



ARCHITECTURAL REVIEW BOARD

REGULAR MEETING ~ AGENDA ~

Shelley M. Kozlowski, Clerk of Council
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Wednesday, January 17, 2018

7:00 PM

Council Chambers

I. Call to Order

II. Pledge of Allegiance

III. Citizens' Time

IV. Minutes Approval

1. Architectural Review Board - Regular Meeting - Nov 15, 2017 7:00 PM

V. Certificate of Appropriateness

1. ZP#2017-029: 6810 Jefferson Street, Demolition Application
2. ZP2018-001: Sign Application, 15100 Washington Street
3. ZP2018-002: Damaged Door Application, 15101 Washington Street

VI. Town Council Update

VII. Planning Commission Update

VIII. New Business

IX. Old Business

X. Adjournment



ARCHITECTURAL REVIEW BOARD

REGULAR MEETING ~ MINUTES ~

Shelley M. Kozlowski, Clerk of Council
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Wednesday, November 15, 2017

7:00 PM

Council Chambers

A Regular Meeting of the Architectural Review Board of the Town of Haymarket, VA, was held this evening in the Board Room, commencing at 7:00 PM.

Chair Kenneth Luersen called the meeting to order.

I. Call to Order

Prior to the Regular Meeting, the Architectural Review Board and members of the Town Staff had an informal work session to discuss Town gateway signs.

Chair Kenneth Luersen: Present, Councilwoman Susan Edwards: Present, Board Member Robert Day: Present, Board Member Bond Cavazos: Present.

II. Pledge of Allegiance

III. Citizens' Time

No Citizens' comments.

IV. Minutes Approval

- 1. Architectural Review Board - Regular Meeting - Oct 18, 2017 7:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Susan Edwards, Councilwoman
SECONDER:	Bond Cavazos, Board Member
AYES:	Kenneth Luersen, Susan Edwards, Robert Day, Bond Cavazos

V. Certificate of Appropriateness

- 1. ZP2017-026, Sign Application, 15100 Washington Street

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Susan Edwards, Councilwoman
SECONDER:	Robert Day, Board Member
AYES:	Kenneth Luersen, Susan Edwards, Robert Day, Bond Cavazos

- 2. ZP2017-027, Fence Application, 6748 Bleight Drive

Town Planner, Emily Lockhart, recommended landscaping along the fence line. A motion was made to approve ZP2017-027, Fence Application, with the condition that taller bushes be planted on the outside of the fence along Washington Street.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Bond Cavazos, Board Member
SECONDER:	Susan Edwards, Councilwoman
AYES:	Kenneth Luersen, Susan Edwards, Robert Day, Bond Cavazos

- 3. ZP2017-028, Deck Application, 6748 Bleight Drive

A motion was made to approve ZP2017-028, Deck Application, with a note that the applicants can choose either a white or grey wrap around the bottom of the deck.

Minutes Acceptance: Minutes of Nov 15, 2017 7:00 PM (Minutes Approval)

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Susan Edwards, Councilwoman
SECONDER:	Bond Cavazos, Board Member
AYES:	Kenneth Luersen, Susan Edwards, Robert Day, Bond Cavazos

VI. Town Council Update

Councilwoman Edwards reported that the Council will be conducting a work session to discuss finances for the Town Center project. She also reported that two restaurants are looking to come to the town. She stated that the markings left on the road from Haymarket Day will be power washed soon. She reminded the Board about the upcoming Christmas and Holiday Town Celebration on December 2nd and the Holiday party for Staff and Boards at her residence on December 15th from 6-9 PM. She concluded by stating that the Haymarket Ice Plex had their ribbon cutting and that Ash Salon will be having one soon.

VII. Planning Commission Update

Town Planner, Emily Lockhart, reported that they are working with A Dog's Day Out. She further reported that the Planning Commission's regular meeting was moved to December 18, 2017. Chairman Luersen asked about the homes on the corner of Saint Paul Street that are for sale. Ms. Lockhart stated that the homeowners are actively working with her. The Board shared concerns with the paint selection and brush/tree limbs in the back of the house that is on the corner of Washington Street and Saint Paul. Ms. Lockhart stated that she would reach out to the homeowner with the concerns. Ms. Lockhart further reported that she had been in contact with Reverend Rousseau and the new manager at the Carried to Full Term house and shared concerns with the Board in reference to the permeable sidewalk and shed in the back of the home. After further discussion, Ms. Lockhart concluded that she would reach out to them again concerning these issues.

VIII. New Business

Ms. Lockhart reported that Haymarket Baptist Church had contacted her concerning a fence along the side of the property. She stated that according to the fencing contractor, the one they were approved for is not doable. The Board concurred that they would need to come back for approval for another fence with options. Ms. Lockhart concluded that she is in the process of contacting the new Allstate office about their neon light.

IX. Old Business

Board member Cavazos asked about landscaping by the retaining wall in front of Chick-fil-A. Ms. Lockhart stated that the town would have to fund any landscaping. She further stated that she would check with the Town Treasurer about funding options. They also discussed possibly implementing a Town Community Service Project.

X. Adjournment

1. Motion to Adjourn

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Susan Edwards, Councilwoman
SECONDER:	Bond Cavazos, Board Member
AYES:	Kenneth Luersen, Susan Edwards, Robert Day, Bond Cavazos

Submitted:

Approved:

Minutes Acceptance: Minutes of Nov 15, 2017 7:00 PM (Minutes Approval)

Shelley M. Kozlowski, Clerk of the Council Kenneth Luersen, Chairman

Minutes Acceptance: Minutes of Nov 15, 2017 7:00 PM (Minutes Approval)



RE/MAX Gateway

November 29, 2017

Ms. Emily Lockhart, Town Planner
Town of Haymarket
15000 Washington St.
Haymarket, VA 20169

RE: 6810 Jefferson Street Update

Dear Ms Lockhart,

Upon your recommendation this letter is to confirm my conversation with you pertaining to the withdrawal of the purchase agreement by the prospective purchasers. They decided that the size of the lot was not going to work for the home and lifestyle they wanted to pursue. We have, therefore, put the lot back on the active market for sale and have already received a few inquiries. We are marketing it to clients who intend to build a home similar to house already existing on Jefferson St and Fayette St.

As soon as we have received an additional purchaser for the property, we will be sure to let you know immediately.

I would still welcome the opportunity to preview the property with you and members of the ARB to provide a first-hand review of the condition of the property.

Sincerely,

Danny L. Radtke, ABR, CRS, GRI, CDPE
Associate Broker



RE/MAX Gateway

November 9, 2017

Ms. Emily Lockhart, Town Planner
Town of Haymarket
15000 Washington St.
Haymarket, VA 20169

RE: 6810 Jefferson Street

Dear Ms Lockhart,

Upon your recommendation we have solicited the inspection of the property by a certified home inspector to determine the current condition of the property and the ability to restore the aged home. That report is included with this re-application for demolition approval including multiple pictures showing the status of the structure.

As to historical value of the property, research has only documented ownership of the property to approximately 1900 and since that time it has been owned as a personal residence. The family first acquired the property in 1953 and was then conveyed to relatives in 1982 who are the current owners. The building has not been lived in since that date and consequently has experienced deterioration. There is no ability or intention of the owners to expend any efforts or money to do any restoration of the building.

The family has now decided it is time to dispose of the property and in order to do so, are willing to sell the land with the idea that the existing building has no restorable potential and the value is only in the land value. A purchaser has been identified and a purchase agreement executed with the intent to build a new home on the property. The intent is to build a home of similar style, size and construction materials as those in the adjoining area. This agreement is contingent on getting confirmation from the Town of Haymarket that this would be permitted. Once this commitment is granted, the contract will be consummated and a demolition permit and construction permit will be submitted for the Town's approval.

I would welcome the opportunity to preview the property with you and members of the ARB to provide a first-hand review of the condition of the property.

Sincerely,

Danny L. Radtke, ABR, CRS, GRI, CDPE
Associate Broker

RE/MAX Gateway
Cell: 703-283-9540

7521 Virginia Oaks Drive
Tel: 571-261-3963

Gainesville, VA 20155
Fax: 703-483-3545

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



ZONING PERMIT APPLICATION

ZONING PERMIT #: ZP 2017-029

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING ACTIVITY: New Construction Alteration/Repair Addition Sign (See Spec sheet)
(Check all that apply) New Tenant/Use Change of Use Relocation

NAME OF BUSINESS/APPLICANT: _____

PROPOSED USE: Residential Size (Sq. Ft./Length) of Construction: _____

SITE ADDRESS: 6810 Jefferson St Parcel ID #: _____

Subdivision Name: None Lot Size: _____

ZONING DISTRICT: R-1 R-2 B-1 B-2 I-1 C-1 Site Plan Required: Yes No

Special Use Permit Required: Yes No Homeowners Association (HOA) Approval: Yes No

Off-street Parking: Spaces Required: _____ Spaces Provided: _____

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, height/length of fencing, deck specs, etc.)
Requesting approval to demolish and remove existing building on property

Supporting Documentation (attached): Narrative Plan/Plat Specification Sheet

FEE: \$25.00 Residential \$50.00 Commercial

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc. See Sign Spec Sheet for Signage detail)

Narrative to follow

Supporting Documentation (attached): Specification Sheet Photograph(s)

PERMIT HOLDER INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Danny Radtke</u>	Name: <u>Dollie Hankinson & J.R. Leonard</u>
Address: <u>2521 Virginia Oaks Dr</u>	Address: <u>8410 Danford Ct</u>
City: <u>Gainesville VA</u> State: <u>VA</u> Zip: <u>20155</u>	City: <u>Springfield VA</u> State: <u>VA</u> Zip: <u>22152</u>
Phone#: <u>703-283-9540</u> Email: <u>dadrattke66@gmail</u>	Phone#: <u>703-569-7824</u> Email: <u>dnghank2@verizon.net</u>

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

APPLICANT / PROPERTY OWNER SIGNATURE

*****REQUIRED*****

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

[Signature]
Applicant Signature

[Signature]
Property Owner Signature

*****OFFICE USE ONLY*****

Date Filed: 11/22/2017 Fee Amount: \$200.00 Date Paid: 11/22/2017

DATE TO ZONING ADMINISTRATOR: 11/22/2017

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

CONDITIONS: _____
SIGNATURE _____ PRINT _____

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

CONDITIONS: _____
SIGNATURE _____ PRINT _____

DATE TO TOWN COUNCIL (IF APPLICABLE): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

TOWN COUNCIL (where required): _____
SIGNATURE _____ PRINT _____

CONDITIONS: _____

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

0937457 COMMONWEALTH OF VIRGINIA

DEPARTMENT OF HEALTH SERVICES - CERTIFICATE OF DEATH

CERTIFICATE/LETTER OF QUALIFICATION
COMMONWEALTH OF VIRGINIA
VA. CODE §§ 6.2-893, 6.2-1171, 6.2-1563, 6.2-1367, 6.2-2811, 6.4-2-506, 6.4-2-607

Court File No. W-16143

Prince William County Circuit Court

I, the duly qualified deputy clerk of this Court, CERTIFY that on February 16, 2017
DATE

Scott H. Donovon Esq.
NAMES OF PERSONS QUALIFYING

duly qualified in this court, under applicable provisions of law, as Administrator, c.t.a of the estate of

Jean Rosamond Leonard
 DECEASED MARRIED INCAPACITATED

The powers of the fiduciary(ies) named above continue in full force and effect.

\$225,000.00 bond has been posted.

Given under my hand and the seal of this Court on

June 3, 2017
DATE

by Jacqueline C. Smith Esq. Clerk
Zille
WILLIAM COUNTY CIRCUIT COURT

Deputy Clerk

FORM CC-1025 MASTER 10/12

Form CC-1025 MASTER 10/12 containing a detailed death certificate for Jean Rosamond Leonard, including fields for name, date of birth, date of death, cause of death, and medical history.

OCT 3 2016

Tax ID: 44064
County: PRINCE WILLIAM

Metropolitan Regional Information Systems, Inc.
Full Tax Record

5.1.a
07-Sep-2017
4:09 pm

Property Address: 6810 JEFFERSON ST, HAYMARKET, VA 20169-

Legal Subdiv/Neighborhood: HAYMARKET TOWN PLAT
Incorporated City: HAYMARKET TOWN
Owner Name: DOLLIE HANKINSON
Addtnl: J R LEONARD T-C

Condo/Coop Project:
Phone #:
Company Owner:
Care of Name:

Absent Owner: Yes
Record
Synopsis
Lot-Land

MAILING ADDRESS: PO BOX 24, , VA 20156 0024

LEGAL DESCRIPTION: 1 L

Mag/Dist #: 13
Election District:
Section:
Map Suffix:
Historic ID:

Lot:
Legal Unit #:
Subdiv/Ph:
Suffix:
Agri Dist:

Block/Square:
Grid:
Addl Parcel Flag/#:
Parcel:
Plat Folio:

Tax Map:
Map: 7297-88-5078
Sub-Parcel:
Plat Liber:

Tax Year 2016

Total Tax Bill: 1,312.76
State/County Tax: 1,130.98
Spec Tax Assmt: 73.58
Front Foot Fee:

Exempt Class:
Tax Class:

City Tax:
Refuse: 70.00
Homestd/Exempt Status:
Mult. Class:

Tax Levy Year: 2,016
Tax Rate: 1.12

Year Assessed	Total Tax Value	Land	Improvement	Land Use
2017	\$101,400	\$78,300	\$23,100	\$0
2016	\$100,800	\$78,300	\$22,500	\$0
2015	\$100,800	\$78,300	\$22,500	\$0

DEED Deed Liber: 1,180 Deed Folio: 1,433

Transfer Date	Price	Grantor	Grantee
01-Jun-1982	\$15,000		DOLLIE HANKINSON , J R LEONAR

PROPERTY DESCRIPTION

Year Built: 1,901 Zoning Code: R4 Census Trct/Blck: /
 Irregular Lot: Square Feet: 26,062.00 Acreage: 0.60
 Land Use Code: Residential Plat Liber/Folio: / Property Card: 1.00
 Property Class: 11 Quality Grade: LOW Road Description:
 Zoning Desc: SUBURBAN RESIDENTIAL (4/A Xfer Devel.Right: Road Frontage:
 Prop Use: SFD DETACHED Site Influence: Topography:
 Building Use: Sidewalk:
 Lot Description: Pavement:

	Section 1	Section 2	Section 3	Section 4	Section 5
Construction:					
Story Type:					
Description:					
Dimensions:					
Area:					
Foundation:					
Ext Wall:					
Stories: 1					
Total Building Area:					
Patio/Deck Type:	Sq Ft:		Living Area:1,240	Base Sq Ft: 1,240	
Balcony Type:	Sq Ft:		Porch Type: Screened/Enclose	Sq Ft: 96	
Attic Type:	Sq Ft:		Pool Type:	Sq Ft:	
Roofs: 5			Roof Type:		
Bedrooms: 2		Fireplace Type:		Fireplaces:	
Full Baths: 1		Bsmt Type:		Garage Type:	
Half Baths:		Bsmt Tot Sq Ft:		Garage Const.:	
Baths:		Bsmt Fin Sq Ft:		Garage Sq Ft:	
Other Rooms:		Bsmt Unfin Sq Ft:		Garage Spaces:	
Other Amenities:			Air Conditioning:		
Appliances:			Interior Floor:		
Gas:	Heat: Other		Outbuildings:		
Electric:	Water:		Sewer:		Fuel:
			Underground:		Walls:

Tax Record Updated: 8/23/2017 10:54:18PM

Courtesy of: Dan Radtke
Home: (703) 283-9540 Office: (571) 261-3959
Cell: (703) 283-9540 Email: dan@vafreedomteam.com
Company: RE/MAX Gateway
Office: (703) 754-1770 Fax: (703) 753-1786

Copyright (c) 2017 Metropolitan Regional Information Systems, Inc.
Information is believed to be accurate, but should not be relied upon without verification.
Accuracy of square footage, lot size and other information is not guaranteed.



Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

Lot & Land Synopsis - Agent



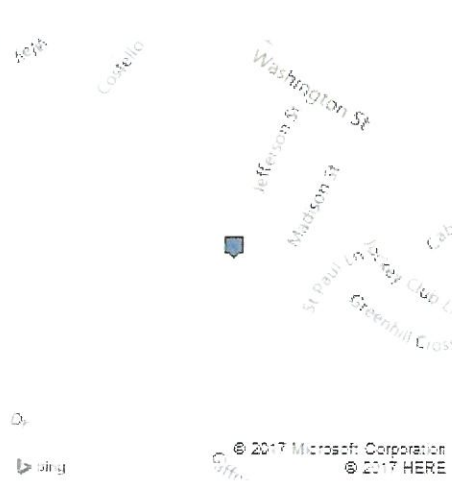
[Tax Record](#) [Neighbor Photos](#)

Metropolitan Regional Information Systems, Inc.

PW10018585 - PRINCE WILLIAM
6810 JEFFERSON ST HAYMARKET VA, 20169

[Synopsis](#)
Lot-Land

[Agent Synopsis](#)
Lot-Land



Ownership: Fee Simple, Sale

Status: ACTIVE
Auction: No

List Price: \$214,997
Transaction Type: Standard
ADC Map Coord: GPS
Area:
HOA Fee:
Tax Year: 2015
Folio:
High School: BATTLEFIELD

Leg Subdivision: HAYMARKET TOWN PLAT
Adv Subdivision: None
Project Name:
Tax ID: [44064](#)
Lot/BlockOr Square: /
Elementary School: HAYMARKET

Total Taxes: \$1,370
Liber:
Middle School: RONALD WILSON

PROPERTY INFORMATION:

Lot AC/SF: .598 / 26062

Road Frontage: 75

Building Sites:

View/Exp:

Soil:

Exterior Features:

Lot Description: Partly Wooded

Topography: Sloped

Present Use: Residential

Special Permits:

Building Permits: No Building Permits

Development Status: Utilities at Site

Disclosures: Exempt - Disclosure/Disclaimer

HOA Fee Includes:

UTILITIES:

Heat Fuel: None

Cool Fuel: None

Water: Public

Sewer/Septic: Public Sewer

Remarks: This Original 26000 Sf Lot Has Been Officially Subdivided And Recorded Into Two Building Lots On The Corner Of Fayette And Jefferson Streets. Gental Slope Toward Jefferson St. Town Planner Indicates Building Not Of Historical Value. One Sewer Tap Has Been Paid. Second Sewer Tap Fee Is \$10,800. Each Water Tap Is \$5,010. Both Lots Must Be Purchased At The Same Time.

Show Instructions: Show Anytime, Sign on Property, Vacant

Directions: I66 West, Rt 15 South, Rt55 East To A Right On Jefferson St. Property On Right Just Before Railroad Tracks. Look For Sign On The Right

Orig List Price: \$214,997
DOM-MLS: 40

Update Date: 29-Jul-2017
DOM-Prop: 40

List Date: 29-Jul-2017
Update Type: MEDIA

BROKER CONTACT:

Listing Company: RE/MAX Gateway
Listing Agent: Dan Radtke
Agt Office: (571) 261-3959
Owners: Hankinson
Showing Contact:
Dual Agency: Yes
Var Comm: No

Home: (703) 283-9540
Pager: (703) 283-9540
Home:
Des Rep: Yes
Add'l:

Broker Code: RMAX151
Brkr Office: (703) 754-1770
Cell: (703) 283-9540
On-Site:
Buy Comp: 3%
SubComp: 0

met: (703)
ger: (703)

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

1954

7/54



Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

Prepared for Exclusive Use by:

Ms. Dollie Hankinson

Address of Property:

6810 Jefferson St
Haymarket VA 20169

Date of Service:

10/11/2017



Company Providing Service:

John Murray
3380000859

Rayner Lea, LLC dba HouseMaster of Bull Run
11106 Bristow Road
Bristow, Virginia 20136
571.393.3311

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

SUMMARY OF INSPECTOR COMMENTS

This Summary of Inspector Comments is only one section of the Inspection Report and is provided for guidance purposes only. This Summary is **NOT A HOME INSPECTION REPORT** and does not include information on all conditions or concerns associated with this home or property. **The Inspection Report** includes more detailed information on element ratings/conditions and associated information and **must be read and considered in its entirety prior to making any conclusive purchase decisions or taking any other action**. Any questionable issues should be discussed with the Inspector and/or Inspection Company.

Note: While listings in this Summary of Inspector Comments may serve as a guide to help prioritize remedial needs, the final decision regarding any action to be taken must be made by the client following consultation with the appropriate specialists or contractors. Cost figures provided in this summary are to help prioritize the findings. Any cost provided is an approximate range and should not be considered an accurate estimate. Cost among qualified contractors can vary greatly. Any item with a significant cost figure provided should be evaluated by licensed, qualified contractor or specialist, and repaired accordingly.

1. ROOFING

1.0 ROOFING

Poor/Defective

Built-Up roofs by their design do not allow for visual evaluation of the water tight membrane. These roofs require special maintenance in order to remain leak free and the life expectancy varies with the quality of materials used. Therefore, no rating can be given to the roof and no evaluation was performed. Have further evaluated as desired.

1.1 ROOFING #2

Poor/Defective

Aging metal roofing noted. This material can have a lengthy service life, but requires periodic re-coating and maintenance. Have evaluated and serviced every 3-5 years by a qualified metal roofer.

1.2 ROOFING #3

Poor/Defective

Aging tin roofing noted. Tin can have a lengthy service life, but requires periodic re-coating and maintenance. Have evaluated and serviced every 3-5 years by a qualified metal roofer.

1.3 CHIMNEY / VENT(s)

Poor/Defective

Cracks in crown (mortar cap) noted, seal and maintain or replace as required. (Crowns typically require replacement every 10-15 yrs.)

The crown (mortar cap) of the chimney is worn. Monitor and anticipate replacement needs. (Crowns typically require replacement every 10-15 yrs.)

Mortar deterioration noted. Monitor or correct as desired.

Defective (improperly installed) flashing noted at the chimney; reseal and maintain or replace as required. Initial roof leaks and/or recurring roof leakage problems are often due to inadequate or damaged flashing. All flashings should be checked periodically or if leakage occurs. Repair or seal as needed.

1.6 FASCIA / SOFFITS

Poor/Defective

Decay and presence of Wood Destroying Insects noted to fascias at front, rear and sides of house, correct as required.

Deteriorated paint noted, maintenance required.

2. EXTERIOR ELEMENTS

2.0 SIDING / WALL CLADDING

Poor/Defective

Surfaces on older homes may have layers of lead-based paint, particularly pre-1978 paint applications. The likelihood of exposure to lead hazards is minimal if the paint is intact or covered with another product. Neither testing nor assessment is part of a standard home inspection. Testing by a qualified specialist should be arranged if paint damage or other potential hazards exist or to address individual concerns. Paint is deteriorated; maintain as required.

Siding has several holes from damage and prior renovations.

2.1 WINDOWS

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

Poor/Defective

All windows are boarded up and rotting around the sills.

2.2 ENTRY DOORS**Poor/Defective**

Moisture damage noted to jamb/frame at Front Entry, correct as required. Any damage should be corrected/addressed properly to minimize consequential damage or further infestation.

2.3 STAIRS / STOOPS**Poor/Defective**

Deteriorated stoop noted at Front Entry; repair/replace as required.

No handrail at the stoop at the Front Entry; recommend adding for safety.

2.5 FOUNDATION SURFACE**Poor/Defective**

Deteriorated bricks and mortar noted in curtain/veneer wall at front, rear and sides of house, have area re-pointed by a qualified brick mason.

2.6 ELECTRICAL / GFCI**Poor/Defective**

Power was not available to the house; romex wiring is aged, no outside Outlets installed, lighting wires/bulbs are bare. Replace wiring and install Fixtures.

3. SITE ELEMENTS**3.3 GROUND SLOPE AT FOUNDATION****Poor/Defective**

Negative grade noted at front, rear and sides of house; correct as required to help reduce water penetration and potential settlement concerns.

3.4 SITE GRADING**Poor/Defective**

Grading slopes towards the house at front, rear and sides of house; monitor runoff and correct as needed.

4. INTERIOR ELEMENTS**4.0 CEILINGS / STRUCTURE****Poor/Defective**

Water damage noted at Upstairs Bedroom; repair as required.

Hole in ceiling noted at Upstairs Bedroom, repair as required.

There is a potential that exterior and/or interior surfaces are covered with a lead-based paint, particularly in pre-1978 homes. If paint is intact or covered with another product the likelihood of the release of any significant lead is minimized. No lead-based paint assessment is made as part of a standard home inspection. Individual concerns should be considered and testing by a qualified specialist can be arranged if needed.

4.1 WALLS / STRUCTURE**Poor/Defective**

Evidence of many prior repairs noted. There is a potential that exterior and/or interior surfaces are covered with a lead-based paint, particularly in pre-1978 homes. If paint is intact or covered with another product the likelihood of the release of any significant lead is minimized. No lead-based paint assessment is made as part of a standard home inspection. Individual concerns should be considered and testing by a qualified specialist can be arranged if needed.

See Ceilings note above.

4.2 FLOORS (FRAMED)**Poor/Defective**

Damaged flooring; repair as required.

4.3 STAIRS/STEPS

Fair

No handrail noted; add for safety.

Low headroom noted at stairway entry. Exercise caution.

4.4 RAILINGS

Poor/Defective

No handrail noted at second story stairs; add for safety.

4.5 WINDOWS

Poor/Defective

Defective retention springs/ballast weights noted at , Kitchen Living Room Guest Bed Room Small Bed Room. Correct as required.

Cracked panes noted at Kitchen Living Room Guest Bed Room Small Bed Room; replace as required.

General maintenance needed.

Older single glaze windows noted. Glazing and other maintenance required.

4.6 ROOM DOORS

Poor/Defective

Older and missing doors, anticipate maintenance and adjustment needs.

5. FOUNDATION / SUBSTRUCTURE

5.0 FOUNDATION / SUBSTRUCTURE

Poor/Defective

A condition known as spalling was noted in the bricks of the foundation walls. Spalling is the slow deterioration of brick, reducing them to a sandy powder, as the effects of time, moisture, and other factors take their toll. This deterioration can be slowed, and effected walls stabilized by applying a surface "parge" coat of concrete to the walls. Recommend coating walls to control spalling and maintain structural integrity of foundation.

The potential for general or localized deterioration is a concern with very old foundations of this type construction or those built without consideration for the fundamentals of foundation design and waterproofing. Ideally, any repairs required should be performed in a manner consistent with existing materials.

5.1 PIERS / COLUMNS

Poor/Defective

Concrete block piers with bricks on top present.

5.2 FLOOR FRAMING

Poor/Defective

Floor joists are notched and hung on a 1 inch ledger and nailed to the rim joist along the front and back of the home. There is no sill plate Upstairs Bedroom installed atop of the brick foundation and the rim joists set directly on top of the foundation.

5.3 BEAM(S)

Poor/Defective

Inadequate support noted for main beam; add proper support.

5.4 CRAWL SPACE VENTILATION

Poor/Defective

No/inadequate ventilation noted for the crawl space; recommend adding cross ventilation as required.

5.5 INSULATION

Poor/Defective

None present, recommend adding for improved comfort and efficiency.

5.6 VAPOR BARRIER

Poor/Defective

No vapor barrier observed in crawlspace, recommend adding to help reduce moisture and mold infiltration concerns.

5.7 WATER PENETRATION / MOISTURE

Poor/Defective

Signs of active water penetration noted around perimeter of Crawl Space. Improve exterior grading/ground slope and drainage as

required to eliminate water penetration concern. Adding gutters or roof drains that divert water away from the structure would be advisable.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To John Murray

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

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INSPECTION INFORMATION

CLIENT:

Ms. Dollie Hankinson

PROPERTY ADDRESS:

*6810 Jefferson St
Haymarket VA 20169*

INSPECTION DATE/TIME:

10/11/2017 - 3:00 pm-04:00 PM

INSPECTOR:

John Murray

INSPECTION COMPANY:

*Rayner Lea, LLC dba HouseMaster of Bull Run
11106 Bristow Road
Bristow, Virginia 20136
571.393.3311*

INSPECTION DETAILS

DESCRIPTION:

Single Family

AGE OF HOME:

100+ years

ORIENTATION:

Facing Southeast

TYPE OF INSPECTION:

Structural Element

STATUS OF HOME:

Recently Vacated

WEATHER:

Cloudy

TEMPERATURE:

75 degrees (F)

PEOPLE PRESENT:

Client's Agent

INTRODUCTION

The purpose of this report is to render the inspector's professional opinion of the condition of the inspected elements of the referenced property (commercial building and/or multiple dwelling) on the date of inspection. Such opinions are rendered based on the findings of a standard limited time/scope building inspection performed according to the Terms and Conditions of the Inspection Order Agreement and in a manner consistent with applicable inspection standards and customary practice.

The inspection was limited to the specified, readily visible and accessible installed major structural, mechanical and electrical elements (systems and components) of the building. The inspection does not represent a technically exhaustive evaluation and does not include any engineering, geological, design, environmental, biological, health-related or code compliance evaluations of the building or property. Furthermore, no representations are made with respect to any concealed, latent or future conditions.

The GENERAL INSPECTION LIMITATIONS on the following page provides information regarding limited time/scope building inspections, including various limitations and exclusions, as well as some specific information related to this property.

The information contained in this report was prepared exclusively for the named Clients and is not transferable without the expressed consent of the Company. The report, including all Addenda, should be reviewed in its entirety.

REPORT TERMINOLOGY

The following terminology may be used to report conditions observed during the inspection. Additional terms may also be used in the report:

SATISFACTORY - Element was functional at the time of inspection. Element was in working or operating order and its condition was at least sufficient for its minimum required function, although routine maintenance may be needed.

FAIR - Element was functional at time of inspection but has a probability of requiring repair, replacement or other remedial work at any time due to its age, condition, lack of maintenance or other factors. Have element regularly evaluated and anticipate the need to take action.

