

not provided. Response: Parking lot landscaping has been provided and additional landscaping shall be provided along Washington Street with the street enhancement project.

- 13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens. Response: The landscape plan has been revised to demonstrate conformance.
- 14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner. Response: Sidewalks, lighting and street trees shall be provided with the street enhancement project.

If you have any questions please call (703)361-4188.

Sincerely

R. Michael Massey II. P.E., L.S. Vice President & Secretary Ross, France & Ratliff, Ltd.



INTEROFFICE MEMORANDUM

TO: JENNIFER PRELI, TOWN CLERK

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION

FINAL SITE PLAN -4^{TH} SUBMISSION

DATE: 01-21-13

CC: HOLLY MONTAGUE, PE

Per your request, I have reviewed the fourth submission of the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007 and sealed October 15, 2012. I have also reviewed the Applicant Response Letter dated October 8, 2012. I offer the following comments based on Chapter 58 of the Haymarket Town Code and subsequent to a meeting held with the Applicant at Town Hall on January 17, 2013. These comments are in addition to those comments provided by the Town Engineer.

- 1. Sheet 1, "Cover Sheet", "Present Zoning and Use", add text "*Proposed: R-1, Church*" following the text "*B-1 and R-1, Church*".
- 2. Sheet 1, "Revisions", please list comment response revision dates to the plan set.
- 3. Sheet 3, Site Plan, insert Zoning Determination Letter dated August 6, 2012.
- 4. Sheet 3, Site Plan, Note 11, add a footnote to "Front: 35 Feet" referencing the Zoning Determination Letter.
- 5. Sheet 3, Site Plan, Note 11, add a footnote to "Site Coverage Provided: 72.3%" referencing the Zoning Determination Letter.
- 6. Sheet 3, Site Plan, Sheet 3a, Details, Dumpster Pad, note the dumpster pad with screen is to be provided per the Town of Haymarket Architectural Review Board Guidelines. The guidelines are posted online at www.townofhaymarket.org
- 7. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 2 (**), replace "provided" with "proposed".
- 8. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), "...adjoining land use zoned R-2" should reference B-1, not R-2.
- 9. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", footnote 3 (***), strike the language following "...no improvement in this area" and insert "...and an existing a 6 foot board on board fence has been provided as an alternative screening method. No additional method is applied."

TOWN PLANNER COMMENTS

JANUARY 21, 2013

PAGE 2 OF 2

- 10. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix(es)", indicate the PIN#s to which the screen and buffer yard is applied.
- 11. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 2 (**), replace footnote language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), an alternate screen is provided by a 6 foot board on board fence adjacent to PIN# ____ and additional buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet."
- 12. Sheet 6, Landscape Plan, "Screening and Buffer Yard Matrix", matrix for Footnote 3 (***), replace footnote language with "The standard buffer cannot be met pursuant to Section 58-702. Per Section 58-699(c), an alternate screen is provided by an existing 6 foot board on board fence adjacent to PIN#

 ____ and additional buffer areas adjacent to the R-2 zoning districts along the northern property boundary. See Buffer Narrative this Sheet."
- 13. Sheet 6, Landscape Plan, add an additional Schedule for perimeter parking lot landscaping adjacent to PIN#_____ (Section 58-703). Add a reference stating: "The standard perimeter parking lot landscaping cannot be met pursuant to Section 58-703(d). Per Section 58-703(f), an alternate screen is provided adjacent to PIN#____ due to drainage infrastructure associated with the Washington Street Improvement Plan Phase LA and pedestrian interconnectivity with the adjacent Town owned properties."
- 14. Sheet 6, Landscape Plan, add a note to the Sheet stating that the Washington Street Improvement Plan Phase 1A project will meet the Streetscape Requirements of Sections 58-713 through 58-526 as part of the building addition and parking lot expansion. Reference the Zoning Determination inserted on Sheet 3.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238 or via email at mschneider@townofhaymarket.org.



INTEROFFICE MEMORANDUM

TO: GENE SWEARINGEN, TOWN MANAGER

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION

FINAL SITE PLAN

DATE: 08-20-12

CC: HOLLY MONTAGUE, PE

Per your request, I have reviewed the third submission of the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007 and sealed June 29, 2012. I have also reviewed the Applicant Response Letter dated June 27, 2012. The following comments are based on Chapter 58 of the Haymarket Town Code. These comments are in addition to those comments provided by the Town Engineer. It is recommended that the Applicant and Town Staff meet prior to the final submission of the site plan.

1. Sheet 1, "Cover Sheet", identify zoning and uses on all parcels.

Status: Comment addressed.

2. Sheet 1, "Professional Seal and Signature", reference Town of Haymarket Standards and Ordinances.

Status: Comment addressed.

3. Sheet 1, "Bond Estimate", reference "Town" not "County".

Status: Comment addressed.

4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.

Status: Provision of the Zoning Tabulation is noted; however, the specific yards, setback, building height, lot coverage, etc. should be clearly depicted on the site plan. Existing structures / site improvements that are in conflict with the standard (i.e. driveway on the west side of the existing building, vestibule at the front of the church)

TOWN PLANNER COMMENTS
AUGUST 20, 2012
PAGE 2 OF 4

can remain so long as the non-conformity is not expanded. It is recommended that the Zoning Determination Letter dated August 6, 2012 regarding the required building setback for the sanctuary addition, overall lot coverage, and required streetscape improvements be included in the plan set.

A rezoning application to rezone the B-1 parcel to an R-1 parcel should reference the requested district standards. The Zoning Tabulation note should also be revised to remove the B-1 district standards. Also, please include the dimensions of the "relocated wood shed" (see Sections 58-52(7) and 58-58(b)).

5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.

Status: Addressed. Note: Are loading spaces to be provided? Is so, please identify the spaces on the site plan.

6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.

Status: Comment addressed.

7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.

Status: Comment addressed.

8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)).

Status: A dumpster is currently utilized by the Applicant. If the Applicant wishes to continue its use of a dumpster and/or anticipates additional dumpsters, their location should be identified on the plan and a detail sheet of the associated enclosure provided.

9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: In order to evaluate compliance with the noted Sections, please provide a matrix indicating the requisite screen adjacent to each property/zoning district boundary and depict the corresponding screen on the site plan. The matrix should correspond with the screen and buffer yard required by Section 58-702 and list the specifications of Section 58-704. Where the standard cannot be met and an alternate screen is proposed (i.e. such as the fence along the eastern property boundary bordering the B-1 zoning district), the Applicant should footnote the request for the alternative (see Section 58-699(c)) and indicate why the alternative is necessary/appropriate (See Comment 15 below).

NOTE: A request to rezone the B-1 parcel to R-1 should reflect the corresponding standard and will alleviate the necessity to address alternative screens internal to the site due to the current "split" zoning of the Property.

TOWN PLANNER COMMENTS
AUGUST 20, 2012
PAGE **3** OF **4**

10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards.

Status: See Comment 4 above regarding such encroachments. It is recommended that the note "Ex. Pavement" referring to the driveway on the west side of the building be revised to note "Ex. Pavement Driveway to Remain".

11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.

Status: See Comment 9 above.

12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.

Status: Comment addressed.

13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.

Status: Section 58-704(b) indicates minimum size requirements. The "Large Deciduous Trees" listed within Schedule H – Landscape Legend are an incorrect size. The correct height is 10'-12' feet, not 7'-8'.

