



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ AGENDA ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

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Wednesday, March 16, 2016

7:00 PM

Council Chambers

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### 1. Call to Order

### 2. Citizens Time

### 3. Minutes Approval

- i. Architectural Review Board - Regular Meeting - Jan 20, 2016 7:00 PM

### 4. Certificate of Appropriateness

- i. 6762 Sycamore Park Drive - Deck and Fence
- ii. 6740 Fayette Street - Replace Windows and Doors

### 5. Town Council Update

### 6. Planning Commission Update

### 7. New Business

### 8. Old Business

- i. ARB Task List

### 9. Adjournment



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ MINUTES ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

Wednesday, January 20, 2016

7:00 PM

Council Chambers

A Regular Meeting of the Architectural Review Board of the Town of Haymarket, VA, was held this evening in the Board Room, Commencing at 7:00 PM

called the meeting to order.

### 1. Call to Order

Chair Kenneth Luersen: Present, Architect John Parham: Present, Councilwoman Susan Edwards: Present, Board Member Nicole Zimnoch: Absent, Board Member Robert Day: Present, Commissioner Connor Leake: Present.

### 2. Citizens Time

No Citizen spoke.

### 3. Minutes Approval

i. Architectural Review Board - Regular Meeting - Nov 18, 2015 7:00 PM  
Minutes approved with no exceptions.

|                  |                                      |
|------------------|--------------------------------------|
| <b>RESULT:</b>   | <b>ACCEPTED [UNANIMOUS]</b>          |
| <b>MOVER:</b>    | Susan Edwards, Councilwoman          |
| <b>SECONDER:</b> | Connor Leake, Commissioner           |
| <b>AYES:</b>     | Luersen, Parham, Edwards, Day, Leake |
| <b>ABSENT:</b>   | Nicole Zimnoch                       |

### 4. Certificate of Appropriateness

i. 14710 Washington Street - Relocation/Demo

Certificate of Appropriateness is approved for the Relocation only of the structure located at 14710 Washington Street per the adopted Harrover Master Plan with the additional conditions:

- Interpretive signage included on the property
- Complete photo documentation of the structure
- Historical/archeological documentation of the interior and exterior structure

If the physical structure located at 14710 Washington Street does not sell, the Town will need to submit a new Certificate of Appropriateness application for demolition.

|                  |  |
|------------------|--|
| <b>RESULT:</b>   | <b>ADOPTED [4 TO 1]</b>                                  |
| <b>MOVER:</b>    | Susan Edwards, Councilwoman                              |
| <b>SECONDER:</b> | Connor Leake, Commissioner                               |
| <b>AYES:</b>     | Kenneth Luersen, Susan Edwards, Robert Day, Connor Leake |
| <b>NAYS:</b>     | John Parham  |
| <b>ABSENT:</b>   | Nicole Zimnoch   |

### 5. Town Council Update

Councilwoman Edwards updates the Board.

Old Carolina Road is back open. We can now use the bridge once again. However, the pedestrian shared use path is not complete.

Minutes Acceptance: Minutes of Jan 20, 2016 7:00 PM (Minutes Approval)

Chick-fil-A received its final approval from Council. Sheetz was approved for a Special Use Permit. They will need to present their final site plan to Council.

The Connolly funds to extend the shared use path were not discussed at the last Council meeting. However, Holly the Town's Engineer is working on finalizing the plans. Rinker Design and Associates has the contract for the extended path and is working in conjunction with the bridge work.

Quiet Zone - Unfortunately, there was recent accident at the crossing that currently removes the Town out of the safety eligibility for declaring a Quiet Zone. Supervisor Pete Candland came up with the funds for the upgrade at the crossing. Hopefully we will eventually get there.

Dominion Virginia Power - the SCC public hearing is coming up at the end of February.

## 6. Planning Commission Update

Commissioner Leake updates the Board.

The Planning Commission passed the new Sign Ordinance. Most of the rewrites were due to Supreme Court decisions. In regards to any questions, I would suggest consulting our Town attorney.