POOR - Element requires immediate repair, replacement, or other remedial work, or requires evaluation and/or servicing by a qualified specialist.

NOT APPLICABLE - All or individual listed elements were not present, were not observed, were outside the scope of the inspection, and/or were not inspected due to other factors, stated or otherwise.

NOT INSPECTED (NOT RATED) - Element was disconnected or de-energized, was not readily visible or accessible, presented unusual or unsafe conditions for inspection, was outside scope of the inspection, and/or was not inspected due to other factors, stated or otherwise.

Independent inspection(s) may be required to evaluate element conditions. If any condition limited accessibility or otherwise impeded completion of aspects of the inspection, including those listed under LIMITATIONS, it is recommended that limiting factors be removed or eliminated and that an inspection of these elements be arranged and completed prior to closing.

IMPORTANT NOTE: All repair needs or recommendations for further evaluation should be addressed prior to closing. It is the client's responsibility to perform a final inspection to determine the conditions of the dwelling and property at the time of closing. If any decision about the property or its purchase would be affected by any condition or the cost of any required or discretionary remedial work, further evaluation and/or contractor cost quotes should be obtained prior to making any such decisions.

NATURE OF THE FRANCHISE RELATIONSHIP

The Inspection Company ("Company") providing this inspection report is a franchisee of HouseMaster LLC ("Franchisor"). As a franchisee, the Company is an independently owned and operated business that has a license to use the HouseMaster names, marks, and certain methods. In retaining the Company to perform inspection services, the Client acknowledges that Franchisor does not control this Company's

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day-to-day activities, is not involved in performing inspections or other services provided by the Company, and is in no way responsible for the Company's actions. Questions on any issues or concerns should be directed to the listed Company.

GENERAL INSPECTION LIMITATIONS

CONSTRUCTION REGULATIONS - Building codes and construction standards vary regionally. A standard building inspection **does not include** evaluation of a property for compliance with building or health codes, zoning regulations or other local codes or ordinances. No assessments are made regarding acceptability or approval of any element or component by any agency, or compliance with any specific code or standard. Codes are revised on a periodic basis; consequently, existing structures generally do not meet current code standards, nor is such compliance usually required. Any questions regarding code compliance should be addressed to the appropriate local officials.

SCOPE OF INSPECTION - The scope of this standard building inspection is limited to a visual inspection and report on the physical condition of visible and readily accessible major elements of the building. The inspection was performed according to custom and practice for a limited-time scope inspection of a commercial property. Neither the inspection nor report represents an engineering evaluation or Property Condition Assessment (PCA) as defined by the American Society for Testing Materials' (ASTM) Standard Guide for Property Condition Assessments or a Phase I Environmental Assessment. These type inspections are more encompassing and technically detailed and generally also include document review, research, interviews and others actions to augment the physical inspection; and consequently would require additional time and costs to complete. Contact a Company providing these services, or any other desired inspection services, if obtaining additional information about the building's conditions is desired or has been recommended.

ENVIRONMENTAL AND MOLD ISSUES (AND EXCLUSIONS) - The potential health effects from exposure to many elements found in building materials or in the air, soil, water in and/or around any building are varied. A standard building inspection **does not include** the detection, identification or analysis of any such element or related concerns such as, but not limited to, mold, allergens, radon, formaldehyde, asbestos, lead, electromagnetic fields, carbon monoxide, insecticides, refrigerants, and fuel oils. Furthermore, no evaluations are performed to determine the effectiveness of any system designed to prevent or remove any elements (e.g., water filters or radon mitigation). An environmental health specialist should be contacted for evaluation of any potential health or environmental concerns. Review additional information on MOLD/MICROBIAL ELEMENTS below.

AESTHETIC CONSIDERATIONS - A standard building inspection does not include a determination of all potential concerns or conditions that may be present or occur in the future **including** aesthetic/cosmetic considerations or issues (appearances, surface flaws, finishes, furnishings, odors, etc.).

DESIGN AND ADEQUACY ISSUES - A standard building inspection **does not include** any element design or adequacy evaluations including seismic or high-wind concerns, soil bearing, energy efficiencies, or energy conservation measures. It also does not address in any way the function or suitability of floor plans or other design features. Furthermore, no determinations are made regarding product defects notices, safety recalls, or other similar manufacturer or public/private agency warnings related to any material or element that may be present in any building or on any property.

ESTIMATED AGES - Any age estimations represent the inspector's opinion as to the approximate age, and **are provided for general guidance purposes only**. Estimations may be based on numerous factors including, but not limited to, appearance and owner comment. Obtain independent verification if knowledge of the specific age of any element is desired or required. Age estimates are given in "years" unless noted.

DESIGN LIFE RANGE - These figures represent the typical economic service life range (in years) for elements of similar design, quality and type, as measured from the time of original construction or installation. Any stated **design life is presented solely as a guide**. It does not take into consideration abnormal, unknown, or discretionary factors, and is not a prediction of future service life.

ELEMENT DESCRIPTIONS - Any descriptions or representations of element material, type, design, size, dimensions, etc., are based primarily on visual observation of inspected or representative components. Owner comment, element labeling, listing data, and rudimentary measurements may also be considered in an effort to describe an element. However, there is no guarantee of the accuracy of any material or product descriptions listed in this report; other or additional materials may be present. Independent evaluations and/or testing should be arranged if verification of any element's makeup, design, or dimension is needed. Any questions arising from the use of any particular terminology or nomenclature in this report **should be addressed prior to closing**.

REMEDIAL WORK - Quotes should be obtained prior to closing from qualified (knowledgeable and licensed as required) specialists/contractors to determine actual repair/replacement costs for any element or condition requiring attention. Any cost estimates provided with a standard building inspection, whether oral or written, only represent an approximation of possible costs. Cost estimates do not reflect all possible remedial needs or costs for the property; latent concerns or consequential damage may exist. **If the need for remedial work develops or is uncovered after the inspection, prior to performing any repairs contact the Inspection Company** to arrange a re-inspection to assess conditions. Aside from basic maintenance suitable for the average building owner, all repairs or other remedial work should be performed by a specialist in the appropriate field following local requirements and best practices.

SELLER DISCLOSURE - This report is **not a substitute for Seller Disclosure**. The buyer should review Seller Disclosure information with the owner prior to closing for clarification or resolution of any questionable items. A final inspection of the building by the buyer and/or qualified representatives (prior to or at the time of closing) is also recommended.

WOOD-DESTROYING INSECTS/ORGANISMS - In areas subject to wood-destroying insect activity, it is advisable to obtain a current wood-destroying insect and organism report on the property from a qualified specialist, whether or not it is required by a lender. A standard building inspection **does not include** evaluation of the nature or status of any insect infestation, treatment, or hidden damage, nor does it cover issues related to other pests or nuisances or consequential damage.

ELEMENTS NOT INSPECTED - Any element or component not evaluated as part of this standard building inspection should be inspected prior to closing. Either make arrangements with the appropriate tradesman or contact the Inspection Company to arrange an inspection when all elements are ready for inspection.

BUILDING ORIENTATION - Location descriptions/references are provided for general guidance only and represent orientations based on a

view facing the front (street address) of the building from the outside. Any references using compass bearings are only approximate. If there are any questions, obtain clarification prior to closing.

BUILDING MAINTENANCE - All buildings require regular and preventive maintenance to maximize the economic life spans of elements and to minimize unanticipated repair or replacement needs. Annual maintenance costs may run 1 to 3% (or more) of the value of a building depending on age, design, and/or the degree of prior maintenance. Every building owner and maintenance personnel should develop a preventive maintenance program and budget for normal maintenance and unexpected repair expenses. Remedial work should be performed by a specialist in the appropriate field following local requirements and best practices.

MOLD AND MICROBIAL ELEMENTS / EXCLUSIONS

The purpose and scope of a standard home inspection **does not include** the detection, identification or assessment of fungi and other biological contaminants, such as molds, mildew, wood-destroying fungi (decay), bacteria, viruses, pollens, animal dander, pet or vermin excretions, dust mites and other insects. These elements contain/carry microbial particles that can be allergenic, infectious or toxic to humans, especially individuals with asthma and other respiratory conditions or sensitivity to chemical or biological contaminants. Wood-destroying fungi, some molds, and other contaminants can also cause property damage. One particular biological contamination concern is mold. Molds are present everywhere. Any type of water leakage, moisture condition or moisture-related damage that exists over a period of time can lead to the growth of potentially harmful mold(s). The longer the condition(s) exists, the greater the probability of mold growth. There are many different types of molds; most molds do not create a health hazard, but others are toxic.

Indoor mold represents the greatest concern as it can affect air quality and the health of individuals exposed to it. Mold can be found in almost all homes. Factors such as the type of construction materials and methods, occupant lifestyles, and the amount of attention given to house maintenance also contribute to the potential for molds. Indoor mold contamination begins when spores produced by mold spread by air movement or other means to an area conducive to mold growth. Mold spores can be found in the air, carpeting, insulation, walls and ceilings of all buildings. But mold spores only develop into an active mold growth when exposed to moisture. The sources of moisture in a house are numerous and include water leakage or seepage from plumbing fixtures, appliances, roof openings, construction defects (e.g., EIFS wall coverings or missing flashing) and natural catastrophes like floods or hurricanes. Excessive humidity or condensation caused by faulty fuel-burning equipment, improper venting systems, and/or inadequate ventilation provisions are other sources of indoor moisture. By controlling leakage, humidity and indoor air quality, the potential for mold contamination can be reduced. To prevent the spread of mold, immediate remediation of any water leakage or moisture problems is critical. For information on mold testing or assessments, contact a qualified mold specialist.

Neither the evaluation of the presence or potential for mold growth, nor the identification of specific molds and their effects, fall within the scope of a standard home inspection. Accordingly, the Inspection Company assumes no responsibility or liability related to the discovery or presence of any molds, their removal, or the consequences whether property or health-related.

ADDITIONAL COMMENTS

Mechanical System Upgrade Needs - No evaluations are made as part of a standard home inspection regarding heating, ventilation, or air conditioning (HVAC) system design, system efficiency, adequacy, compliance with current energy standards or costs, and other factors that may be associated with the need to or desire to repair, replace, or upgrade any equipment. If new HVAC equipment is required or desired, now or in the future, in addition to costs associated with the purchase and installation of the equipment itself, there may be additional expenses related to structural alteration or air handler and distribution system replacement or alterations. For additional information on energy efficiency requirements contact (www.doe.gov).

Pictures in Report - Any pictures (photographs, graphics, or images) included in or provided in conjunction with this Inspection Report generally portray overviews of certain elements, depict specific conditions or defects described in report comments, or are used for orientation purposes. Pictures provided do not necessarily reflect all conditions or issues that need attention or may otherwise be a concern. The inclusion of any picture is not in anyway designed to highlight or diminish the significance or severity of any defect or condition, except as may be described in the Inspection Report. The report must be read in its entirety for pertinent information.

1. ROOFING

The inspection of roofs and rooftop elements is limited to readily visible and accessible elements as listed herein; elements and areas concealed from view for any reason cannot be inspected. This inspection does not include chimney flues and flue liners, or ancillary components or systems such as lightning protection, solar panels, and similar elements, unless specifically stated. **Element descriptions are provided for general information purposes only; the verification of roofing materials, roof age, and/or compliance with manufacturer installation requirements is not within the scope of a standard home inspection.** Issues related to roof or roofing conditions may also be covered under other headings in this report, including the ATTIC section.

ROOF STYLE:

Moderate Slope

ROOFING MATERIAL:

Sheet/Rolled Asphalt
Standing Seam Metal
Metal

ESTIMATED AGE:

Over 50 years

DESIGN LIFE:

Not Determined

INSPECTION METHOD:

From Ground w/Binoculars

ROOF COVERING #1:

Type: Moderate Slope
Material: Built-up/Aggregate
Location: Front
Est. Age: 40 - 50 Years
Design Life: 20 - 30 Years
Insp. Method: From Ground

ROOF COVERING #2:

Type: Moderate Slope
Material: Metal
Location: Rear
Est. Age: 50+ Years
Design Life: 50+ Years
Insp. Method: From Ground

ROOF COVERING #3:

Type: Low Slope
Material: Metal
Location: Rear Porch
Est. Age: 50+ Years

CHIMNEY/VENT(S):

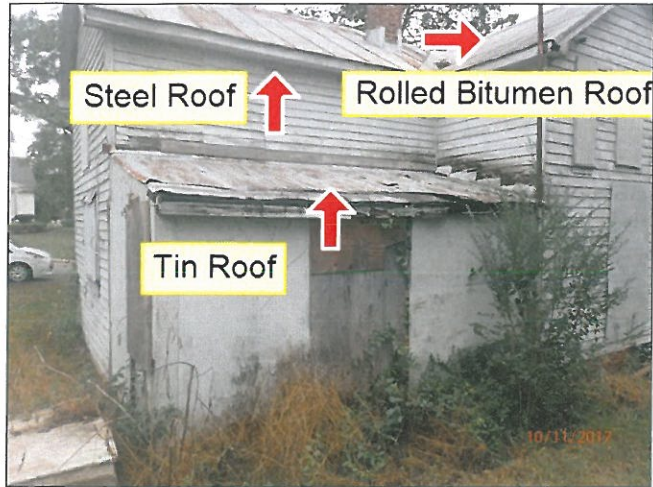
Type: Brick Chimney
Location: Center of Structure

S F P N A N I

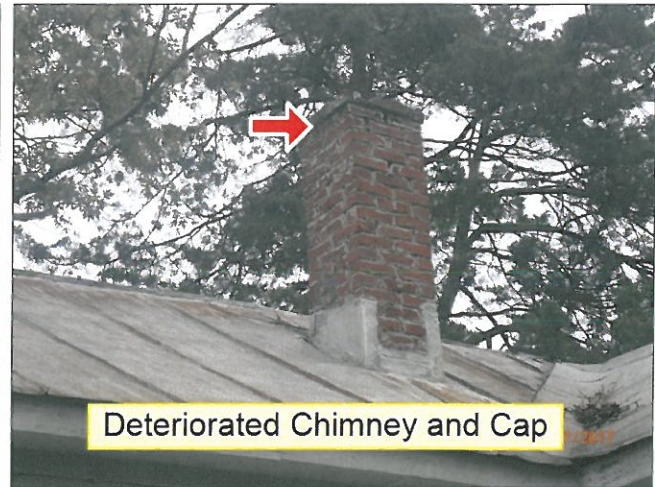
		●	1.0 ROOFING Built-Up roofs by their design do not allow for visual evaluation of the water tight membrane. These roofs require special maintenance in order to remain leak free and the life expectancy varies with the quality of materials used. Therefore, no rating can be given to the roof and no evaluation was performed. Have further evaluated as desired.
		●	1.1 ROOFING #2 Aging metal roofing noted. This material can have a lengthy service life, but requires periodic re-coating and maintenance. Have evaluated and serviced every 3-5 years by a qualified metal roofer.
		●	1.2 ROOFING #3 Aging tin roofing noted. Tin can have a lengthy service life, but requires periodic re-coating and maintenance. Have evaluated and serviced every 3-5 years by a qualified metal roofer.
		●	1.3 CHIMNEY / VENT(s) Cracks in crown (mortar cap) noted, seal and maintain or replace as required. (Crowns typically require replacement every 10-15 yrs.) The crown (mortar cap) of the chimney is worn. Monitor and anticipate replacement needs. (Crowns typically require replacement every 10-15 yrs.) Mortar deterioration noted. Monitor or correct as desired. Defective (improperly installed) flashing noted at the chimney; reseal and maintain or replace as required. Initial roof leaks and/or recurring roof leakage problems are often due to inadequate or damaged flashing. All flashings should be checked periodically or if leakage occurs. Repair or seal as needed.
		●	1.4 RAIN GUTTERS / ROOF DRAINS
		●	1.5 DOWNSPOUTS
		●	1.6 FASCIA / SOFFITS Decay and presence of Wood Destroying Insects noted to fascias at front, rear and sides of house, correct as required. Deteriorated paint noted, maintenance required.