Please also indicate caliper size for all plantings and note the planting procedures associated with their installation (Section 58-704(c)).

14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Status: The above-mentioned Zoning Determination states that the Washington Street Improvement Plan Phase 1A project will serve to meet the requirements of Sections 58-713 through 58-526 in conjunction with the proposed building addition and parking lot expansion.

NEW COMMENTS

- 15. Please provide a narrative summarizing the proposal and the justification for the requested alternative buffers /screens.
- 16. If Applicant intends to pursue a rezoning application, it is suggested that the Applicant incorporate a Rezoning Plat with the plan set and revise the plan Sheets accordingly.
- 17. Sheet 1, "Cover Sheet". In the block above "Vicinity Map", indicate Town of Haymarket as the approving authority, not Prince William County.
- 18. Please update the Revision Block on all Sheets to reflect the most current plan set.

Town Planner comments
August 20, 2012
Page 4 of 4

- 19. As noted in the Zoning Determination, the PIN numbers on the plan set do not reflect those PINs referenced by the PWC mapping system. It is recommended that this inconsistency be resolved. Also, please correct the address of Church building (14800 Washington Street).
- 20. Interior / Perimeter Parking Lot Landscaping. Comments by the Town Engineer address the requirements of Section 58-703.
- 21. Please provide a draft version of the stormwater facility maintenance agreement for review by the Town Attorney.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238.



INTEROFFICE MEMORANDUM

TO: GENE SWEARINGEN, TOWN MANAGER

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: HAYMARKET BAPTIST – BUILDING ADDITION AND PARKING EXPANSION

FINAL SITE PLAN

DATE: 05-17-11

CC: HOLLY MONTAGUE, PE

Per your request, I have preliminarily reviewed the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan dated May 15, 2007. I offer the following comments based on Chapter 58 of the Haymarket Town Code. These comments are in addition to those comments provided by the Town Engineer; however, I reserve the right to raise any issues with subsequent submissions.

- 1. Sheet 1, "Cover Sheet", identify zoning and uses on all parcels.
- 2. Sheet 1, "Professional Seal and Signature", reference Town of Haymarket Standards and Ordinances.
- 3. Sheet 1, "Bond Estimate", reference "Town" not "County".
- 4. Sheet 3, Site Plan, provide zoning tabulation listing applicable district standards for B-1 and R-1 parcels and demonstrate compliance with said standards. This information was otherwise required pursuant to Section 58-506(2)(c). It would appear the uses on the R-1 parcels will not meet the yard, setback, and maximum lot coverage regulations of the Zoning Ordinance.
- 5. Sheet 3, Site Plan, confirm minimum information requirements of Section 58-506(3) are provided.
- 6. Sheet 3, Site Plan, identify off-street parking requirements for church and schools uses. Previous site plans have identified 1 space per five students / faculty.
- 7. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-695, Contents of landscape plan.
- 8. Sheet 6, Landscape Plan, identify any dumpster locations. Screens are to be at least 8' in height (Section 58-701(e)).

TOWN PLANNER COMMENTS

MAY 17, 2011

PAGE 2 OF 2

- 9. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-699 and Section 58-700, Screening requirements. It would appear the requisite screens are not provided adjacent to the B-1, R-1, and R-2 districts.
- 10. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701(a). It would appear driveways and entrances are located within the required buffer yards.
- 11. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-701 and Section 58-702, Buffer yard and Screening and buffer yard matrix. It would appear the requisite buffer yards are not provided adjacent to the B-1, R-1, and R-2 districts.
- 12. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-703, Parking Lot Landscaping. It would appear the requisite landscape strip, trees, and screening of the parking lot from a public street is not provided.
- 13. Sheet 6, Landscape Plan, demonstrate conformance with Section 58-704 specific to all required buffers/screens.
- 14. Sheet 6, Landscape Plan, demonstrate compliance with Sections 58-716 (Sidewalks), Section 58-717 (Lighting), and Section 58-723 (Street trees). It would appear these improvements are not intended to be provided by the landowner.

Please let me know if you have any questions regarding the above comments. I can be reached at 540-239-7238.



TO: MARCHANT SCHNEIDER

FROM: HOLLY MONTAGUE, PE

SUBJECT: HAYMARKET BAPTIST CHURCH 4TH SUBMISSION COMMENTS

DATE: 1/17/2013

CC: STAFF

Per your request, I have reviewed the forth submission for the Haymarket Baptist Church Final Site Plan. I used the Haymarket Ordinances, Final Site Plan Requirements, Haymarket Code Section 58-506(3), Prince William County standards and VDOT standards in order to review this final site plan. I offer the following comments:

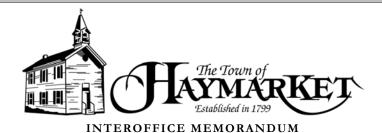
PLATS

1	Haymarket	No plat provided in last submission. Provide plat to verify previous
	58-506 3(h)	comments were addressed.
	3(n)	
	PWC Admin.	
	Proced. Man.	
	4.05.4B(14)	

PL	PLANS		
1	Haymarket	On E&S Phase II, on top of the new sanctuary addition, there is text that	
	58-506(3)k.8.	reads, "Ex. Roof Area down spouts @ grade to #104." Is this A=0.11 ac	
	58-506(3)l.8.	included in the "To #104 Total A =0.53 Ac, is it in addition to this area or	
	PWC Admin.	is it text that does not belong? Does the existing roof & new sanctuary	
	Proced. Man.	actually drain to #104?	
	4.05.4B(37)		
2	Haymarket	Per discussion, the Diversion Dike will be left in place permanently. Add a	
	58-506(3)l.8.	note to the Erosion Control Narrative that the Diversion Dike will remain	
	PWC Admin.	in place permanently and include permanent maintenance note(s).	
	Proced. Man.		
	4.05.4B(41)		
3	Haymarket	Submit a waiver for using alternate buffer screening on the northwest side	
	58-506(3)l.6.	of the project.	
	58-699(c)		
	58-703(f)	Include waiving perimeter parking lot landscaping requirements on the	
	PWC Admin.	southeast side of the parking lot due to the drainage proposed by the	
	Proced. Man.	Town's Streetscape project.	
	4.05.4B(43)		
4	Haymarket	a. Include a perimeter parking lot landscaping schedule for the landscaping	
	58-506(3)l.6.	provided on the northeast side of the parking lot.	
	58-703		
	PWC Admin.	b. Move the rhododendrons that are within the fence at the Tot Lot to	
	Proced. Man.	outside the fence so they can be claimed for buffer credit.	
	4.05.4B(43)		