The Planning Commission along with the Town Council held a Joint Public Hearing for the three properties on Washington Street between St. Paul Drive and Madison Court. The Planning Commission voted in favor to move it forward to the Town Council and the Town Council voted to amend those properties to the Planned Use Map. It would change them from residential to commercial. However, that doesn't mean they automatically become commercial. What it does mean it will allow the property owners to come to the Planning Commission

## 7. New Business

### i. Sign Ordinance - Revised Draft

Marchant Schneider, Town Planner updates the Board on the Sign Ordinance.

This is a complete re-write of the Sign Ordinance. There are several distinctive areas in the Town from the industrial, to the highly commercial West end, to the pedestrian oriented interior. What the ordinance sought to do is create districts. The further West the more larger your sign.

What came from the Court decision is you cannot regulate the content of the signs. The ARB can regulate size, scale, and mass of the sign as well as materials and colors. The ARB will have 60 days to review all signs. However, temporary signs will not need to come before the ARB.

I recommend if you would like make suggestions to the ordinance that you do so in the February ARB meeting and I will take it before the Council in March.

## 8. Old Business

### i. ARB Task List

Chair Luersen has no updates at this time.

Luersen adds: *Once the ARB has met with the representatives with Journey Through Hallowed Ground at the February 17th work session we'll have more of a direction for our Town signs.*

## 9. Adjournment

### i. Motion to Adjourn

|                  |                                      |
|------------------|--------------------------------------|
| <b>RESULT:</b>   | <b>ADOPTED [UNANIMOUS]</b>           |
| <b>MOVER:</b>    | Susan Edwards, Councilwoman          |
| <b>SECONDER:</b> | Connor Leake, Commissioner           |
| <b>AYES:</b>     | Luersen, Parham, Edwards, Day, Leake |
| <b>ABSENT:</b>   | Nicole Zimnoch                       |

Submitted:

Approved:

\_\_\_\_\_  
Denise Andrews, ARB Clerk

\_\_\_\_\_  
Ken Luersen, Chair

Minutes Acceptance: Minutes of Jan 20, 2016 7:00 PM (Minutes Approval)



TO: Architectural Review Board  
SUBJECT: 6762 Sycamore Park Drive - Deck and Fence  
DATE: 03/16/16

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Homeowner David Barr at 6762 Sycamore Park Drive would like to build a 14'x16' deck of the back of his home. This deck will be constructed of pressure treated lumber (natural in color) following the Prince William County typical residential deck design guidelines. He would also like to fence the back of his property extending out the left side and right side of the home 4 ft. to rear of property line at 36 ft.

**ATTACHMENTS:**

- 6762 Sycamore Park Drive - Deck and Fence (PDF)



RECEIVED

MAR - 8 2016

TOWN OF HAYMARKET

# ZONING PERMIT APPLICATION

ZONING PERMIT #: 2 P 2016-005

**NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.**

ZONING ACTIVITY:  New Construction  Alteration/Repair  Addition  Sign (See Spec sheet)  
(Check all that apply)  New Tenant/Use  Change of Use  Relocation

NAME OF BUSINESS/APPLICANT: David Barr

PROPOSED USE: Personal Size (Sq. Ft./Length) of Construction: 14x16ft

SITE ADDRESS: 6762 Sycamore Park Drive Parcel ID #: 15

Subdivision Name: Villages of Haymarket Lot Size: \_\_\_\_\_

ZONING DISTRICT:  R-1  R-2  B-1  B-2  I-1  C-1 Site Plan Required:  Yes  No

Special Use Permit Required:  Yes  No Homeowners Association (HOA) Approval:  Yes  No

Off-street Parking: Spaces Required: N/A Spaces Provided: N/A **SUBMITTED**

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, height/length of fencing, deck specs, etc.)

Deck off back of house with a 9ft height, 14ft x 16ft.

Fence back of property extending out the left side and right side of house 4ft, to rear property line at 36ft.