S F P N A N I S= Satisfactory, F= Fair, P= Poor/Defective, NA= Not Applicable, NI= Not Inspected

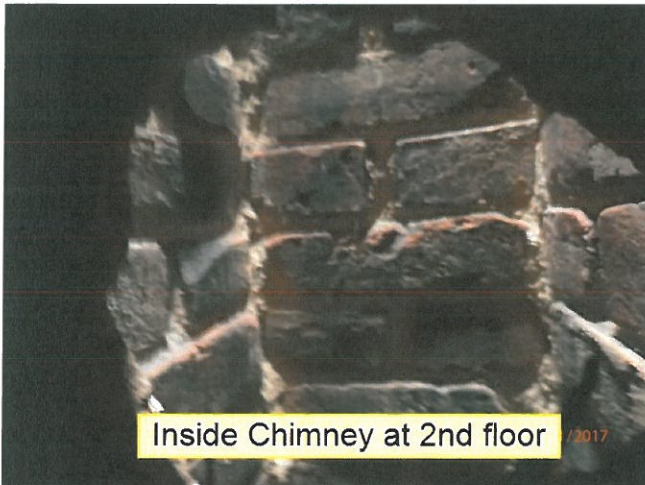
Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



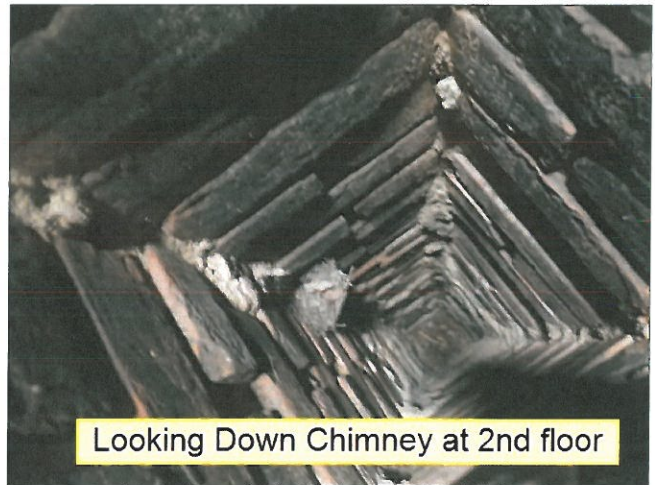
1.0 ROOFING (Picture 1)



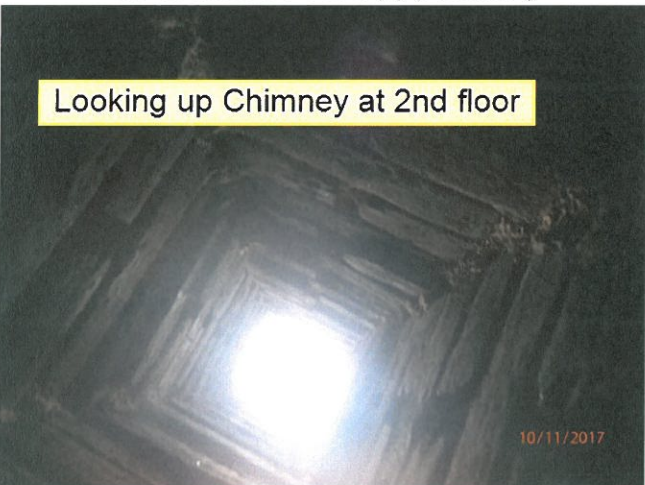
1.3 CHIMNEY / VENT(s) (Picture 1)



1.3 CHIMNEY / VENT(s) (Picture 2)



1.3 CHIMNEY / VENT(s) (Picture 3)



1.3 CHIMNEY / VENT(s) (Picture 4)



1.3 CHIMNEY / VENT(s) (Picture 5)

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1.6 FASCIA / SOFFITS (Picture 1)



1.6 FASCIA / SOFFITS (Picture 2)



1.6 FASCIA / SOFFITS (Picture 3)

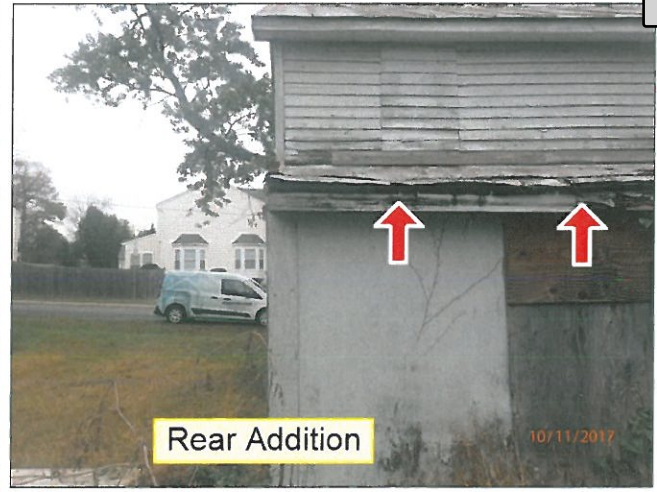


1.6 FASCIA / SOFFITS (Picture 4)

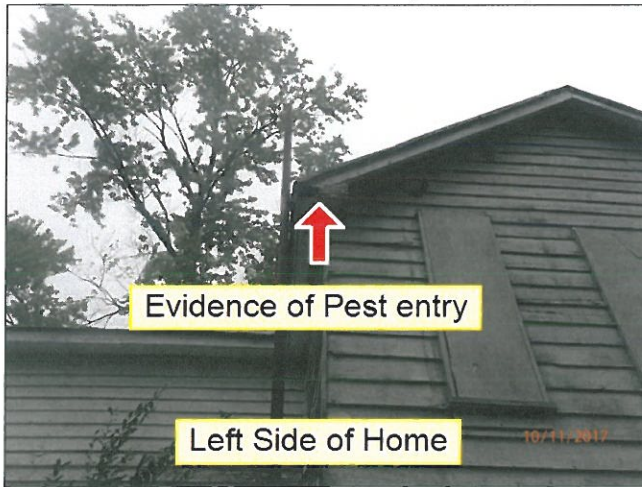
Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



1.6 FASCIA / SOFFITS (Picture 5)



1.6 FASCIA / SOFFITS (Picture 6)



1.6 FASCIA / SOFFITS (Picture 7)

NOTE: All roofs have a finite life and will require replacement at some point. In the interim, the seals at all roof penetrations and flashings, and the watertightness of rooftop elements, should be checked periodically and repaired or maintained as required. Any roof defect can result in leakage, mold, and subsequent damage. Conditions such as hail damage or manufacturing defects or whether the proper nailing methods or underlayment were used are not readily detectable during a home inspection. Gutters (eavestroughs) and downspouts (leaders) will require regular cleaning and maintenance. All chimneys and vents should be checked periodically. In general, fascia and soffit areas are not readily accessible for inspection; these components are prone to decay, insect, and pest damage, particularly with roof or gutter leakage. If any roof deficiencies are reported, a qualified roofer or the appropriate specialist should be contacted to determine what remedial action is required. If the roof inspection was restricted or limited due to roof height, weather conditions, or other factors, arrangements should be made to have the roof inspected by a qualified roofer, particularly if the roofing is older or its age is unknown.

2. EXTERIOR ELEMENTS

Inspection of exterior elements is limited to readily visible and accessible surfaces of the house envelope and connected appurtenances as listed herein; **elements concealed from view by any means cannot be inspected.** All exterior elements are subject to the effects of long-term exposure and sudden damage from ongoing and ever-changing weather conditions. Style and material descriptions are based on predominant/representative components and are provided for general information purposes only; specific types and/or material make-up material is not verified. Neither the efficiency nor integrity of insulated window units can be determined. Furthermore, the presence/condition of accessories such as storms, screens, shutters, locks and other attachments or decorative items is not included, unless specifically noted. Additional information on exterior elements, particularly windows/doors and the foundation may be provided under other headings in this report, including the INTERIOR and FOUNDATION/SUBSTRUCTURE sections.

SIDING / WALL STRUCTURE #1 - TYPE:

Wood

SIDING #1 - LOCATION:

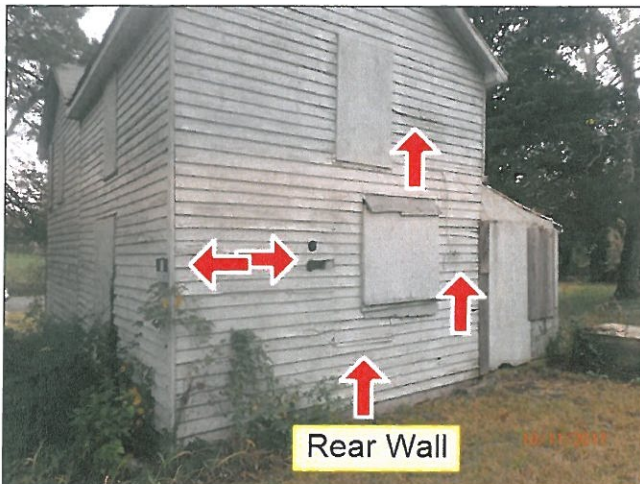
Whole House

S F P NA NI

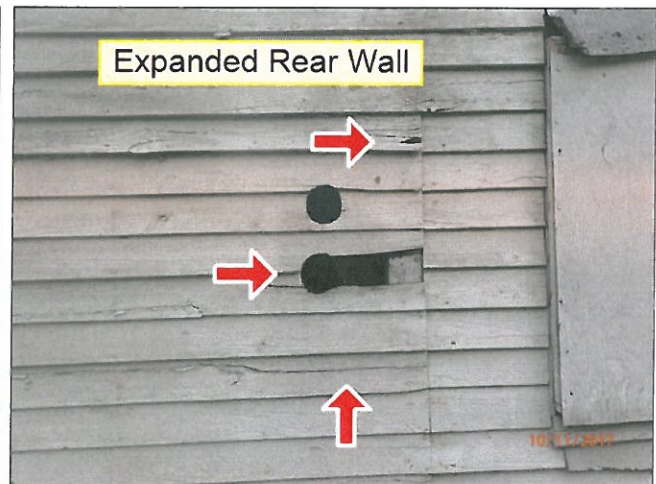
		●			<p>2.0 SIDING / WALL CLADDING</p> <p>Surfaces on older homes may have layers of lead-based paint, particularly pre-1978 paint applications. The likelihood of exposure to lead hazards is minimal if the paint is intact or covered with another product. Neither testing nor assessment is part of a standard home inspection. Testing by a qualified specialist should be arranged if paint damage or other potential hazards exist or to address individual concerns. Paint is deteriorated; maintain as required.</p> <p>Siding has several holes from damage and prior renovations.</p>
		●			<p>2.1 WINDOWS</p> <p>All windows are boarded up and rotting around the sills.</p>
		●			<p>2.2 ENTRY DOORS</p> <p>Moisture damage noted to jamb/frame at Front Entry, correct as required. Any damage should be corrected/addressed properly to minimize consequential damage or further infestation.</p>
		●			<p>2.3 STAIRS / STOOPS</p> <p>Deteriorated stoop noted at Front Entry; repair/replace as required.</p> <p>No handrail at the stoop at the Front Entry; recommend adding for safety.</p>
		●			<p>2.4 RAILINGS</p>
		●			<p>2.5 FOUNDATION SURFACE</p> <p>Deteriorated bricks and mortar noted in curtain/veneer wall at front, rear and sides of house, have area re-pointed by a qualified brick mason.</p>
		●			<p>2.6 ELECTRICAL / GFCI</p> <p>Power was not available to the house; romex wiring is aged, no outside Outlets installed, lighting wires/bulbs are bare. Replace wiring and install Fixtures.</p>

S F P NA NI S= Satisfactory, F= Fair, P= Poor/Defective, NA= Not Applicable, NI= Not Inspected

Review REPORT TERMINOLOGY on Introduction Page. Please contact the Company for clarification on ratings or findings if there are any questions.