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5	Haymarket	Per Fairfax County PFM: In nonresidential areas, "open space" is defined as
	58-506(3)k.8.	perpetually undisturbed areas placed in floodplains or conservation
	58-506(3)l.8.	easements and without other encumbrances. It also states: Any areas with
	PWC Admin.	maintained landscaping or active recreation areas are not to be used in
	Proced. Man.	"open space" determinations.
	4.05.4B(19)	
	4.05.4B(38)	Consider reducing or eliminating the Open Space providing BMP credit so
	Fairfax Co	that the proposed landscaping will not have to be relocated in this area.
	PFM Pg. 6-30	Only 20% Phosphorus Removal is required for redevelopment per previous
	0	discussions, but Site Coverage will still need to be verified once both the
		area behind the Diversion Dike and the area currently in the Open Space
		are added to the uncontrolled area.
		are added to the discontrolled area.
		If Open Space is not eliminated, there are not any Open Space minimum
		size requirements but any Open Space needs to be placed in an easement if
		it is used for 100% BMP credit.
6	Uarrena elect	a. Since the Diversion Dike is to remain in place, remove A-2 notation on
U	Haymarket	
	58-506(3)k.8.	map. In the computations, it appears that areas A1 and A2 already do not
	58-506(3)1.8.	include this area $(A1 + A2 = 2.36 \text{ Ac which matches storm computations})$
	PWC DCSM	that do not include this area). Add this area to A-4, Developed without
	4.05.4B(38)	controls, if it is already not included.
	NOVA BMP	
	Handbook	b. Is the existing roof/new sanctuary addition draining to #104 (see
		comment #1)? If it is, hatch this area on the BMP Map.
		c. Provide documentation that other jurisdictions have allowed 10% credit
		for "Filter Strip" on grassed/landscaped areas. This documentation can be
		an approved BMP Map & Computations allowing the 10% credit so long as
		it is apparent that it is the same type of situation (grassed/landscaped area).
		d. Per Outlet Computation, the orifice size should be 0.0694666 (0.8").
		The orifice in the SWM computations 2". Even rounding for available pipe
		sizes, why is the orifice in the SWM computations more than twice this
		size? The drawdrown time will be much less than 48 hours if a 2"orifice is
		used.
		e. Revise the Water Quality Narrative to read:
		The site consists of 3.207 acres for an existing Church, which 2.60 acres will
		be disturbed. 0.36 acres of developed area drains through storm-pure filter
		bags located at structures 101, 102. 103 and 104. An additional 2.00 acres
		will drain to structures 101, 102, 103 and 104, but will bypass the storm-
		pure filter due to the capacity of the filter and will drain directly to the
		Underground Stormwater Management Pond. XX acres of developed area
		drains uncontrolled from the site [update this area to include the area
		remaining behind the Diversion Dike to be left in place and any reduction
		of Open Space]. 0.39 acres of developed area drains through the grass and
		tree filter strip located in the northern part of the site. Per Prince William
		County DCSM 720.02A, a minimum of twenty percent (20%) phosphorus
		removal shall be provided for redevelopment sites.
		removal shan be provided for fedevelopment sites.

Please let me know if you have any questions regarding these comments. I can be reached at 703-968-6792.



TO: MARCHANT SCHNEIDER

FROM: HOLLY MONTAGUE, PE

SUBJECT: HAYMARKET BAPTIST CHURCH 3RD SUBMISSION COMMENTS

DATE: 8/20/2012

CC: STAFF

Per your request, I have reviewed the third submission for the Haymarket Baptist Church Final Site Plan. I used the Haymarket Ordinances, Final Site Plan Requirements, Haymarket Code Section 58-506(3), Prince William County standards and VDOT standards in order to review this final site plan. I offer the following comments:

PLATS

1	Haymarket 58-506 3(h) 3(n) PWC Admin. Proced. Man. 4.05.4B(14)	Show all existing easements. Include the existing easements that are now recorded easements from the Enhancement Plan via the Certificate of Take. It should be noted that the permanent drainage easement recorded via the Certificate of Take is subject to change pending an agreement between the Church and the Town being finalized.
2		Under Owner's Consent & Dedication, change 3 rd from last sentence from County to Town.
3		Mixed use zoning within the consolidated parcel still needs to be addressed. Consider re-zoning and providing required buffers and/or providing a screening fence on western boundary as an alternative screen accompanied by a waiver for buffer requirements.

PLANS

1	Washington	a. Since this plan raises the grade on the site and the Enhancement Plan
	Enhancement	lowers the street grade, provide a grading detail and/or profile
	Plan Phase 1A	demonstrating how the two projects will ultimately tie-in together.
		b. If this plan is resubmitted after the pending agreement is finalized
		between the Church and the Town and the Enhancement Plan drainage is
		revised, show the proposed Enhancement drainage cutting across the
		parking lot and label "By Others." Additional comments regarding
		conflicts with Enhancement drainage are held and will not need to be
		resolved if the pending agreement between Church and Town is finalized.

2	Haymarket	Show all existing Right of Way and easements. Include the existing right
	58-506 3(h)	of way and easements that are now recorded from the Enhancement Plan
	3(n)	via the Certificate of Take. What is labeled as Future Right of Way is not
	PWC Admin.	the actual Right of Way line but an easement line. It should be noted that
	Proced. Man.	the permanent drainage easement recorded via the Certificate of Take is
	4.05.4B(14)	subject to change pending an agreement between the Church and the
	(- ,)	Town.
3	Haymarket	a. Show the setback line on the plans.
	58-506 3(h)	b. Mixed use zoning within the consolidated parcel still needs to be
	PWC Admin.	
		addressed. Consider re-zoning and providing required buffers and/or
	Proced. Man.	providing a screening fence on western boundary as an alternative screen
	4.05.4B(28) &	accompanied by a waiver for buffer requirements.
	B(34)	
4	Haymarket	Verify that the line of sight is still outside the existing Right of Way after
	58-506 3(h)	showing the correct Right of Way (see note 2). Use intersection sight
	PWC Admin.	distance of 335' instead of the 390' shown on the plans and also you may
	Proced. Man.	take advantage that the eye location only needs to be 14.5' minimum from
	4.05.4B(14)	the edge of pavement instead of the 18' shown on the plans. The sight
	` ′	distance profile is shown correctly with a line of sight of 335'.
5	Haymarket	Verify that all areas shown on E&S Phase II & the SWM/BMP map are
	58-506(3)k.8.	incorporated into the drainage areas on the storm comps. For instance, it
	58-506(3)1.8.	is not clear what structure picks up the A=0.26 at the Tot Lot/SWM
	PWC Admin.	facility. In addition, the SWM/BMP computations show 2.74 Ac are being
	Proced. Man.	treated but the storm computations only show 2.25 Ac as entering the
	4.05.4B(37)	system at Str. 100.
6		·
0	Haymarket	a. In E&S Phase I, the Diversion Dike/Sediment Trap appear to block the
	58-506(3)k.8.	existing swale as it runs along the property line and back onto Church
	58-506(3)l.8.	property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN
	PWC Admin.	7397-09-4084. How is this swale being re-graded while staying off
	Proced. Man.	adjacent properties?
	4.05.4B(41)	b.In E&S Phase II, the Diversion Dike stops where the proposed grading
	VA E&S	is still forcing the water back into the parking lot and ultimately into Str.
	Control	101, defeating its purpose.
	Handbook	c. On E&S details, X out all practices not used (i.e. Level Spreader, Fuel
		Tank Containment, etc.)
		d. In Erosion Control Narrative on Sheet 5, add maintenance note for
		Temporary Sediment Trap.
		e. In Erosion Control Narrative on Sheet 5, add narrative/installation
		notes for Sediment Control, Phase II.
7	Haymarket	a. On BMP Plan, show appropriate hatching for west driveway and grassed
	58-506(3)k.8.	area adjacent to western property line.
	58-506(3)1.8.	b. On BMP Plan & Computations, fill out Part I. Water Quality Narrative.
	PWC DCSM	c. Storm Pure insert is listed as a BMP, but nowhere in the plans is it noted
	4.05.4B(38)	which structures have the inserts. Label the storm profile for structures
	NOVA BMP	with Storm Pure inserts.
	Handbook	d. When providing BMPs in series, subsequent BMPs have reduced
	LIMINOOK	efficiencies. A different project within the Town reduced the efficiency
		20% for each subsequent BMP in the series. Update Phosphorus
		Removal chart to reflect the BMPs in series.
		e. Per manufacturer, the phosphorus removal for Storm Tech chambers is
		49% maximum. I recommend using a rate 40%- 45% since facilities
		rarely reach their maximum ability. Update Phosphorus Removal chart.
		f. Per manufacturer, max flow rate through Storm Pure insert is 0.51 cfs