Supporting Documentation (attached):  Narrative  Plan/Plat  Specification Sheet

FEE:  \$25.00 Residential  \$50.00 Commercial

PAID MAR - 8 2

## CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc. See Sign Spec Sheet for Signage detail)

CONSTRUCTED OF PRESSURE TREATED LUMBER (NATURAL COLOR) FOLLOWING THE PRINCE WILLIAM COUNTY TYPICAL RESIDENTIAL DECK DESIGN GUIDELINES

Supporting Documentation (attached):  Specification Sheet  Photograph(s)

### PERMIT HOLDER INFORMATION

David Barr

Name

6762 Sycamore Park Drive

Address

Haymarket VA 20169

City

State

Zip

703-585-6525

davidbarr77@gmail.com

Phone#

Email

### PROPERTY OWNER INFORMATION

David Barr

Name

6762 Sycamore Park Drive

Address

Haymarket VA 20169

City

State

Zip

703-585-6525

davidbarr77@gmail.com

Phone#

Email

**APPLICANT / PROPERTY OWNER SIGNATURE**

**\*\*\*\*\*REQUIRED\*\*\*\*\***

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

David Barn  
Applicant Signature

David Barn  
Property Owner Signature

**\*\*\*OFFICE USE ONLY\*\*\***

Date Filed: 3/8/16 Fee Amount: \$ 25.00 Date Paid: 3/18/16

**DATE TO ZONING ADMINISTRATOR:** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
PRINT

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

**DATE TO ARCHITECTURAL REVIEW BOARD (ARB):** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
PRINT

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

**DATE TO TOWN COUNCIL (IF APPLICABLE):** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
PRINT

TOWN COUNCIL (where required):  
\_\_\_\_\_  
\_\_\_\_\_

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

Attachment: 6762 Sycamore Park Drive - Deck and Fence (2746 : 6762 Sycamore Park Drive - Deck and Fence)

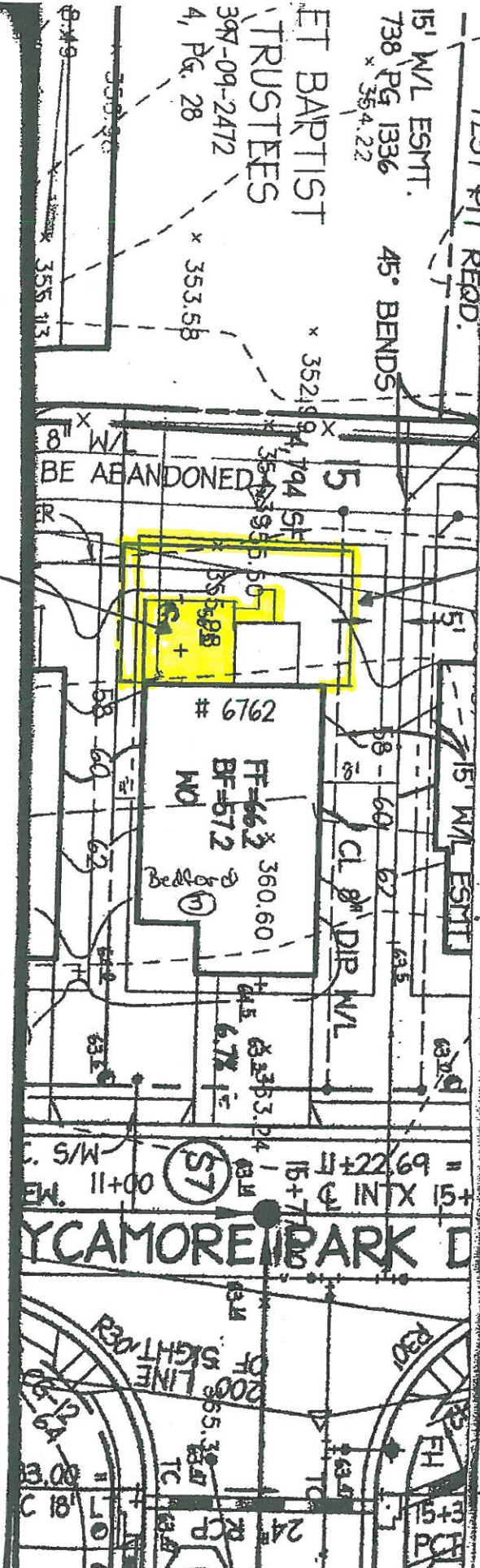


Villages of Haymarket  
6762 Sycamore Park Drive  
Haymarket, VA 20169  
Lot 15, Section 1

Set Backs:  
Front: 19'  
Right side: 8'  
Left side: 4'  
Rear: 33'