2.0 SIDING / WALL CLADDING (Picture 1)



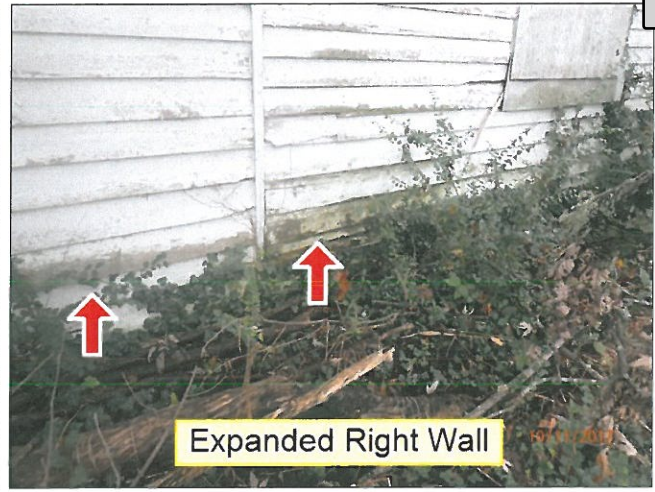
2.0 SIDING / WALL CLADDING (Picture 2)

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



Right Side Wall

2.0 SIDING / WALL CLADDING (Picture 3)



Expanded Right Wall

2.0 SIDING / WALL CLADDING (Picture 4)



Left Side Wall

2.0 SIDING / WALL CLADDING (Picture 5)



Front Left Wall

2.0 SIDING / WALL CLADDING (Picture 6)



Expanded Left Side Wall

2.0 SIDING / WALL CLADDING (Picture 7)

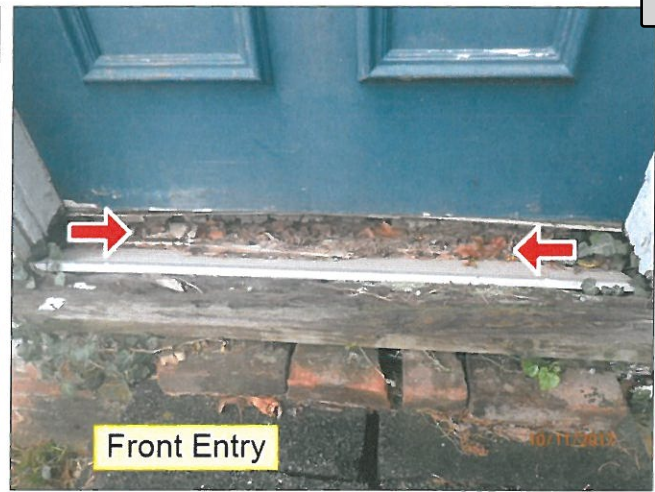


Expanded Left Side (Upper)

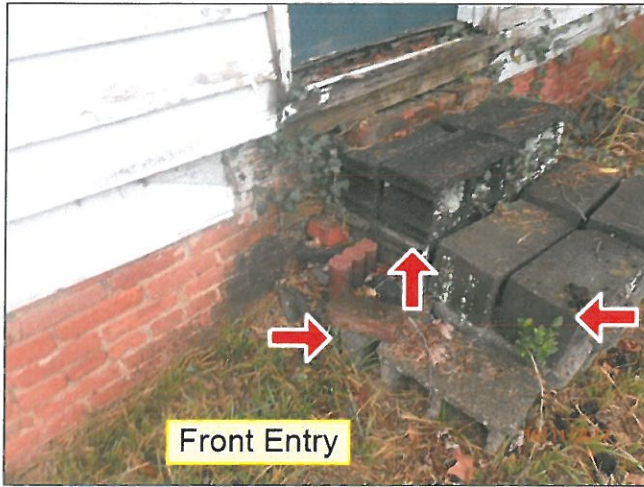
2.0 SIDING / WALL CLADDING (Picture 8)



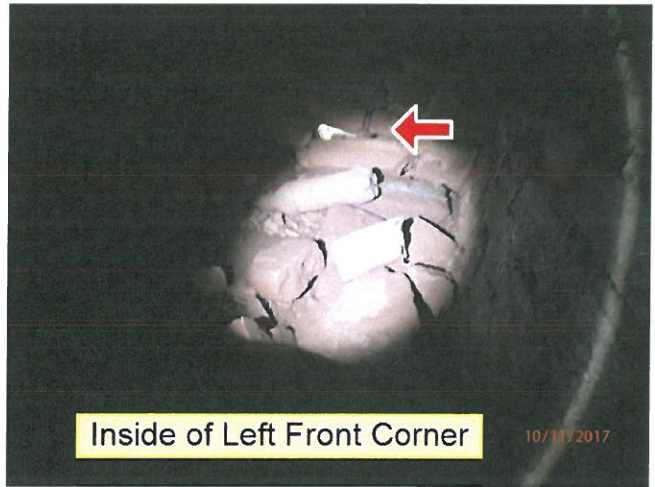
2.2 ENTRY DOORS (Picture 1)



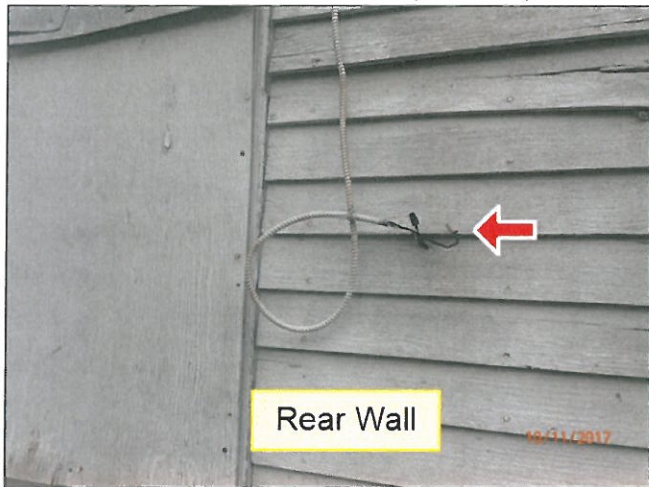
2.2 ENTRY DOORS (Picture 2)



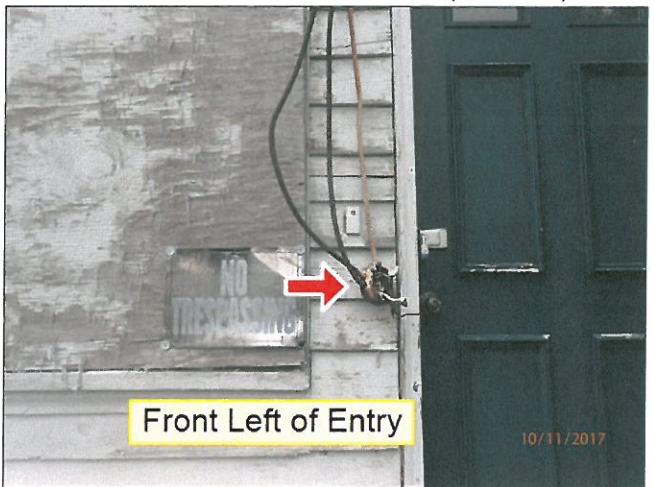
2.3 STAIRS / STOOPS (Picture 1)



2.5 FOUNDATION SURFACE (Picture 1)



2.6 ELECTRICAL / GFCI (Picture 1)



2.6 ELECTRICAL / GFCI (Picture 2)

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2.6 ELECTRICAL / GFCI (Picture 3)

NOTE: All surfaces of the envelope of the house should be inspected at least semi-annually, and maintained as needed. Any exterior element defect can result in leakage and/or subsequent damage. Exterior wood elements and wood composites are particularly susceptible to water-related damage, including decay, insect infestation, and mold. The use of proper treated lumber or alternative products may help minimize these concerns, but will not eliminate them altogether. While some areas of decay or damage may be reported, additional areas of concern may exist, subsequently develop, or be discovered during repair or maintenance work. Should you wish advice on any new or uncovered area of deterioration, please contact the Inspection Company. Periodic caulking/resealing of all gaps and joints will be required. Insulated window/door units are subject to seal failure, which could ultimately affect the transparency and/or function of the window. Lead-based paints were commonly used on older homes; independent inspection is required if confirmation or a risk assessment is desired.

3. SITE ELEMENTS

Inspection of site elements is primarily intended to address the condition of listed, readily visible and accessible elements immediately adjacent to or surrounding the house for conditions and issues that may have an impact on the house. Elements and areas concealed from view for any reason cannot be inspected. **Neither the inspection nor report includes any geological surveys, soil compaction surveys, ground testing, or evaluation of the effects of, or potential for, earth movement such as earthquakes, landslides, or sinking, rising or shifting for any reason.** Information on local soil conditions and issues should be obtained from local officials and/or a qualified specialist prior to closing. In addition to the stated limitations on the inspection of site elements, a standard home inspection does not include evaluation of elements such as underground drainage systems, site lighting, irrigation systems, barbecues, sheds, detached structures, fencing, privacy walls, docks, seawalls, pools, spas and other recreational items. Additional information related to site element conditions may be found under other headings in this report, including the FOUNDATION/SUBSTRUCTURE and WATER PENETRATION sections.

S F P NANI

			●		3.0 PATIO(S)
			●		3.1 WALKWAYS
			●		3.2 DRIVEWAY
		●			3.3 GROUND SLOPE AT FOUNDATION Negative grade noted at front, rear and sides of house; correct as required to help reduce water penetration and potential settlement concerns.
		●			3.4 SITE GRADING Grading slopes towards the house at front, rear and sides of house; monitor runoff and correct as needed.

S F P NANI S= Satisfactory, F= Fair, P= Poor/Defective, NA= Not Applicable, NI= Not Inspected

Review REPORT TERMINOLOGY on Introduction Page. Please contact the Company for clarification on ratings or findings if there are any questions.

NOTE: Site conditions are subject to sudden change with exposure to rain, wind, temperature changes, and other climatic factors. Roof drainage systems and site/foundation grading and drainage must be maintained to provide adequate water control. Improper/inadequate grading or drainage and other site factors can cause or contribute to foundation movement or failure, water infiltration into the house interior, and/or mold concerns. Independent evaluation by an engineer or soils specialist is required to evaluate geological or soil-related concerns. Houses built on expansive clays or uncompacted fill, on hillsides, along bodies of water, or in low-lying areas are especially prone to structural concerns. All improved surfaces such as patios, walks, and driveways must also be maintained to drain water away from the foundation. Any reported or subsequently occurring deficiencies must be investigated and corrected to prevent recurring or escalating problems. Independent evaluation of ancillary and site elements by qualified servicepersons is recommended prior to closing.

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

4. INTERIOR ELEMENTS

Inspection of the house interior is limited to readily accessible and visible elements as listed herein. **Elements and areas that are inaccessible or concealed from view by any means cannot be inspected.** Aesthetic and cosmetic factors (e.g., paint and wallpaper) and the condition of finish materials and covering are not addressed. Window and door evaluations are based on a random sampling of representative units. It is not possible to confirm safety glazing or the efficiency and integrity of insulated window/door units. Auxiliary items such as security/safety systems (or the need for same), home entertainment or communication systems, structured wiring systems, doorbells, telephone lines, central vacuums, and similar components are not included in a standard home inspection. Due to typical design restrictions, inspection of any fireplace, stove, or insert is limited to external conditions. Furthermore, such inspection addresses physical condition only; no code/fire safety compliance assessment or operational check of vent conditions is performed. Additional information or interior elements may be provided under other headings in this report, including the FOUNDATION/SUBSTRUCTURE section and the major house systems.

CEILING TYPE(S):

Wood Frame
Plaster
Gypsum board

WALL TYPE(S):

Wood Frame
Wood Frame Interior Walls
Gypsum board

FLOOR TYPE(S):

Wood Frame
w/ hardwood floors

WINDOW TYPE(S):

Double Hung

SMOKE DETECTOR(S):

Not Present/Observed

CARBON MONOXIDE DETECTOR(S):

None Observed

S F P NANI

	●			<p>4.0 CEILINGS / STRUCTURE Water damage noted at Upstairs Bedroom; repair as required. Hole in ceiling noted at Upstairs Bedroom, repair as required. There is a potential that exterior and/or interior surfaces are covered with a lead-based paint, particularly in pre-1978 homes. If paint is intact or covered with another product the likelihood of the release of any significant lead is minimized. No lead-based paint assessment is made as part of a standard home inspection. Individual concerns should be considered and testing by a qualified specialist can be arranged if needed.</p>
	●			<p>4.1 WALLS / STRUCTURE Evidence of many prior repairs noted. There is a potential that exterior and/or interior surfaces are covered with a lead-based paint, particularly in pre-1978 homes. If paint is intact or covered with another product the likelihood of the release of any significant lead is minimized. No lead-based paint assessment is made as part of a standard home inspection. Individual concerns should be considered and testing by a qualified specialist can be arranged if needed. See Ceilings note above.</p>
	●			<p>4.2 FLOORS (FRAMED) Damaged flooring; repair as required.</p>
	●			<p>4.3 STAIRS/STEPS No handrail noted; add for safety. Low headroom noted at stairway entry. Exercise caution.</p>
	●			<p>4.4 RAILINGS No handrail noted at second story stairs; add for safety.</p>
	●			<p>4.5 WINDOWS Defective retention springs/ballast weights noted at , Kitchen Living Room Guest Bed Room Small Bed Room. Correct as required. Cracked panes noted at Kitchen Living Room Guest Bed Room Small Bed Room; replace as required. General maintenance needed. Older single glaze windows noted. Glazing and other maintenance required.</p>
	●			<p>4.6 ROOM DOORS Older and missing doors, anticipate maintenance and adjustment needs.</p>

S F P NANI S= Satisfactory, F= Fair, P= Poor/Defective, NA= Not Applicable, NI= Not Inspected

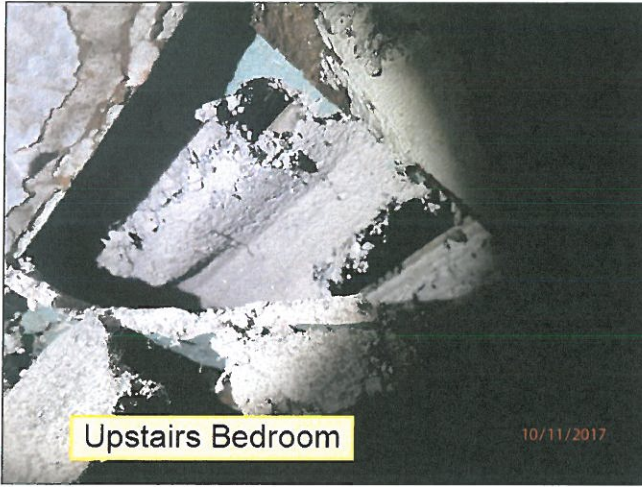
Review REPORT TERMINOLOGY on Introduction Page. Please contact the Company for clarification on ratings or findings if there are any questions.