8.	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(38)	and max flow rate for filter + bypass is 3.16 cfs. Flow rates through the structures are higher than this. Verify this type of BMP is appropriate or consider other BMP type (i.e. Filterra Unit). a. Provide maintenance note for the Storm Tech unit. b. Verify height of weir wall on BMP Outlet Structure detail on Sheet 8. It is listed as 355.25, but all associated pond computations say 355.50.
9	Haymarket 58-506(3)k.8. 58-506(3)l.8. PWC DCSM 4.05.4B(37)	a. Show the depth of water on the ditch cross section for Outfall Ex 1. b. Show ditch computation and cross section for the SWM/BMP outfall.
10	Haymarket 58-506(3)l.6. 58-700 PWC Admin. Proced. Man. 4.05.4B(43)	Provide the Buffer Landscaping Schedule(s) with required and proposed plantings for the buffers.
11	Haymarket 58-506(3)l.6. 58-703 PWC Admin. Proced. Man. 4.05.4B(43)	 a. The shrubs for the interior parking lot landscaping need to be interior to the parking lot, not on the perimeter. b. Provide perimeter parking lot landscaping & schedule for the east side of the parking lot. The Town treats vacant parcels as being developed per 58-698. In addition, the purpose of perimeter parking lot landscaping is to shield the parking lot. The R-1 zoning is for single family home detached dwellings and certain additional uses which serve residents. Churches are allowed in R-1, but consideration should be given to the intent of the ordinance. Parking lots are normally associated with denser residential and business/industrial areas, not single family homes. While a full blown buffer is not required because the Church's R-1 parcel is adjacent to another R-1 parcel, minimally provide perimeter parking lot landscaping for parking lot adjacent to other parking lots per 58-703. A waiver can be requested for areas that cannot be planted due to existing drainage/ Enhancement plan drainage easement.
12	Haymarket 58-506(3)l.9. PWC Admin. Proced. Man. 4.05.4B(39)	The proposed grading is filling in the existing swale running along the property line and back onto Church property behind GPIN 7397-09-36756, GPIN 7397-09-3880 and GPIN 7397-09-4084. How is this swale being re-graded while staying off adjacent properties?
13	PWC Admin. Proced. Man. 4.05.4B(32) PWC DCSM 602.07.R VDOT CG-12	On Handicap Ramp 1, a low point is being created at Point 11. Verify correct elevations are being shown or revise grading.

14	Unit Price	a. Verify storm sewer lengths. I compute 179' of 15" pipe instead of 207',
	List	33' of 18" pipe instead of 8', and 36' of 21" pipe instead of 65'.
		b. Add raising existing inlets & providing MH tops.
		c. Add Storm Pure inserts.
		d. Add rip-rap at outfalls.
		e. Add CG-12s.

Please let me know if you have any questions regarding these comments. I can be reached at 703-968-6792.



BURGESS & NIPLE

TO: Town of Haymarket P.O. Box 1230 Haymarket, VA 20168 Attn: Jennifer Preli Re: Haymarket Baptist Church 2nd Submission Site Plan Review for the Town of Haymarket

August 31, 2009

Dear Ms. Preli,

Burgess & Niple, Inc. 4160 Pleasant Valley Road Chantilly, VA 20151 703 631 9630 Fax 703 631.6041 Per your request, I have reviewed the second submission of the Haymarket Baptist Church Site Plan. In addition to the Town Site Plan Requirements, Haymarket Code Section 58-506 (3) Final Site Plan Requirements, I used the Prince William County and VDOT standards in order to review this site plan. I offer the following comments:

PLATS:

1.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man.	Note #1 stating that all existing easements might not be shown must be removed. Show all existing easements. Perform title search, if needed, so note can be removed.
2.	4.05.4(B14) Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	Provide on-site and off-site sight distance easements. Provide off-site plat.
3.		Note #5, change County reference to Town of Haymarket.
4.		Under Owner's Consent & Dedication, change #2 from Board of County Supervisors to the Town of Haymarket.
5.		For access, the SWM should tie into the public R/W.
6.		While this is a consolidation plat, there is mixed zoning between the parcels being consolidated. A mixed use parcel is allowed, but setbacks and buffers are still required between B-1 and R-1 zoning. Consider re-zoning or submitting a waiver for the setbacks and buffers.

PLANS:

Old	Washington	Per Ordinance, frontage improvements including curb,
Comment	Streetscape	brick sidewalk, street lighting and street trees are required.
#1.	Enhancement	However, since the Washington Streetscape Phase 1A is in
	Plan	this area, a sit down meeting between the Church, the
	Haymarket	Town and the engineers is strongly recommended in order

August 31, 2009 Page 2

	58-713 thru 58-727	to come to agreement/compromise on what to do with the street frontage improvements as well as the drainage, R/W and easements that this site plan and that Phase 1A requires. Without an agreement between the Church and the Town, the Church would be responsible for all frontage improvements in accordance with the Washington Streetscape Phase 1A plan.
Old Comment #2.	Haymarket 58-506 (3)c PWC Admin. Man. 4.05.4(B7)	Show Town of Haymarket Zoning, not Prince William County, on Site Plan and associated sheets and make sure all parcels are correct. See attached Town of Haymarket Zoning Map. For example, the Town of Haymarket does not have a R-4 zoning and part of the Church property is showing to be B-1 zoning when it is R-1.
Old Comment #4.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	After showing all existing easements, remove Note 1 on Sheet 3.
Old Comment #5.	Haymarket 58-506 (3)h PWC Admin Man. 4.05.4 (B28) &(B34)	Show all building restriction lines, setbacks/buffers and yard requirements per Haymarket Zoning. Is GPIN 7397-09-2472 being re-zoned? While there is a consolation plat, the issue of mixed use zoning or re-zoning has not been addressed. It is possible to have a mixed use property with more than one zoning, but then buffers would still need to apply or waivers applied for and approved. In addition, even though the church is already constructed and will not be modified, the building restriction line/setback/buffer between the Verna property (B-1) and the Church property (R-1) should be shown.
Old Comment #6.	Haymarket 58-506 (3)k.1.	After coordination with Washington Street Phase 1A Enhancement project, show frontage improvements. See Old Comment #1 above.
Old Comment #7.	Haymarket 58-506 (3)k.1.	Label width of proposed sidewalk in front of sanctuary addition, similar to the labeling "6' CONC WALK" behind the existing tot lot.
Old Comment #14.	PWC Admin Man. 4.05.4(B32) PWC DCSM 602.07.R. VDOT Standard CG- 12	Since this plan is adding the CG-12 handicap ramps, add detail and chart of required ramps lengths based on curb slope.
Old Comment #17.	Haymarket 58-506 (3)l.8. PWC Admin	On the Maintenance Note on Sheet 3, remove the word "except" in the first sentence. The owner will be responsible for the underground storage facility.