DECK

FENCE



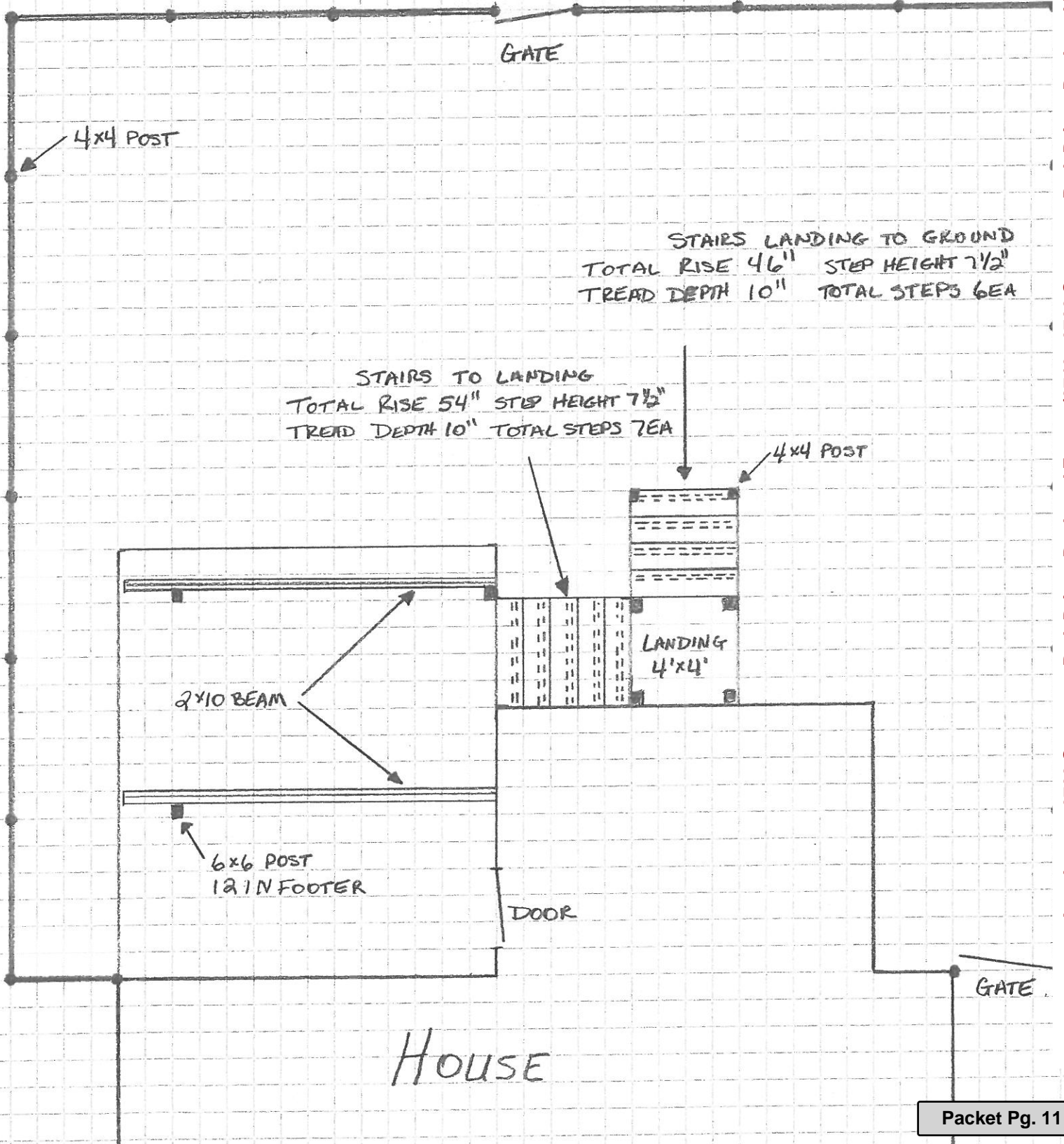


# BARR DECK AND FENCE

1 SQUARE = 1 FT

DECK HEIGHT = 9F

## EXHIBIT A