4.0 CEILINGS / STRUCTURE (Picture 1)



4.0 CEILINGS / STRUCTURE (Picture 2)



4.0 CEILINGS / STRUCTURE (Picture 3)



4.0 CEILINGS / STRUCTURE (Picture 4)



4.0 CEILINGS / STRUCTURE (Picture 5)



4.0 CEILINGS / STRUCTURE (Picture 6)



4.0 CEILINGS / STRUCTURE (Picture 7)



4.0 CEILINGS / STRUCTURE (Picture 8)



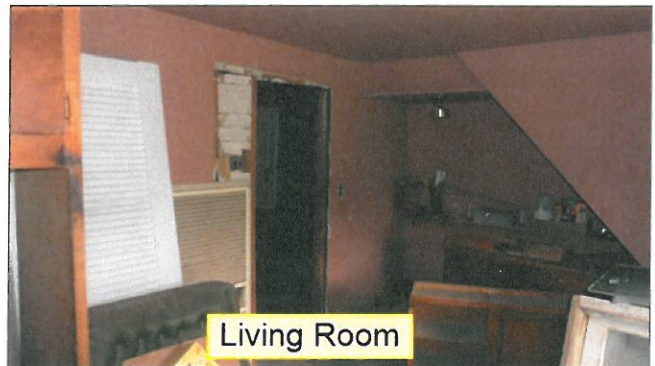
4.0 CEILINGS / STRUCTURE (Picture 9)



4.0 CEILINGS / STRUCTURE (Picture 10)



4.0 CEILINGS / STRUCTURE (Picture 11)



4.1 WALLS / STRUCTURE (Picture 1)

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



Kitchen

4.1 WALLS / STRUCTURE (Picture 2)



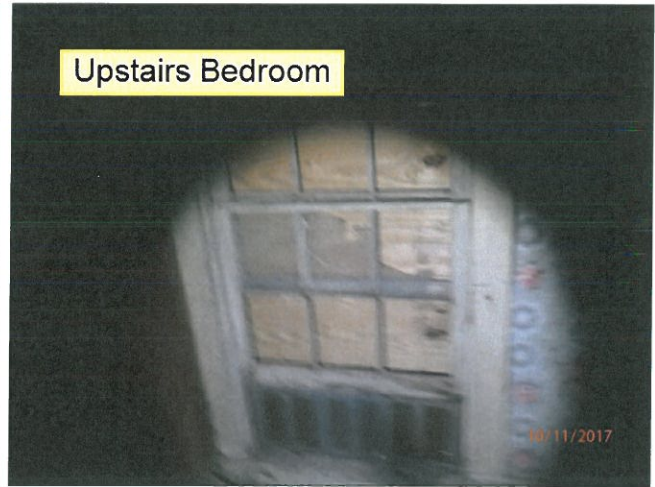
Upstairs Bedroom

4.1 WALLS / STRUCTURE (Picture 3)



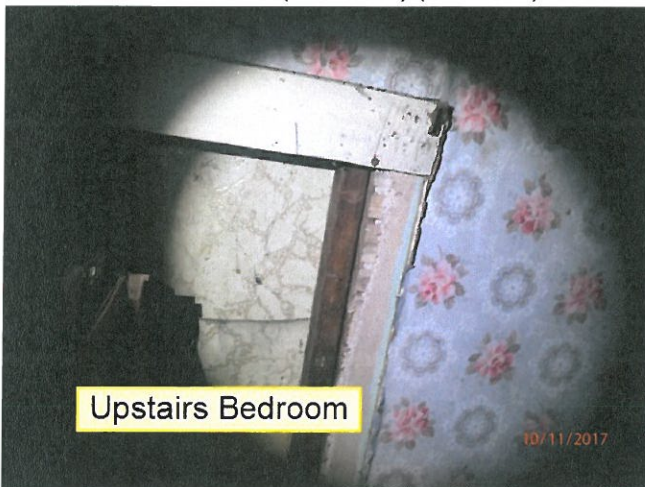
Kitchen/Additional

4.2 FLOORS (FRAMED) (Picture 1)



Upstairs Bedroom

4.5 WINDOWS (Picture 1)



Upstairs Bedroom

4.5 WINDOWS (Picture 2)

NOTE: All homes are subject to indoor air quality concerns due to factors such as venting system defects, outgassing from construction materials, smoking, and the use of house and personal care products. Air quality can also be adversely affected by the growth of molds, fungi and other micro-organisms as a result of leakage or high humidity conditions. If water leakage or moisture-related problems exist, potentially harmful contaminants may be present. A home inspection does not include assessment of potential health or environmental contaminants or allergens. For air quality evaluations, a qualified testing firm should be contacted. All homes experience some form of settlement due to construction practices, materials used, and other factors. A pre-closing check of all windows, doors, and rooms when house is clear of furnishings, drapes, etc. is recommended. If the type of flooring or other finish materials that may be covered by finished surfaces or other items is a concern, conditions should be confirmed before closing. Lead-based paint may have been used in the painting of older homes. Chimney and fireplace flue inspections should be performed by a qualified specialist. Regular cleaning is recommended. An assessment should be made of the need for and placement of detectors. All smoke and carbon monoxide detectors should be tested on a regular basis.

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

5. FOUNDATION / SUBSTRUCTURE

The inspection of the substructure and foundation is limited to readily visible and access elements as listed herein. Elements or areas concealed from view for any reason cannot be inspected. In most homes, only a representative portion of the structure can be inspected. Any element description provided is for general information purposes only; the specific material type and/or make-up cannot be verified. **Neither the inspection nor report includes geological surveys, soil compaction studies, ground testing, evaluation of the effects of or potential for earth movement such as earthquakes, landslides, or sinking, rising or shifting for any reason, or verification of prior water penetration or predictions of future conditions.** Furthermore, a standard home inspection is not a wood-destroying insect inspection, an engineering evaluation, a design analysis, or a structural adequacy study, including that related to high-wind or seismic restraint requirements. Additional information related to the house structure may be found under many other headings in this report.

CRAWLSPACE:

Full House

CRAWLSPACE INSPECTION METHOD:

Entered

FOUNDATION WALLS/PIERS:

Brick

HOUSE FLOOR STRUCTURE:

Wood Frame
Truss

INSULATION:

None

VAPOR RETARDER(S):

None

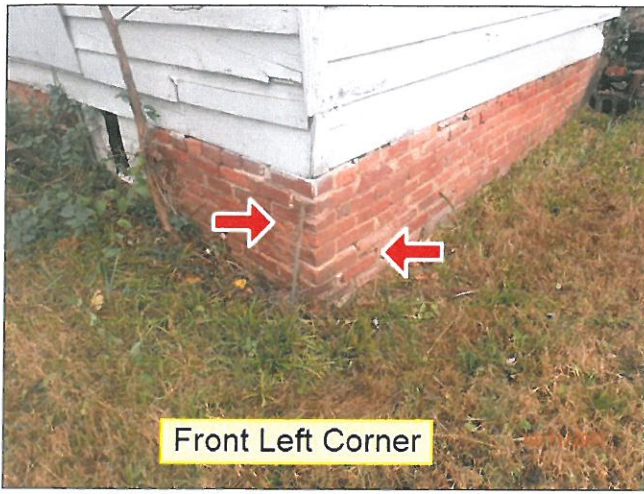
S F P NA NI

					<p>5.0 FOUNDATION / SUBSTRUCTURE</p> <p>A condition known as spalling was noted in the bricks of the foundation walls. Spalling is the slow deterioration of brick, reducing them to a sandy powder, as the effects of time, moisture, and other factors take their toll. This deterioration can be slowed, and effected walls stabilized by applying a surface "parge" coat of concrete to the walls. Recommend coating walls to control spalling and maintain structural integrity of foundation.</p> <p>The potential for general or localized deterioration is a concern with very old foundations of this type construction or those built without consideration for the fundamentals of foundation design and waterproofing. Ideally, any repairs required should be performed in a manner consistent with existing materials.</p>
					<p>5.1 PIERS / COLUMNS</p> <p>Concrete block piers with bricks on top present.</p>
					<p>5.2 FLOOR FRAMING</p> <p>Floor joists are notched and hung on a 1 inch ledger and nailed to the rim joist along the front and back of the home. There is no sill plate Upstairs Bedroom installed atop of the brick foundation and the rim joists set directly on top of the foundation.</p>
					<p>5.3 BEAM(S)</p> <p>Inadequate support noted for main beam; add proper support.</p>
					<p>5.4 CRAWL SPACE VENTILATION</p> <p>No/inadequate ventilation noted for the crawl space; recommend adding cross ventilation as required.</p>
					<p>5.5 INSULATION</p> <p>None present, recommend adding for improved comfort and efficiency.</p>
					<p>5.6 VAPOR BARRIER</p> <p>No vapor barrier observed in crawlspace, recommend adding to help reduce moisture and mold infiltration concerns.</p>
					<p>5.7 WATER PENETRATION / MOISTURE</p> <p>Signs of active water penetration noted around perimeter of Crawl Space. Improve exterior grading/ground slope and drainage as required to eliminate water penetration concern. Adding gutters or roof drains that divert water away from the structure would be advisable.</p>

S F P NA NI S= Satisfactory, F= Fair, P= Poor/Defective, NA= Not Applicable, NI= Not Inspected

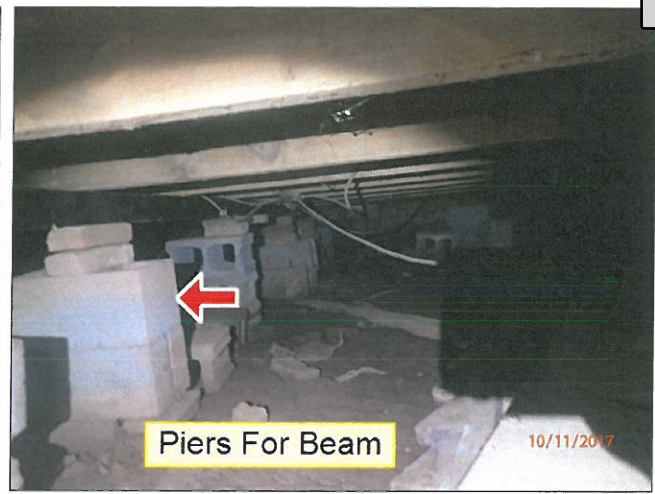
Review REPORT TERMINOLOGY on Introduction Page. Please contact the Company for clarification on ratings or findings if there are any questions.

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)



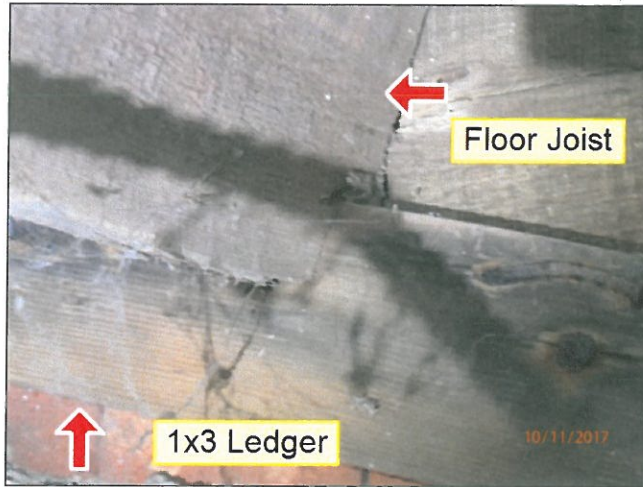
Front Left Corner

5.0 FOUNDATION / SUBSTRUCTURE (Picture 1)



Piers For Beam

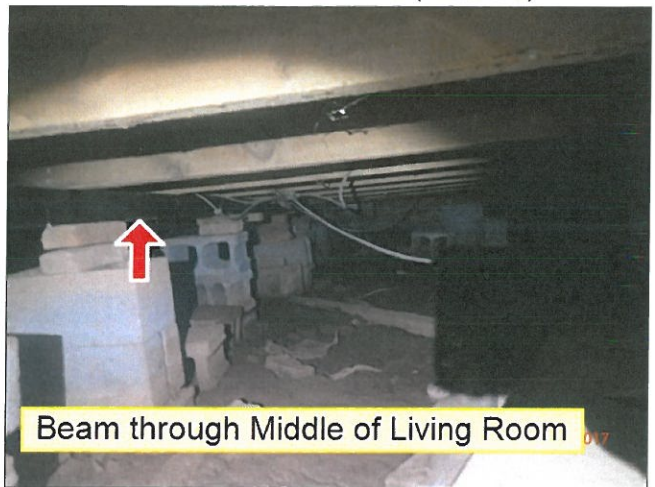
5.1 PIERS / COLUMNS (Picture 1)



1x3 Ledger

Floor Joist

5.2 FLOOR FRAMING (Picture 1)



Beam through Middle of Living Room

5.3 BEAM(S) (Picture 1)

NOTE: All foundations are subject to settlement and movement. Improper/inadequate grading or drainage can cause or contribute to foundation damage and/or failure and water penetration. Deficiencies must be corrected and proper grading/drainage conditions must be maintained to minimize foundation and water penetration concerns. If significant foundation movement or cracking is indicated, evaluation by an engineer or qualified foundation specialist is recommended. All wood components are subject to decay and insect damage; a wood-destroying insect inspection is recommended. Should decay and/or insect infestation or damage be reported, a full inspection should be made by a qualified specialist to determine the extent and remedial measures required. Insulation and other materials obstructing structural components are not normally moved or disturbed during a home inspection. Obstructed elements or inaccessible areas should be inspected when limiting conditions are removed. In high-wind or high-risk seismic areas, it would be advisable to arrange for an inspection of the house by a qualified specialist to determine whether applicable construction requirements are met or damage exists. Should you seek advice or wish to arrange a new inspection for elements not visible during the inspection, please contact the Inspection Company.

SALES CONTRACT FOR UNIMPROVED LAND

This SALES CONTRACT ("Contract") is made on 10/08/2017 ("Date of Offer") between Feliciano Vilaca and Maria Vilaca ("Buyer") and Dollie Hankinson, and Scott H. Donovan for Jean Rosemand Leonard estate ("Seller") who, among other things, hereby confirm and acknowledge by their initials and signatures herein that by prior disclosure in this real estate transaction RE/MAX Gateway ("Listing Brokerage") represents Seller, and REMAX Gateway ("Cooperating Brokerage") represents Buyer or Seller. Listing Brokerage and Cooperating Brokerage are collectively referred to as Broker. (If the brokerage firm is acting as a dual representative for both Seller and Buyer, then the appropriate disclosure form is attached to and made a part of this Contract.) In consideration of the mutual promises and covenants set forth below, and other good and valuable consideration the receipt and sufficiency of which is acknowledged, the parties agree as follows:

1. REAL PROPERTY. Buyer agrees to buy and Seller agrees to sell the land and all improvements thereon located in the County or City of Town of Haymarket VA, Virginia and described as (legal description): Tax Map 44064; TM 7297-88-5078

26062 square feet or acre and also known as (property address) if applicable: 6810 Jefferson Street, Haymarket, VA 20169, together with the items described in the IMPROVEMENTS, CHATTELS AND/OR EQUIPMENT INCLUDED paragraph.

2. IMPROVEMENTS, CHATTELS AND/OR EQUIPMENT INCLUDED. The following items are included in this sale: existing building

3. PRICE AND FINANCING. This sale shall be in gross, and the purchase price shown below shall be the exact sales price OR the purchase price shall be adjusted at Settlement to an exact purchase price of \$ per square feet OR per acre. The exact area to be determined by a survey to be made by a licensed surveyor and paid for by:

- A. Down Payment \$ or %
B. Financing 1. First Trust (if applicable) \$ or %
2. Second Trust (if applicable) \$ or %
3. Seller Held Trust \$ or %
Addendum attached (if applicable)

TOTAL FINANCING \$ or %

SALES PRICE \$

C. First Deed of Trust. Buyer will Obtain OR Assume a Fixed OR an Adjustable rate First Deed of Trust loan amortized over 30 years. The interest rate for this loan is at an (initial) interest rate not to exceed % per year of the following type: Conventional See Addendum Attached VA See Addendum Attached FHA See Addendum Attached Other: Land, Construction, Permanen This contract is not contingent on Financing.

D. Second Deed of Trust. Buyer will Obtain OR Assume a Fixed OR an Adjustable rate Second Deed of Trust loan.

Attachment: Zoning Permit #ZP2017-029 (3441 : ZP#2017-029, 6810 Jefferson Street, Demolition Application)

27. **VOID CONTRACT.** If this Contract becomes void and of no further force and effect, without Default by either party, both parties will immediately execute a release directing that the Deposit be refunded in full to Buyer according to the terms of the DEPOSIT paragraph.

28. **TIME IS OF THE ESSENCE AS TO ALL TERMS OF THIS AGREEMENT.**

29. **ARBITRATION.** Nothing in this Contract shall preclude arbitration under the Code of Ethics and Standards of Practice of the National Association of REALTORS®.