August 31, 2009 Page 3

	Man. 4.05.4(B38) PWC DCSM 722.05	Coordinate with Town Clerk on SWM/BMP agreement (she has samples).
Old Comment #22	Haymarket 58-506 (3)1.8. PWC Admin Man. 4.05.4(B37)	Verify all storm sewer and SWM facility inverts, lengths and slopes between computations, profiles plans and details: Inverts do not match for 101 to 102 and inverts and lengths do not match 102 to 100 on storm comps vs profiles. Slope on profile for 110 to 111 does not match Pond Report Culvert/Orifice Structure information.
Old Comment #30.	Haymarket 58-506 (3)l.8. PWC Admin Man. 4.05.4(B42) Virginia Erosion & Sediment Control Handbook	On E& S Phase II, Inlet Protection can only be used for areas up to 1 Ac. Str 101 has larger than 1 Ac draining to it. For larger areas, different treatment methods must be used.
Old Comment #32.	Haymarket 58-506 (3)1.6. PWC Admin Man. 4.05.4(B43)	Show the buffers on the landscaping plan and move labels on landscaping plan so they are legible.
1.		On Title Sheet, change references to Prince William County/County to Town of Haymarket.
2.	Haymarket 58-506 (3)h, (3)n PWC Admin. Man. 4.05.4(B14)	 a. Provide on-site and off-site sight distance easements. b. Ideally, there should be an existing easement on the storm sewer from Washington Street to the outfall at EX1 since it is road drainage. If not, then provide a drainage easement. c. The proposed storm to the underground SWM/BMP does not require easements since it is on-site storm sewer. However, for access, the SWM easement needs to connect to the public R/W (or a drainage easement for the existing storm sewer).
3.	Haymarket 58-506 (3)j. PWC Admin Man. 4.05.4(B6)	Have the engineer seal sight distance sheets 10A, 10B and Storm Tech detail sheet 10C.
4.	Haymarket 58-506 (3)1.8. PWC Admin Man.	a. Verify areas shown in BMP map and computations. Since the parcels are being consolidated into one parcel, the existing church and surrounding area must be included. In addition, there is off-site water (0.23)

August 31, 2009 Page 4

4.05.4(B38) PWC DCSM	Ac) draining into the underground facility that must be included.
722.05	b. BMP Computations: Part 5, line D shows the uncontrolled area is 28.4%, which exceeds the 20% maximum. Therefore, site coverage requirements are
	not met. c. BMP Computations: Verify BMP Orifice computations. I calculate a larger head at the BMP storage elevation and a smaller diameter orifice
	required.

Please let me know if you have any questions regarding these comments. I can be reached at 703-633-1765.

64/1

Sincerely,

Hollý Montague Project Manager



TO: Town of Haymarket Planning Commission SUBJECT: Haymarket Baptist Church - Rezoning

DATE: 03/11/13

Recommendation.

ATTACHMENTS:

Haymarket Baptist Church Rezoning (PDF)



INTEROFFICE MEMORANDUM

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: MARCHANT SCHNEIDER, TOWN PLANNER

SUBJECT: APPLICATION TO AMEND THE ZONING MAP – TRUSTEES OF HAYMARKET BAPTIST

CHURCH (REZ#20121106), GPIN #7397-09-2472 OR 14820 WASHINGTON STREET

DATE: 03-11-13 **CC:** STAFF

The Planning Commission and Town Council held a joint public hearing regarding the above rezoning application on March 4, 2013. No members of the public spoke regarding the application. At the conclusion of the hearing, the Commission motioned to forward the application to its next scheduled meeting for review and recommendation. The Commission has 65 days from the first meeting after the item has been referred to forward the application to Council for action. The deadline for a recommendation by the Planning Commission is April 17, 2013. The Commission may recommend approval, denial, or further consideration.

BACKGROUND

Jessica Sacksteder, on behalf of the Trustees of Haymarket Baptist Church, has submitted an application to amend the Zoning Map associated with Chapter 58 of the Town's Codified Ordinance (Zoning Ordinance) in order to rezone 0.69 acres from the B-1 Zoning District to the R-1 Zoning District. The application is being co-processed with the Haymarket Baptist Church – Building Addition and Parking Expansion Final Site Plan. The church complex currently consists of three parcels, two of which are zoned R-1 and the third zoned B-1. Consolidation of the three parcels is proposed in conjunction with the approval of the final site plan. The resulting lot would be "split-zoned" and problematic to develop due to minimum buffer restrictions between R-1 and B-1 zoning districts (25 feet). The rezoning would unify the church complex under one zoning district designation and resolve the buffer requirement. A justification for the application is attached.

At its February 2013 meeting, the Town Council adopted a resolution of intent to amend the Town Zoning Map in consideration of the Church's request. Pursuant to Section 58-425 of the Zoning Ordinance, the Town Council forwarded the application to the Planning Commission for consideration. At its February 2013 meeting, the Planning Commission motioned to schedule a joint public hearing with the Town Council to solicit public comment on the above-mentioned rezoning application.

As noted in the Town Council resolution, the Planning Commission is to consider whether the amendments are in furtherance of the public necessity, convenience, general welfare, and good zoning practice; to consider whether these amendments are consistent with the Town's Comprehensive Plan; to consider the impact of these amendments on the services, character, and needs of the community; and to prepare draft amendments for consideration.

Section 58-429 further states the proposed amendments shall be considered with reasonable consideration of the following matters:

- (1) Existing use and character of the area;
- (2) Suitability of the property for various uses;

- (3) Trends of growth or change;
- (4) Current and future requirements of the town as to land for various purposes as determined by population and economic studies and other studies;
- (5) Transportation requirements of the community and the town's requirements for parks, playgrounds, recreation areas, other public services, or the conservation of natural resources and preservation of floodplains; and
- (6) Conservation of properties and their values and the encouragement of most appropriate use of land throughout the town.

The Ordinance also states that the above considerations shall include but are not limited to comprehensive plans or their parts, capital improvement programs, relation of development to roads and construction programs, and the proximity of the development to utilities and public facilities.

COMPREHENSIVE PLAN – TRANSITIONAL COMMERCIAL LAND USE

The subject property is designated by the Comprehensive Plan as Transitional Commercial. The Comprehensive Plan's guidance regarding the development of these planned areas is as follows (excerpt from Chapter 3.4, Land Use Plan):

"Continued scattered commercial development in the Town, with resultant problems such as parking, traffic congestion and noise, should be discouraged. To accommodate future commercial development the plan recommends that major commercial growth be limited to those areas designated as the Neighborhood/Town Center, Transitional Commercial and the Planned Interchange Park. These areas are located primarily along Washington Street which should be promoted as the Town's "main street". Consideration should be given to the addition of a restricted commercial district zone along Washington Street east of the Town Center to create a more cohesive mix of low intensity commercial uses either in existing historic structures or new structures consistent with styles that reflect a post-Civil War era.

Transitional Commercial — The Plan calls for low-intensity commercial uses to serve as a distinct transition between low and moderate density residential areas and high intensity commercial uses within the neighborhood/Town Center and Planned Interchange Park. Conversions of existing residential structures to commercial uses are encouraged and should continue the open, small town atmosphere and sense of place. New structures or additions to existing structures should be permitted under the guidance of the Architectural Review Board and should take into account the impact of parking, lighting, and screening requirements of commercial uses when adjacent to planned residential areas. A zoning ordinance amendment implementing this land use area is anticipated following the adoption of this plan."