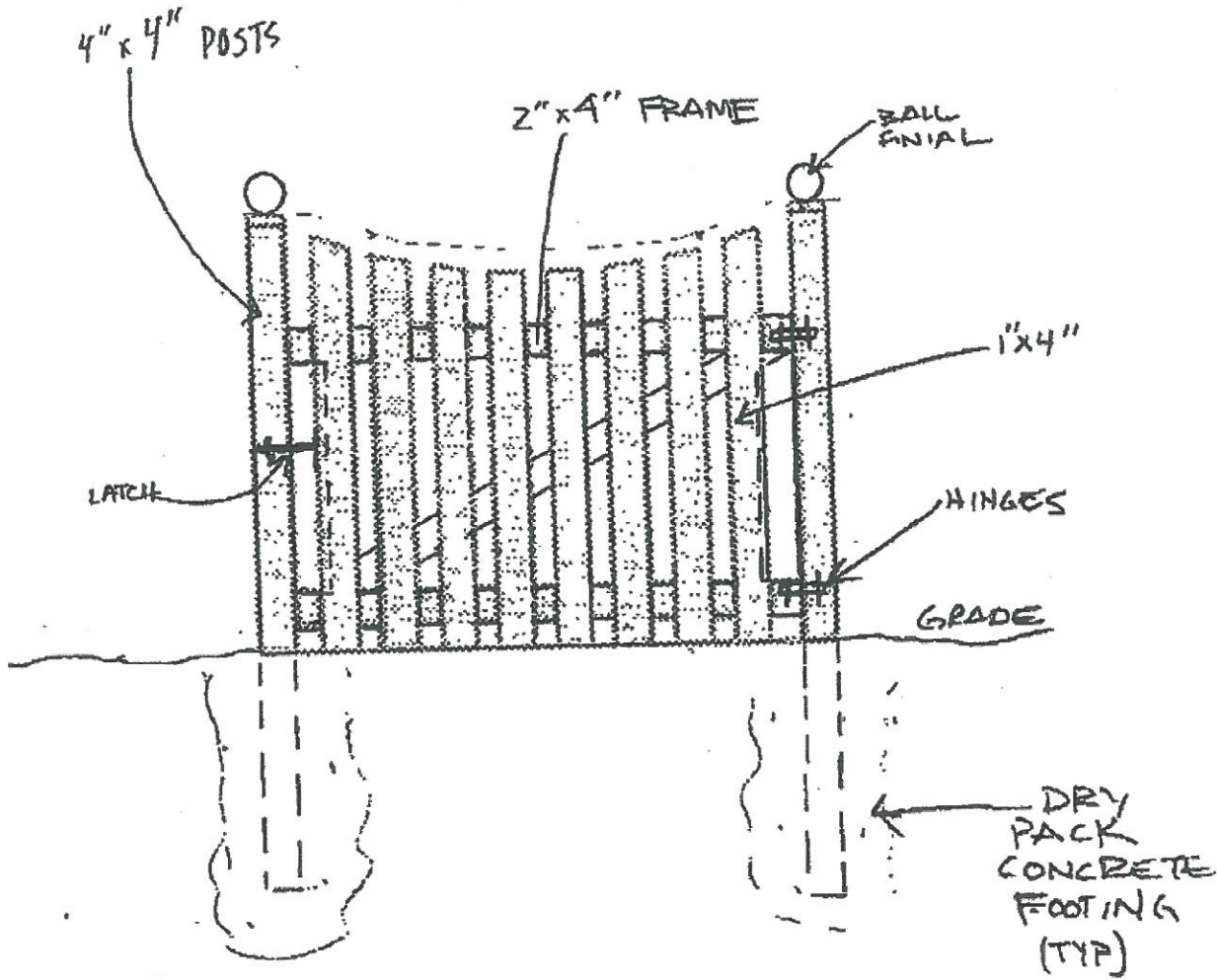


Attachment: 6762 Sycamore Park Drive - Deck and Fence (2746 : 6762 Sycamore Park Drive - Deck and Fence)