30. **REAL ESTATE LICENSED PARTIES.** Broker may from time to time engage in general insurance, title insurance, mortgage loan, real estate settlement, home warranty and other real estate-related businesses and services, from which they may receive compensation during the course of this transaction, in addition to real estate brokerage fees. The parties acknowledge that Broker is retained for their real estate brokerage expertise, and neither has been retained as an attorney, tax advisor, appraiser, title advisor, home inspector, engineer, surveyor, or other professional service provider.

The parties acknowledge that _____ is an active or inactive licensed real estate agent in VA and Other _____ and is either the Buyer Seller or is related to one of the parties in this transaction.

31. **ENTIRE AGREEMENT.** This Contract will be binding upon the parties, and each of their respective heirs, executors, administrators, successors and permitted assigns. The provisions not satisfied at Settlement will survive the delivery of the deed and will not be merged therein. This Contract, unless amended in writing, contains the final and entire agreement of the parties and the parties will not be bound by any terms, conditions, oral statements, warranties or representations not herein contained. The interpretation of this Contract will be governed by the laws of the Commonwealth of Virginia.

32. **ADDITIONS** The following forms, if ratified and attached, are made a part of this Contract. (This list is not all inclusive of addenda that may need to be attached).

- Yes No Contingencies/Clauses Addendum
- Yes No Financing Contingency Addendum _____
- Yes No Appraisal Contingency All Cash
- Yes No FIRPTA Addendum
- Yes No Other (specify): _____

33. **DISCLOSURE OF SALES PRICE TO APPRAISER** Listing Brokerage and Cooperating Brokerage are hereby authorized to release the Sales Price listed in PRICE AND SPECIFIED FINANCING Paragraph to any appraiser who contacts them to obtain the information.

34. **OTHER TERMS.** 1. Sale is contingent for 60 days upon obtaining demolition approval of the Leonard House on the property from the Town of Haymarket
2. One prepaid sewer tap is included in the sale of the property.

SELLER:

BUYER:

Dollie Hankinson dotloop verified
10/17/17 9:31PM EDT
ZYM0-2KAO-6PP1-MZTM

Feliciano Vllaca dotloop verified
10/17/17 3:36PM EDT
TQHY-RRVU-KHVT-HXST

Date Signature

Date Signature

Scott Donovan dotloop verified
10/17/17 12:08PM EDT
LAM2-LHPY-BZV4-VS8H

Maria Vllaca dotloop verified
10/18/17 6:51PM EDT
WWB4-NMNO-ORBS-KMGN

Date Signature

Date Signature

Date of Ratification
10/18/2017



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Emily Lockhart
TOWN PLANNER

MEMORANDUM

TO: Architectural Review Board
FROM: Emily Lockhart, Town Planner
DATE: January 11, 2018
SUBJECT: Zoning Permit #2017-029, 6810 Jefferson Street, Residential Demolition Application

APPLICATION SUMMARY:

The applicant, Dan Radtke is requesting approval to demolish and remove the existing building located at 6810 Jefferson Street. The applicant is acting on behalf of Dollie Hankinson and JR Leonard the owners of the property. The applicant has provided photographs of the property as well as a building inspection report. The inspection report outlines in detail the current conditions of the entire home. The inspectors report summary concludes;

- Roofing - Poor/Defective
- Chimney/Vent - Poor/Defective – cracks in crown, mortar deterioration noted, defective flashing
- Fascia/Soffits – Poor/Defective – decay and presence of Wood Destroying Insects noted to fascias at front, rear and sides of house. Deteriorated paint noted
- Siding/Wall Cladding – Poor/Defective – potential lead based paint on siding, siding has several holes from damage and prior renovations
- Windows – Poor/Defective – All windows are boarded up and rotting around the sills
- Entry Doors – Poor/Defective – moisture damage noted to jamb/frame at Front
- Stairs/Stoops – Poor/Defective – deteriorated stoop
- Foundation Surface – Poor/Defective – deteriorated bricks and mortar
- Electrical/GFCI – Poor/Defective – power not available to the house, romex wiring aged
- Site Elements
- Ground Slope at Foundation – Poor/Defective – negative grade noted
- Site Grading – Poor/ Defective
- Interior Elements
- Ceilings/Structure – Poor/Defective – water damage noted at upstairs bedroom, hole in ceiling
- Walls/Structure – Poor Defective
- Floors- Poor/Defective – damaged flooring
- Stairs/Steps – Fair – no handrail noted, add for safety
- Railings – Poor/Defective – no handrail noted at second story stairs, add for safety
- Windows – Poor/Defective – defective retention springs/ballast weights noted at Kitchen Living Toom Guest Bed Room Small Bed Room, cranked panes

- Room Doors – Poor/Defective – older and missing doors
- Foundation/Substructure
- Foundation/Substructure – Poor/Defective – condition known as spalling was noted in the bricks of the foundation walls
- Piers/Columns – Poor/Defective
- Floor Framing – Poor/Defective
- Beam(s) – Poor/Defective – inadequate support noted for main beam
- Crawl Space Ventilation – Poor/Defective – no/inadequate ventilation noted for the crawl space
- Insulation – Poor/Defective – none present
- Vapor Barrier – Poor/Defective – no vapor barrier observed in crawlspace
- Water Penetration / Moisture – Poor/Defective – signs of water penetration noted around perimeter of Crawl space

Please review the inspection report attached to the application in detail. The inspection report provides a detailed analysis of the home and justification for the demolition.

STAFF RECOMMENDATION:

The home currently requires major repairs for individuals to safely occupy the space. The owners of the property do not wish to make this investment and are ready sell the property. The home is considered a historic structure within the Town and is listed on the Historic Building Inventory list in the Comprehensive Plan. The Architectural Review Board needs to consider the feasibility of maintaining this property and the financial investment it will require to allow for residents.

While the home is a historic structure Staff feels that the financial investment is greater than one might be willing to invest in the property. The home has been boarded up and unoccupied for some time. There is potential for a new buyer to develop one or two homes on the property similar in style to the surrounding homes on Jefferson and Fayette Street. The potential new home(s) would clean up the property and removed the deteriorating structure. Staff recommends the ARB to approve the demolition application with the recommendation (or condition) to hire a photographer to document the property and its historic elements.

DRAFT MOTION:

“I make a motion to approve Certificate of Appropriateness ZP#2017-029, to demolish the residential home at 6810 Jefferson Street with the recommendation to document the home through photographs for the Town’s Historic documents.”

Or An alternate motion.



ZONING PERMIT APPLICATION

ZONING PERMIT #: ZP2018-001

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING ACTIVITY: New Construction Alteration/Repair Addition Sign (See Spec sheet)
(Check all that apply) New Tenant/Use Change of Use Relocation

NAME OF BUSINESS/APPLICANT: KAPLAN WEALTH MANAGEMENT

PROPOSED USE: _____ Size (Sq. Ft./Length) of Construction: _____

SITE ADDRESS: 15100 WASHINGTON ST Parcel ID #: _____

Subdivision Name: _____ Lot Size: _____

ZONING DISTRICT: R-1 R-2 B-1 B-2 I-1 C-1

Special Use Permit Required: Yes No Site Plan Required: Yes No

Off-street Parking: Spaces Required: _____ Spaces Provided: _____

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, height/length of fencing, deck specs, etc.)

SIGNAGE 84" x 15" CENTERED BELOW LAST WINDOW ON LEFT OF BUMPED OUT SECTION OF THE FRONT OF THE BUILDING

Supporting Documentation (attached): Narrative Plan/Plat Specification Sheet

FEE: \$25.00 Residential \$50.00 Commercial

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc. See Sign Spec Sheet for Signage detail)

SIGN ON FRONT OF BUILDING, FACING WASHINGTON ST OPPOSITE RE-MAX SIGN. SIGN COLOR IS BLUE AND GREEN W/ ~~TAHOMA~~ FONT TAHOMA

Supporting Documentation (attached): Specification Sheet Photograph(s)

PERMIT HOLDER INFORMATION			PROPERTY OWNER INFORMATION		
<u>KAPLAN WEALTH MANAGEMENT</u>			<u>AMS LLC</u>		
Name			Name		
<u>11107 SUNSET HILLS RD # 110</u>			<u>440 PARK ST NE</u>		
Address			Address		
<u>RESTON</u>	<u>VA</u>	<u>20190</u>	<u>VIENNA</u>	<u>VA</u>	<u>22180</u>
City	State	Zip	City	State	Zip
<u>703 367-0330</u>	<u>BRADKAPLAN@</u>	<u>KAPLANWEALTH.COM</u>	<u>703 596-6596</u>	<u>myaghi1999@yahoo.com</u>	
Phone#	Email		Phone#	Email	

Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001 : Sign Application, 15100 Washington Street)


APPLICANT / PROPERTY OWNER SIGNATURE

*******REQUIRED*******

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.



Applicant Signature



Property Owner Signature

*****OFFICE USE ONLY*****

Date Filed: _____ Fee Amount: _____ Date Paid: _____

DATE TO ZONING ADMINISTRATOR: _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

SIGNATURE

PRINT

CONDITIONS:

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

SIGNATURE

PRINT

CONDITIONS:

DATE TO TOWN COUNCIL (IF APPLICABLE): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

TOWN COUNCIL {where required):

SIGNATURE

PRINT

CONDITIONS:

Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001 : Sign Application, 15100 Washington Street)

SIGN SPECIFICATION SHEET

SIGN 1:

Type of Sign: Wall Hanging Freestanding Menu Individual Letter Window
 Other _____

Height above Ground at Signs: Lower Edge: approx. 15' Upper Edge: 16" * Same as Remax Sign

Height of Sign Structure: _____ Sign Width: 84" Length: 15" Area in Sq Ft: 8.75

Number of Faces: _____ Sign Material/Color/Font: white, blue, green, painted aluminum

Location of Sign (Include photo): See photo

Lighting Type/Fixture (No internal illumination is allowed): NO

SIGN 2:

Type of Sign: Wall Hanging Freestanding Menu Individual Letter Window
 Other _____

Height above Ground at Signs: Lower Edge: _____ Upper Edge: _____

Height of Sign Structure: _____ Sign Width: _____ Length: _____ Area in Sq Ft: _____

Number of Faces: _____ Sign Material/Color/Font: _____

Location of Sign (Include photo): _____

Lighting Type/Fixture (No internal illumination is allowed): _____

SIGN 3:

Type of Sign: Wall Hanging Freestanding Menu Individual Letter Window
 Other _____

Height above Ground at Signs: Lower Edge: _____ Upper Edge: _____

Height of Sign Structure: _____ Sign Width: _____ Length: _____ Area in Sq Ft: _____

Number of Faces: _____ Sign Material/Color/Font: _____

Location of Sign (Include photo): _____

Lighting Type/Fixture (No internal illumination is allowed): _____

SIGN 4:

Type of Sign: Wall Hanging Freestanding Menu Individual Letter Window
 Other _____

Height above Ground at Signs: Lower Edge: _____ Upper Edge: _____

Height of Sign Structure: _____ Sign Width: _____ Length: _____ Area in Sq Ft: _____

Number of Faces: _____ Sign Material/Color/Font: _____

Location of Sign (Include photo): _____

Lighting Type/Fixture (No internal illumination is allowed): _____

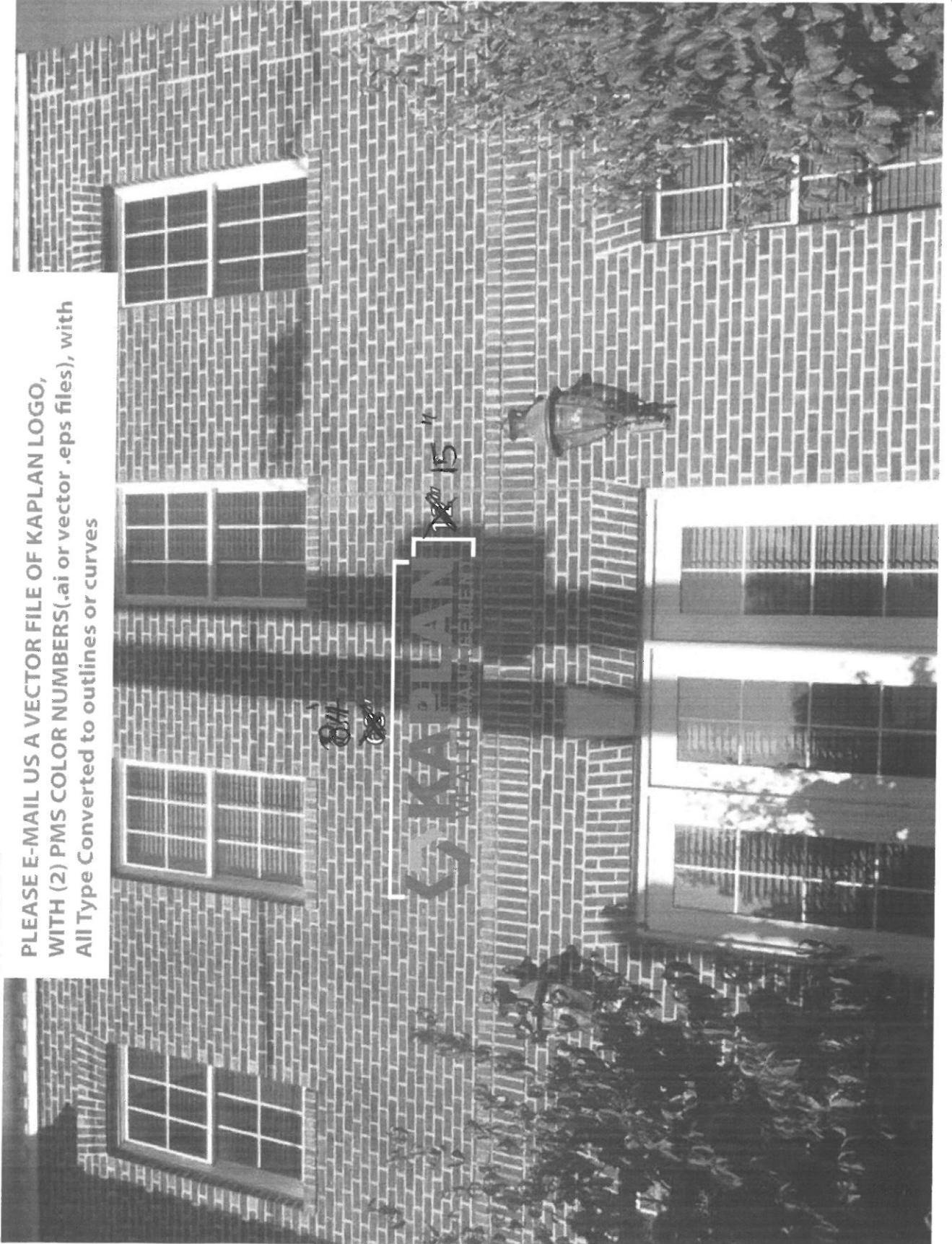
Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001 : Sign Application, 15100 Washington Street)



(1 X) set of Routed/Raised 1/4" Aluminum Dimensional Letters, 12" x 63"