R-1 ZONING DISTRICT – PURPOSE AND INTENT

Section 58-51 of the Zoning Ordinance states the intent of the R-1 zoning district as follows:

"The residential district R-1 is composed of certain quiet, low-density areas plus certain open areas where similar residential development appears likely to occur. The regulations for this district are designed to stabilize and protect the essential characteristics of the district, to promote and encourage a suitable environment for family life where there are children, and to prohibit all activities of a commercial nature. To these ends, development is limited basically to single-unit dwellings providing homes for the residents plus certain additional uses, such as schools, parks, churches and certain public facilities that serve the residents of the district."

PLANNING COMMISSION REVIEW AND RECOMMENDATION

It is anticipated that the Planning Commission will forward their recommendation regarding the rezoning and final site plan at their March meeting.

STAFF REVIEW AND RECOMMENDATION

It is recommended that the Planning Commission consider the above-mentioned matters for consideration, applicable land use policy, and R-1 Zoning District intent. Staff has concluded that the application is consistent with the Town's land use policies.

DRAFT MOTION(S)

1. I move that the Planning Commission forward REZ#20121106, Application to Amend the Zoning Map – Trustees of Haymarket Baptist Church, to a future meeting for further consideration.

Or,

2. I move that the Planning Commission forward REZ#20121106 to the Town Council with a recommendation of [approval] [denial] based on the following findings: ______.

Or,

3. I move an alternate motion



RECEIVED

NOV - 6 2012

TOWN OF HAYMARKE

Jessica L. Sacksteder Planner (703) 680-4664 Ext. 5119 jsacksteder@pw.thelandlawyers.com

WALSH COLUCCI LUBELEY EMRICH & WALSH PC

November 6, 2012

Via Courier

Jennifer Preli, Town Clerk 15000 Washington Street Suite 100 Haymarket, VA 20168

Re: Haymarket Baptist Church - Rezoning Application

Dear Ms. Preli:

On behalf of the Applicant, Trustees of Haymarket Baptist Church, enclosed please find the following items constituting a rezoning application from B-1, Town Center District, to R-1, Residential District, at 14820 Washington Street, which is north of the existing Haymarket Baptist Church building.

- 1. One (1) original and one(1) copy of the Amendment of Zoning Map Application Form, which has been signed by all five (5) trustees of the church;
- 2. A check in the amount of \$4,000.00 constituting the rezoning review fee;
- 3. Two (2) copies of the Justification for Rezoning dated August 9, 2012; and
- 4. Six (6) full sized copies and two (2) 8.5x11 copies of the plan entitled "Rezoning Plat The Property of Trustees of Haymarket Baptist Church," prepared by Ross, France & Ratliff, Ltd., dated August 23, 2012.

After you have had an opportunity to review the application together with the supporting documents, please contact Mike Coughlin or me if any additional information is required for acceptance. I appreciate your assistance in this regard.

Very truly yours,

WALSH, COLUCCI, LUBELEY, EMRICH & WALSH, P.C.

George L Sachsteder

Jessica L. Sacksteder, Planner

JLS

Enclosures

Otelia Frazier(w/encl) cc:

Mike Massey

Michael Coughlin, Esq.

P0302450.DOCX

JUSTIFICATION FOR REZONING HAYMARKET BAPTIST CHURCH

Record Owner: Trustees of Haymarket Baptist Church ("Applicant")
Prince William County GPIN 7397-09-2472 ("Property")
(Approximately 0.6998 acres)
August 9, 2012
Updated – January 23, 2013

The Property subject to this rezoning application consists of GPIN 7397-09-2472, having an area of approximately 0.6998 acres, as shown on the rezoning plat submitted with this application. The Property is located at 14820 Washington Street, to the north of the existing Haymarket Baptist Church building.

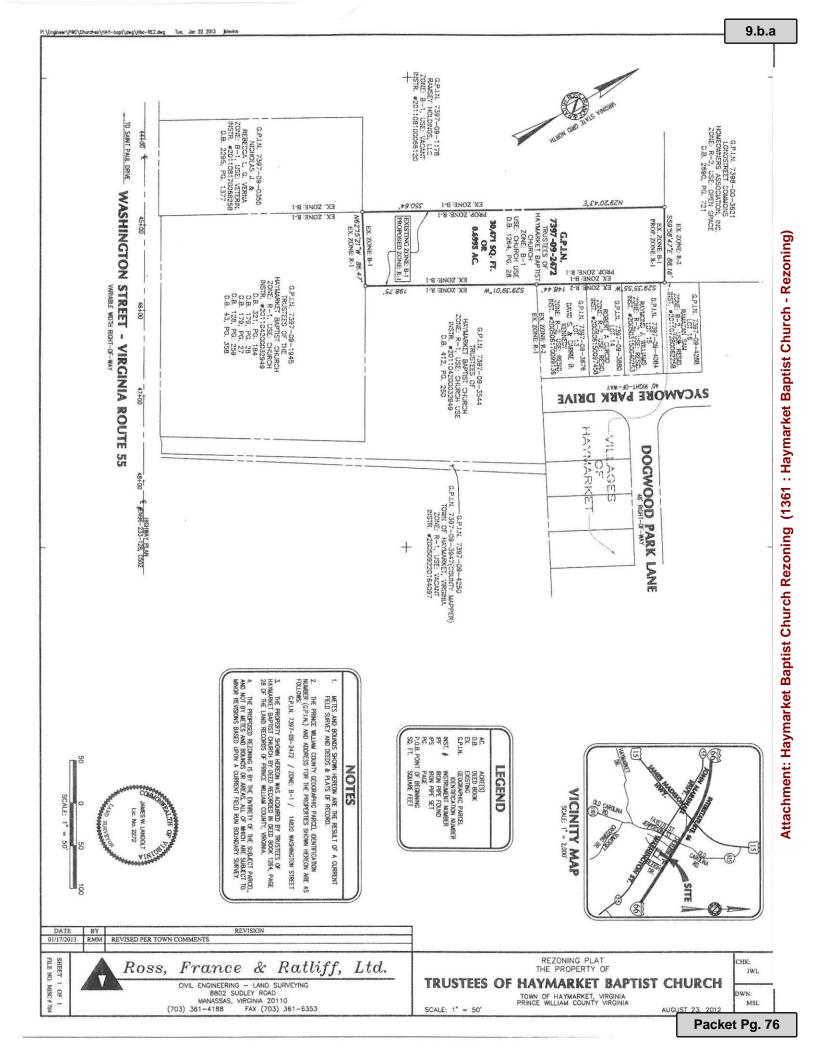
The Property is zoned B-1, Town Center District. The Applicant is requesting a rezoning to R-1, Residential District. A church with associated facilities is permitted in the R-1 district by-right. The other parcels associated with the church are all zoned R-1. As a part of the site plan process, the Church is consolidating all of its parcels, which includes the Property subject to this rezoning as well as GPINs 7397-09-1945 and 7397-09-3544.

The rezoning proposal is consistent with the Town's Comprehensive Plan, as follows.

- The church is part of a commercial/residential blend of uses east of the Town's Center.
- The existing church is listed on the Historic Building Inventory in the Comprehensive Plan. The existing church building will not change with this proposal and the rezoning will make the church's property more viable.
- The church provides parking for the Haymarket Day, which is consistent with the goal in the Comprehensive Plan that churches develop a program of shared parking.