EXHIBIT B



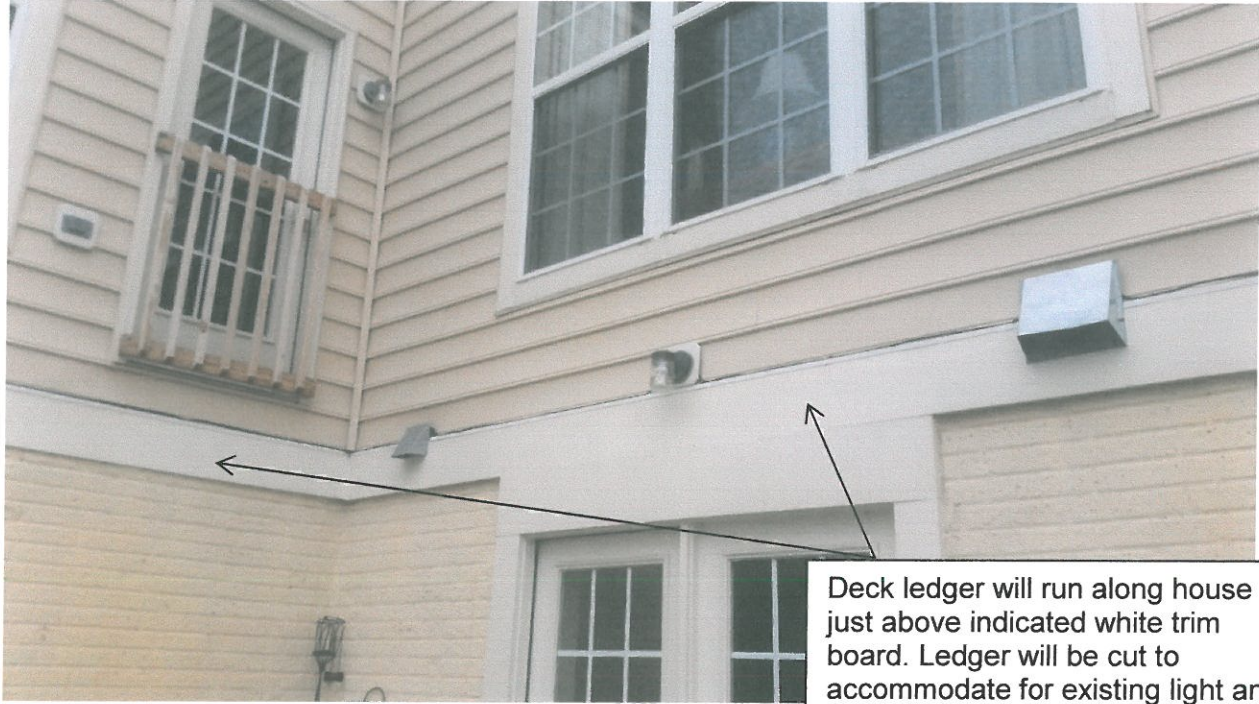
EXHIBIT C



Attachment: 6762 Sycamore Park Drive - Deck and Fence (2746 : 6762 Sycamore Park Drive - Deck and Fence)

EXHIBIT D

Rear of house where deck will be constructed



Deck ledger will run along house just above indicated white trim board. Ledger will be cut to accommodate for existing light and pipes.

Example of a house with construction design



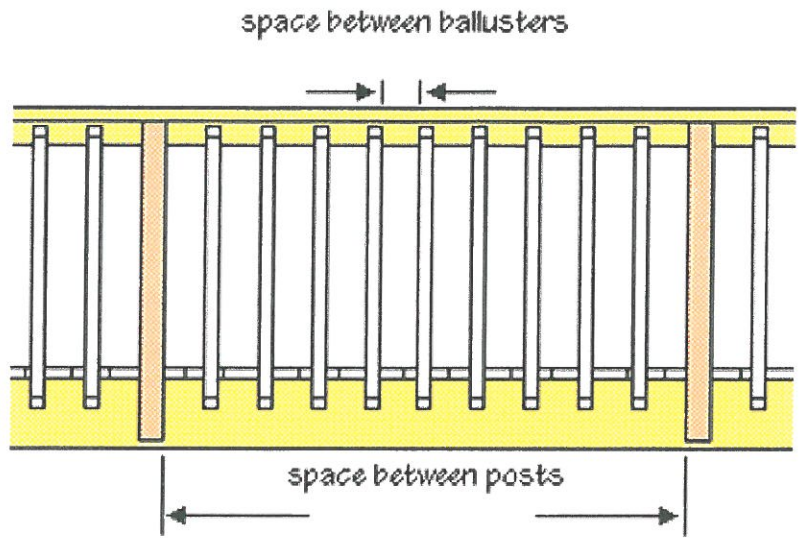
Deck will have a smooth flow from rail post to post as shown in picture.