Produce to install: (1x) set of Routed/Raised 1/4" THICK PAINTED ALUMINUM Dimensional Letters, 12" x 63"
Graphics/ Lettering: PAINTED 2) PMS COLORS OF CLIENT LOGO, WITH PAINTED SIDES IN 2) PMS COLORS
Install: **STUD MOUNTED ON BRICK**

PLEASE E-MAIL US A VECTOR FILE OF KAPLAN LOGO,
WITH (2) PMS COLOR NUMBERS(.ai or vector .eps files), with
All Type Converted to outlines or curves



Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001: Sign Application, 15100 Washington Street)



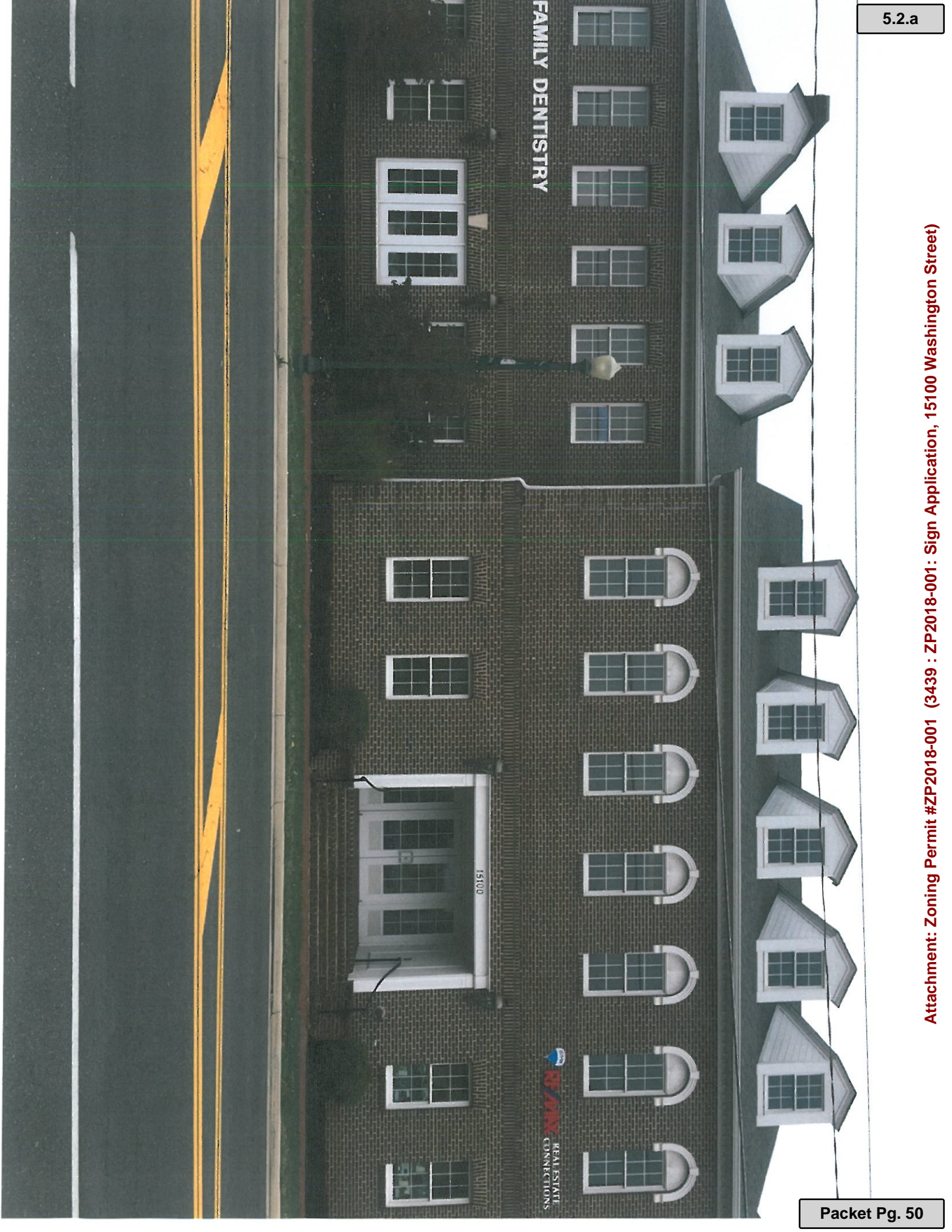
W = 34"
H = 15"

TO MATCH REMAX
SIGN

Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001: Sign Application, 15100 Washington Street)



Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001 : Sign Application, 15100 Washington Street)





RED IS RAICIL FROM BUILDING

Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001 : Sign Application, 15100 Washington Street)



9408 Gunston Cove Road
Suite E
Lorton, VA 22079
800-942-9944
(Local) 703-550-2233 (Fax) 703-550-2710

November 10, 2017

Proposal 1

ATTN: Brad Kaplan

New Home Media agrees to furnish to **Kaplan Wealth Management** all materials necessary to complete the following:

Qty	DESCRIPTION	UNIT PRICE
(1)	63" x 12" Routed Aluminum Letters	\$1985.00
	Installation (stud mounted to brick)	\$445.00
Or		
(1)	63" x 12" Acrylic Letters	\$1245.00
	Installation (stud mounted to brick)	\$445.00

****PRICE DOES NOT INCLUDE PERMITS, ENGINEERING OR TAX UNLESS SPECIFICALLY STATED****

TERMS AND CONDITIONS

1. **BALANCE IS TO BE PAID IN FULL UPON COMPLETION OF WORK UNLESS CREDIT TERMS HAVE BEEN PREVIOUSLY ESTABLISHED.** IF BUYER FAILS TO MAINTAIN A SATISFACTORY CREDIT HISTORY, TERMS WILL BE CHANGED TO CASH ON DELIVERY. BUYER AGREES TO PAY A SERVICE CHARGE ON PAST DUE AMOUNTS FROM THE DATE THEY BECOME DUE TO THE DATE NEW HOME MEDIA RECEIVES PAYMENT, AT THE RATE OF TWO PERCENT (2%) PER MONTH. ANY AND ALL EXPENSES, INCLUDING ANY ADDITIONAL COSTS AND ATTORNEY'S FEES INCURRED BY NEW HOME MEDIA IN COLLECTING PAST DUE AMOUNTS WILL BE ADDED TO THE PURCHASE PRICE AND PAID BY THE BUYER AS PART OF THIS AGREEMENT.
2. ANY CHANGES MADE TO THE ABOVE SPECIFICATIONS BY KAPLAN WEALTH MANAGEMENT THAT INVOLVE EXTRA COSTS, MUST BE SUBMITTED IN WRITING AND WILL BE ADDED TO THE TOTAL AMOUNT DUE.
3. THIS PROPOSAL MAY BE WITHDRAWN IF NOT ACCEPTED WITHIN THIRTY (30) DAYS. WORK WILL NOT BEGIN UNTIL ALL REQUIREMENTS ARE MET AND WRITTEN ACCEPTANCE IS RECEIVED.
4. ALL TERMS AND CONDITIONS OF THIS CONTRACT SHALL BE BINDING UPON ANY SUCCESSORS, ASSIGNEES OR OTHER LEGAL REPRESENTATIVES OF THE RESPECTIVE PARTIES BUT NO ASSIGNMENT SHALL BE MADE BY THE CUSTOMER WITHOUT THE WRITTEN CONSENT OF NEW HOME MEDIA.
5. THE CUSTOMER AGREES TO PAY FOR THE COST OF OBTAINING ALL PERMITS REQUIRED, AS WELL AS ANY ADMINISTRATIVE COSTS THAT ARE INCURRED. THESE COSTS WILL BE IN ADDITION TO THE TOTAL AMOUNT DUE ABOVE.

THE ABOVE PRICES, SPECIFICATIONS AND CONDITIONS ARE SATISFACTORY AND ARE ACCEPTED. NEW HOME MEDIA IS AUTHORIZED TO DO THE WORK AS SPECIFIED. PAYMENT WILL BE MADE AS OUTLINED ABOVE.

CHARLES B SMITH, Jr. (NEW HOME MEDIA)

DATE

AUTHORIZED SIGNATURE

DATE

Attachment: Zoning Permit #ZP2018-001 (3439 : ZP2018-001: Sign Application, 15100 Washington Street)



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Emily Lockhart
TOWN PLANNER

MEMORANDUM

TO: Architectural Review Board
FROM: Emily Lockhart, Town Planner
DATE: January 11, 2018
SUBJECT: Zoning Permit #2018-001, 15100 Washington St.

APPLICATION SUMMARY:

The applicant is applying for a certificate of appropriateness for a new sign. The business, Kaplan Wealth Management is located at 15100 Washington St, in the B-1 Zoning District.

- Sign Type: Individual Letters, Stud Mounted to the Exterior Wall
- Total Square Footage: 8.75 sq. ft
- Material: ¼" Thick Painted aluminum
- Color: Green and Blue logo and White letters
- Letter Height: = 15"
- Sign will be at the same height as the Remax sign
- Total width 84" or 7 feet

The materials, color, and size all fall within the ARB Guidelines. The sign will be mounted on the exterior wall that fronts Washington Street. Pictures of the sign are included in the packet for location, proximity, and size.

STAFF RECOMMENDATION:

Staff recommends visiting the location prior to the meeting to become familiar with the surroundings, the view points as one approaches the building and the nature of the site. The applicant has put forth a sign that meets the ARB's guidelines. Upon consideration of the site, Staff recommends approving ZP#2018-001, Certificate of Appropriateness for a sign located at 15100 Washington St.

DRAFT MOTION:

"I make a motion to approve Zoning Permit #2018-001, for a new sign for Kaplan Wealth Management, located at 15100 Washington Street."

Or An alternate motion.

RECEIVED
JAN 05 2018
TOWN OF HAYMARKET



P A D
JAN 05 2018
By Mary Hitchcock

ZONING PERMIT APPLICATION

ZONING PERMIT #: 2018-002

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING ACTIVITY: New Construction Alteration/Repair Addition Sign (See Spec sheet)
(Check all that apply) New Tenant/Use Change of Use Relocation

NAME OF BUSINESS/APPLICANT: School of Rock Haymarket

PROPOSED USE: front door Size (Sq. Ft./Length) of Construction: 9'x4'

SITE ADDRESS: 15101 Washington St Haymarket VA Parcel ID #: 7298-80-3903

Subdivision Name: N/A Lot Size: _____

ZONING DISTRICT: R-1 R-2 B-1 B-2 I-1 C-1

Special Use Permit Required: Yes No Site Plan Required: Yes No

Off-street Parking: Spaces Required: N/A Spaces Provided: N/A

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, height/length of fencing, deck specs, etc.)
replace broken front door with same style & same color wood & tile red

Supporting Documentation (attached): Narrative Plan/Plat Specification Sheet

FEE: \$25.00 Residential \$50.00 Commercial

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc. See Sign Spec Sheet for Signage detail)
attached

Supporting Documentation (attached): Specification Sheet Photograph(s)

PERMIT HOLDER INFORMATION	PROPERTY OWNER INFORMATION
Name: <u>Mary Hitchcock</u>	Name: <u>Winterham II LLC</u>
Address: <u>2021 Tranquil Ct</u>	Address: <u>4919 Bethesda Ave #200</u>
City: <u>Sterling VA</u> State: <u>VA</u> Zip: <u>20165</u>	City: <u>Bethesda MD</u> State: <u>MD</u> Zip: <u>20814</u>
Phone#: <u>703-725-9132</u> Email: <u>mhitchcock@schoolofrock.com</u>	Phone#: <u>(571)437-8683</u> Email: <u>jperkins@woodmont.us</u>


Attachment: Zoning Permit #ZP2018-002 (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)

APPLICANT / PROPERTY OWNER SIGNATURE

*******REQUIRED*******

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.


Applicant Signature


Property Owner Signature

*****OFFICE USE ONLY*****

Date Filed: 01/05/2018 Fee Amount: \$50.00 Date Paid: 01/05/2018

DATE TO ZONING ADMINISTRATOR: _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

SIGNATURE

PRINT

CONDITIONS:

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

SIGNATURE

PRINT

CONDITIONS:

DATE TO TOWN COUNCIL (IF APPLICABLE): _____

APPROVED DISAPPROVED TABLED UNTIL: _____ DEFERRED UNTIL: _____

TOWN COUNCIL (where required):

SIGNATURE

PRINT

CONDITIONS:

Attachment: Zoning Permit #ZP2018-002 (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)



C.M. HUNTER, inc

16 Mucklehany Ln
Sterling, VA 20165
703-307-4613

PROPOSAL

BILL TO:

Mary Hitchcock
Haymarket School Of Rock

PHONE:

703-725-9132

DATE:

January 3, 2018

We hereby submit specifications to:

- | | |
|--|--------------------------|
| <p>1) Build and install custom front doors to approximate existing historic doors.</p> <p>A) Build two 24" wide wooden doors with tempered class windows that match the shape of the existing ones.</p> <p>B) Install new hinges.</p> <p>C) Install modern rustic style lock set.</p> <p>D) Doors will be 1-1/2" thick and primed. Finish paint by others.</p> <p>E) Doors will be fitted and hung in existing door jams.</p> | <p>\$1,668.00</p> |
|--|--------------------------|



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Emily Lockhart
TOWN PLANNER

MEMORANDUM

TO: Architectural Review Board
FROM: Emily Lockhart, Town Planner
DATE: January 11, 2018
SUBJECT: Zoning Permit #2018-002, 15101 Washington Street, School of Rock.

APPLICATION SUMMARY:

The applicant is applying for a certificate of appropriateness to replace the front doors on the School of Rock Building. The current front doors have inset stained glass. The front doors and stained-glass are damaged creating safety issues. Photos of the current doors are attached on the next page.

The applicant is proposing to replace the damaged front doors with custom built doors in the same style and same Toile Red color. The applicant is proposing to replace the stained-glass features with tempered glass windows.

STAFF RECOMMENDATION:

The damaged doors are creating safety issues for the business and need to be replaced. The ARB should consider the style and color of the door. Upon submission of the application the applicant stated that there is a possibility to replace the stained-glass portion with new stained-glass. She is working with a designer on this aspect of the project and will present the details at the meeting on January 17, 2018.

Upon consideration of the site, the historic character of the home and the safety issues with the current damaged front door, Staff recommends the Architectural Review Board approve ZP#2018-002, Certificate of Appropriateness to replace the damaged front doors at 15101 Washington Street.

DRAFT MOTION:

"I make a motion to approve Certificate of Appropriateness ZP#2018-002, to replace the damaged front doors at 15101 Washington Street, School of Rock with custom built doors and stained-glass features that will replicate the existing doors."

"I make a motion to approve Certificate of Appropriateness ZP#2018-002, to replace the damaged front doors at 15101 Washington Street, School of Rock with custom built doors and tempered glass features that will replicate the existing doors."

Or An alternate motion.



Attachment: ZP2018-002 Staff Report (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)



Attachment: ZP2018-002 Staff Report (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)



Attachment: ZP2018-002 Staff Report (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)



Attachment: ZP2018-002 Staff Report (3440 : ZP2018-002: Damaged Door Application, 15101 Washington Street)