A preliminary site plan was approved by the Town Council on February 19, 2008 for an addition to the sanctuary and related church facilities. Sec. 58-179 (b) of the Town Zoning Ordinance states that between commercial and residential properties "there shall be a landscaped buffer of not less than 25 feet at any property line adjoining residential uses." The Applicant is requesting this rezoning because a church is permitted by-right in R-1 and most of the church is also zoned R-1. With this rezoning, a 25 foot buffer between residential and commercial uses will not be required.

In summary, the Applicant is requesting this rezoning to consistently zone the church to R-1 and address the buffer.





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- Amendment to Zoning Map
 Zoning Text Amendment

Part	1 - tc	he i	completed	by	ALL	applicants	

Office Use Only	
Date Received:	1-6-2012 RE220121106
Fees Received:	4,000-

1-A	Identification of Property — For zoning text amendments, this is the property in which the applicant has an interest, which will be affected by the text change. For zoning map amendments, it is the land, which is covered by the application.
1) 2) 4)	Number and Street: 14820 Washington Street Present Zoning: B-1 3) Acres: approximately .6998 Legal Description of Property (Omit for zoning text amendment) — Attach if necessary. The property is located to the north (behind) the existing Haymarket Baptist Church Building.
1-B	Property – (Omit for zoning text amendments)
1)	The deed restrictions, covenants, trust indentures, etc. on said property are as follows (or copy attached); if NONE, so state: None that we are aware of.
2)	a) Has this property or any part thereof ever been considered for Variance, Special Use, Appeal of Administrative Decision or Amendment to the Zoning District Map before? □ YES ■ NO b) Date: c) Former Application No d) What was the disposition of the case?
	e) Former Applicant Name: Former Address: Former Phone:
1-C	Identification of Applicant — All applicants must have standing (an interest in property that will be directly affected by requested action)
l)	Applicant Information: Name: Trustee of Haymarket Baptist Church Address: P.O. Box 182, Haymarket, Virginia 20168 Phone Number:
2)	Agent Information (if any): Name: Michael Coughlin/Jessica Sacksteder (Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.) Address: 4310 Prince William Parkway, Suite 300, Prince William, Virginia 22192 Phone Number: (703)680-4664

3)	Owners of all property included in this application (omit for zoning text change): Name: Trustees of Haymarket Baptist Church					
	Address: See above. Phone Number:					
	Name:					
	Address: Phone Number:					
	The second secon					
	Name:					
	Address:					
*	Phone Number:					
	Name:					
	Address:					
41	Phone Number: If applicant is a Land Trust or Partnership or if the subject property is owned or controlled					
4)	by a Land Trust or Partnership, List name and interest of ALL Land Trust Beneficiaries or					
	Partners and attach evidence that the person submitting the application on behalf of the					
	Land Trust or Partnership is authorized to do so.					
	Trustee/Partner Name:					
	Address: Interest:					
	Phone Number: Interest:					
	Beneficiary/Partner Name:					
	Address: Interest:					
	Phone Number: Interest:					
	Beneficiary/Partner Name:					
	Address: Interest:					
	Phone Number: Interest:					
5)	Does the applicant have a proprietary interest in the land or land improvements? YES					
1072	NO (In the case of a zoning text amendment, this means at least one parcel of land is					
	subject to the text change)					
	If YES, state interest and attach documentation: Attached please find the deed					
	conveying the property to the Trustees of Haymarket Baptist Church.					
	If NO, state what interest otherwise qualifies the applicant to apply:					
6)	Names of the owners of improvement(s) on the property in this application if different					
	from above: (Omit for zoning text amendment)					
	Name:					
	Address:					
	Phone Number:					
	Name:					
	Address:					
	Phone Number:					
	Name:					
	Address:					
	Phone Number:					
	THOUSE TRAINING I					
7)	If the applicant is a corporation, attach the evidence that the person submitting the					

application on behalf of the corporation is authorized to do so.

Part 2 - Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

2-A	Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.
1)	a) Existing Zoning: B-1 b) Proposed Zoning: R-1 c) Existing Use: Church and related facilities
2)	d) Proposed Use: Church and related facilities a) The following are submitted with this application:
	□ Preliminary Site Plan □ Rendering or Perspective ■ Other b) Are there any land use intensity (LUI) requirements? □ YES ■ NO
,	c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)
2-B	Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.
1)	What section(s) of the Town Code is proposed to be amended?
2)	What is the nature of the proposed change?
3)	Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.
4)	Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.
Part	3 – To be completed by ALL applicants AFFIDAVIT – This part of the application must be notarized. Do not sign until in
	the presence of a Notary Public.
1)	To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:
	a) Signature of applicant: Trustee, Haymerket Beptist Church
	b) Signature of agent (if any):
	c) Date: Que t 22, 2012 Notary Seal
2)	a) Signed and sworn before me this: Wyurt 29, 2012
	Application for Zoning Map Amendment & Zoning Text Amendment Sworn to and subscribed before me this e day of August 1, 20 12 Witness my hand and official seal. Exp. October 31, 2013

Part 2 - Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

2-A	Rezoning – (Amendment to the zoning district map) – Applications for Amendments to the Zoning District Map are heard by the Planning Commission which makes a positive or negative recommendation to the Town Council. Only the Town Council has authority to grant or deny amendments to the Zoning District Map.					
1)	a) Existing Zoning: B-1 b) Proposed Zoning: R-1 c) Existing Use: Church and related facilities					
2)	d) Proposed Use: Church and related facilities a) The following are submitted with this application:					
-/	□ Preliminary Site Plan □ Rendering or Perspective ■ Other					
,	b) Are there any land use intensity (LUI) requirements? YES NO C) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)					
2-В	Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.					
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2)	What is the nature of the proposed change?					
3)	Attach the exact language suggested by the application to be added, deleted, or changed					
4)	in the Town Code. Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.					
Dovid	2					
Pari	3 – To be completed by ALL applicants					
	AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.					
1)	To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:					
	a) Signature of applicant: WE Swarf, Trustee Haynarket BASHEST Churc					
	b) Signature of agent (if any):					
	c) Date. August 22, 20,12 Notary Seal					
2)	a) Signed and sworn before me this: Suplanbu 18, 2012					
	b) Signature of Notary: Jalea and White					
	# 7303248 Commonweakhystern of Chy/County of Lieuce					
	Application for Zoning Map Amendment & Zoning Text Amendment					

Notary Pune 2013

Part 2 — Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

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1)	a) Existing Zoning: B-1 b) Proposed Zoning: R-1 c) Existing Use: Church and related facilities				
2)	d) Proposed Use: Church and related facilities a) The following are submitted with this application: □ Preliminary Site Plan □ Rendering or Perspective ■ Other b) Are there any land use intensity (LUI) requirements? □ YES ■ NO c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)				
2-B	Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.				
1)	What section(s) of the Town Code is proposed to be amended?				
2)	What is the nature of the proposed change?				
3)	Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.				
4)	Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.				
<u>Part</u>	3 - To be completed by ALL applicants				
	AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.				
1)	To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:				
A	a) Signature of applicant: Homo Jeww				
	b) Signature of agent (if any):				
	c) Date: 8 / 22 / 2012 Notary Seal				
2)	a) Signed and sworn before me this: 4 September 2012				
	b) Signature of Notary: Jalia Court Tollade Exp. Det 31, 2013 Application for Zoning Map Amendment & Zoning Text Amendment Page 3 of 7				
	# 730-32 · 6				