Deck will have railing posts closing off all area from baluster to the ledger board.

Attachment: 6762 Sycamore Park Drive - Deck and Fence (2746 : 6762 Sycamore Park Drive - Deck and Fence)

EXHIBIT D

Example of deck railing design



Attachment: 6762 Sycamore Park Drive - Deck and Fence (2746 : 6762 Sycamore Park Drive - Deck and Fence)

Deck dimensions are as follows:

Height: 9 ft.

Width: 14ft. (back door to side of house)

Depth: 16ft. (back of house out towards rear property line)

The deck will be constructed from pressure treated lumber, following the Prince William County Typical Residential Deck Design Guidelines.

Refer to the attached Exhibit A blueprint for more explanation on dimensions of deck, and construction and dimensions for the steps, including measured locations for supporting posts and footers. Additionally, attached Exhibit D for railings example.

Fence dimensions are as follows:

Height: 4 ft.

Posts spread: 6 ft.

Picket's low point: 43 in.

Fence style request for a picket fence as shown in Exhibit B (an approved fence design by the Town of Haymarket), however Villages of Haymarket HOA Agricultural Guidelines only shows a fence style as shown in Exhibit C.

The fence will be constructed from pressure treated lumber, following the dimensions as described above measuring out the rear sides of the house 4 feet on each side, running toward rear property line at 36 ft total, and rear fence line connecting with a total 38 ft run.



TO: Architectural Review Board  
SUBJECT: 6740 Fayette Street - Replace Windows and Doors  
DATE: 03/16/16

---

St. Paul's Episcopal Church would like to replace 27 windows and 3 doors on the Meade House located at 6740 Fayette Street.

Please see attached narrative.





RECEIVED

MAR 10 2016

TOWN OF HAYMARKET

# ZONING PERMIT APPLICATION

ZONING PERMIT #: ZP2016-007

*NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.*

**ZONING ACTIVITY:**  New Construction  Alteration/Repair  Addition  Sign (See Spec sheet)  
(Check all that apply)  New Tenant/Use  Change of Use  Relocation

**NAME OF BUSINESS/APPLICANT:** St. Paul's Episcopal Church / Rev. Sean K. Rousseau

**PROPOSED USE:** Meade House - Rental Size (Sq. Ft./Length) of Construction: windows/doors

**SITE ADDRESS:** 6740 Fayette Street Parcel ID #: \_\_\_\_\_

Subdivision Name: \_\_\_\_\_ Lot Size: \_\_\_\_\_

**ZONING DISTRICT:**  R-1  R-2  B-1  B-2  I-1  C-1 Site Plan Required:  Yes  No

Special Use Permit Required:  Yes  No Homeowners Association (HOA) Approval:  Yes  No

Off-street Parking: Spaces Required: \_\_\_\_\_ Spaces Provided: \_\_\_\_\_

**BRIEF DESCRIPTION OF ACTIVITY:** (i.e. previous use, height/length of fencing, deck specs, etc.)

Replacement of 27 windows and 3 doors

Supporting Documentation (attached):  Narrative  Plan/Plat  Specification Sheet

**FEE:**  \$25.00 Residential  \$50.00 Commercial

PAID MAR 10 2016

## CERTIFICATE OF APPROPRIATENESS

**ADDITIONAL DESCRIPTION:** (i.e. color, type of material, font style, etc. See Sign Spec Sheet for Signage detail)

Please see narrative and proposal for work from Lowe's.