Part 2 — Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

9						
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	d) Proposed Use: Church and related facilities					
2)	a) The following are submitted with this application:					
	□ Preliminary Site Plan □ Rendering or Perspective ■ Other b) Are there any land use intensity (LUI) requirements? □ YES ■ NO c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)					
2-B	Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.					
1)	What section(s) of the Town Code is proposed to be amended?					
2)	What is the nature of the proposed change?					
3)	Attach the exact language suggested by the application to be added, deleted, or changed in the Town Code.					
4)	Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.					
Part	3 – To be completed by ALL applicants AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.					
1)	To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:					
	a) Signature of applicant: Jan Suklay					
	b) Signature of agent (if any):					
	c) Date: 8/22/2012 Notary Seal					
2)	a) Signed and sworn before me this: 4 Suplem by 2012					
	b) Signature of Notary: ## 730 3248 City/County of Cince Win Commonweelth State of Vin Application for Zohing Map Amendment & Zoning Text Amendment Page 3 of 7					

Part 2 - Complete ONLY portion(s) pertaining to your case. (as checked at top of Page 1)

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	d) Proposed Use: Church and related facilities					
2)	a) The following are submitted with this application:					
,	□ Preliminary Site Plan □ Rendering or Perspective ■ Other b) Are there any land use intensity (LUI) requirements? □ YES ■ NO c) Attach brief justifying this request. This brief should include an analysis of how the rezoning application is supportive or not supportive of relevant goals, objectives, policies or programs in the Comprehensive Plan. (Staff will assist.)					
2-В	Zoning Text Amendment – Applications for amendments to the zoning text are heard by the Planning Commission, which makes a recommendation to the Town Council. Only the Town Council has the authority to change the zoning text, which is done by passing an amendment to the Town Code.					
1)	What section(s) of the Town Code is proposed to be amended?					
2)	What is the nature of the proposed change?					
3)	Attach the exact language suggested by the application to be added, deleted, or changed					
1)	in the Town Code. Attach a written statement which justifies the proposed change. The statement should also identify potential positive and negative impacts (if any) of the proposed change to the applicant's property, nearby properties, and the entire community if the application is approved or if it is denied.					
Part	3 – To be completed by ALL applicants					
	AFFIDAVIT – This part of the application must be notarized. Do not sign until in the presence of a Notary Public.					
L)	To the best of my knowledge, I hereby affirm that all information in this application and any attached material and documents are true:					
	a) Signature of applicant: Jean Fauall, Smalle					
	b) Signature of agent (if any):					
	c) Date: 8/22/2013 Notary Seal					
2)	a) Signed and sworn before me this: Queus \$30, 2012					
	b) Signature of Notary: Julia au White					
	Exp. Octobu31, 2013 City/County of Prince W. Commonwegalth/State of U.					
	Application for Zoning Map Amendment & Zoning Text Amendment Page 3 of 7					



TO: Town of Haymarket Planning Commission

SUBJECT: CLG - Historic Overlay

DATE: 03/11/13

CLG/Old and Historic District Overlay - Draft Text Amendments



TO: Town of Haymarket Planning Commission

SUBJECT: Comp Plan/ZTA's

DATE: 03/11/13

The Town Planner will update on the Comp Plan and the ZTA's.



TO: Town of Haymarket Planning CommissionSUBJECT: 15161 Washington Street - Uhaul Business

DATE: 03/11/13

Tabled from previous months.

ATTACHMENTS:

• 15161 Washington Street - Uhaul Business (PDF)

ZONING PERMIT #: <u>ZP70121220</u>

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING PERMIT APPLICATION

Check all that apply) Wew Construction ☐ Alteration/Repair ☐ Addition ☐ Sign ☐ Change of Use ☐ Relocation						
NAME OF BUSINESS/APPLICANT: HAYMATKET MOTORS						
PROPOSED USE: UHAUL hental Size (Sq. Ft./Length) of Construction:						
SITE ADDRESS: 15161-D WASH ST						
Subdivision Name:	Lot Size:					
ZONING DISTRICT: \square R-1 \square R-2 \square B-1 \square B-2	☐ J-1 ☐ C-1 Site Plan Required: ☐ Yes ☐ No					
Special Use Permit Required: ☐ Yes ☐ No H	omeowners Association (HOA) Approval: 🗖 Yes 💆 No					
Off-street Parking: Spaces Required:	Spaces Provided:					
BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, type	pe and dimensions of signs, height/length of fencing, etc.)					
Additional USE o	OF Renting U-HAUL Vehicles					
FEE: □ \$25.00 Residential ↓\$50.00 Commercial ↓ 2016						
ADDITIONAL DESCRIPTION: (i.e. color, type of material,	font style, etc.)					
Supporting Documentation (attached): Specification Sheet Photograph(s)						
PERMIT HOLDER INFORMATION	PROPERTY OWNER INFORMATION					
Name	Name					
City State Zip	City State Zip					
Phone# Email	Phone# Email Packet Pg. 87					

APPLICANT / PROPERTY OWNER	SIGNATURE	***	**REQUIRED*****
foregoing application and that the ii and as shown on the attached plat,	nformation provided he plan and/or specification nd/or conditions presi	erein is correct. Con ons will comply wi cribed by the Ar aws.	certify that I have the authority to make the nstruction of improvements described hereing that the ordinances of the Town of Haymarke chitectural Review Board (ARB), Planning
A multi-sea A/Gi d		See e	
Applicant Signature		Property Owner	Signature
Date Filed: 12-20-12	***OFFICE Fee Amount: <u>56</u>	USE ONLY***	ZONING PERMIT #: 2PZO(21220) Date Paid: 12-20-(2)
DATE TO ARCHITECTURAL REVIEW	W BOARD (ARB):	41/	
□APPROVED □DISAPPROVED	TABLED UNTIL:	UA	DEFERRED UNTIL:
ARCHITECTURAL REVIEW BOARD CHA			
CONDITIONS:	SIGNATURE		PRINT
DATE TO PLANNING COMMISSION	v: 1-14-13		
□APPROVED □DISAPPROVED □	TABLED UNTIL:		DEFERRED UNTIL:
PLANNING COMMISSION (where requ	uired):		
CONDITIONS:	SIGNATURE		PRINT
DATE TO TOWN COUNCIL: 2-	4-13		
□APPROVED □DISAPPROVED □	TABLED UNTIL:		DEFERRED UNTIL:
TOWN COUNCIL (where required):			
CONDITIONS:	SIGNATURE		PRINT

Sherrie Wilson

From:

James Durham [pemco70@hotmail.com]

Sent:

Saturday, January 05, 2013 5:06 PM

To:

Sherrie Wilson

Subject:

RE: Haymarket motors

Importance:

High

i am aware of this an aprove jim d

Subject: Haymarket motors

Date: Fri, 4 Jan 2013 11:59:41 -0500 From: swilson@townofhaymarket.org

To: pemco70@hotmail.com

Mr. Durham

Can you sign the attached Zoning Permit Application for Haymarket Motors? This is for them to come into compliance with their U-Haul business at your property. Or an email back saying you are aware of this business on your property and approve?

Thank you.

From: Copier@townofhaymarket.org [mailto:Copier@townofhaymarket.org]

Sent: Thursday, January 03, 2013 9:43 PM

To: Sherrie Wilson

Subject: Message from KMBT_C452



TO: Town of Haymarket Planning Commission

SUBJECT: 1 Mile Development

DATE: 03/11/13

An update from the Town Planner on the Heathcote Development.