Supporting Documentation (attached):  Specification Sheet  Photograph(s)

### PERMIT HOLDER INFORMATION

Lowe's

Name

13000 Gateway Center Drive

Address

Gainesville, VA 20155

City

State

Zip

571-379-3320

dustin.skipper@store.lowe's

Phone#

Email

### PROPERTY OWNER INFORMATION

St. Paul's Episcopal Church

Name

6750 Fayette Street

Address

Haymarket, VA 20169

City

State

Zip

703-753-2443

stpaulsepiscopalhaymarket

Phone#

Email

**APPLICANT / PROPERTY OWNER SIGNATURE**

**\*\*\*\*\*REQUIRED\*\*\*\*\***

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

*Joseph K. Ramm*  
Applicant Signature

*St. Paul's Episcopal Church*  
Property Owner Signature

**\*\*\*OFFICE USE ONLY\*\*\***

Date Filed: 03/10/14 Fee Amount: \$ 25.00 Date Paid: 03/10/14

**DATE TO ZONING ADMINISTRATOR:** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

CONDITIONS: \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT \_\_\_\_\_

**DATE TO ARCHITECTURAL REVIEW BOARD (ARB):** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

CONDITIONS: \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT \_\_\_\_\_

**DATE TO TOWN COUNCIL (IF APPLICABLE):** \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

TOWN COUNCIL {where required}: \_\_\_\_\_  
CONDITIONS: \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ PRINT \_\_\_\_\_

Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)



## ST. PAUL'S EPISCOPAL CHURCH

6750 Fayette Street, Haymarket, VA 20169

Office Phone: 703-753-2443

Email: [stpaulsepiscopalthaymarket@gmail.com](mailto:stpaulsepiscopalthaymarket@gmail.com)

Website: [www.stpaulsepiscopalthaymarket.org](http://www.stpaulsepiscopalthaymarket.org)

March 10, 2016

Dear Marchant Schneider,

On behalf of St. Paul's Episcopal Church, I am writing to you to file an Application and Certificate of Appropriateness for repair/replacement of windows and doors at the Meade House, a Rental property, with the Town of Haymarket.

Currently, the twenty-seven windows and three doors are made of wood, and painted white in color. The paint is peeling, and the wood is beginning to rot away.

Due to durability and cost, we would like to replace the current windows and doors with new windows and doors that are exactly the same design, size, shape, and color. The new windows and doors specifications are contained in the information provided. The following information is included with this letter: Application and Certificate of Appropriateness, vendor information, sample window and door information, property plat, and photos of building.

Please let me know if you need any additional information. I am happy to provide any information that is necessary to help with this process. I appreciate your ongoing guidance as we work to keep our buildings and property beautiful. Thank you for your help and attention to this matter.

Sincerely,

The Rev. Sean K. Rousseau  
Rector



## Installation Proposal - Windows

1/29/2016

|                     |                    |                   |                |
|---------------------|--------------------|-------------------|----------------|
| Store #             | 1870               | Salesperson       | Dustin Skipper |
| Customer Name       | Bunny Barrett      | License #         |                |
| 2nd Contact Name    |                    | Home Phone        | 571-248-2129   |
| Job Site Address    | 6740 fayette st    | Work / Cell Phone |                |
| City, State and Zip | Haymarket VA 20169 | Customer email    |                |

## Preparation :

- Pre-installation inspection
- Provide appropriate protection to home during installation
- Obtain and post any necessary permits
- Dedicated project support staff will be in contact with you every step of the way

## Additional Considerations :

- Install new interior casing
- Install new exterior trim
- Install new exterior wrap (trim coil)
- Custom work: see below

## Installation :

- Remove and haul away existing windows
- Check existing windows for leaks and evidence of pest infestation
- Install new windows and window accessories, including required caulk, stops, and fasteners

## Clean-up / Final Inspection :

- Complete final cleanup and haul away all job related debris
- Test product and perform complete inspection with customer

## Notes &amp; Product Description

Lowe's will remove 27 windows. We will install 27 new united 4800 series white double hung Windows. Windows will have Low-E and argon gas. Windows will have Colonial grids between glass To match existing pattern of other windows. Windows will be white in color. Bedroom number 3 and Walk-in closet windows (qty 4 windows) will have tempered lower sash per county code. Windows will be Properly installed caulked and insulated. Exteriors of the windows will be Wrapped in a PVC coated Aluminum for low maintenance. All storm windows and windows will Be hauled away and job site Cleaned up. All Lowe's installers are background checked licensed and Insured. You have a 1 year Installation warranty backed by Lowe's. Windows have a lifetime window Frame and glass warranty. Your satisfaction is guaranteed.

If you move forward with Lowe's installer will have to do a LEAD check, if positive it will be an additional \$1242.00 to job total.

Doors- we will remove front entry door with sidelight and transom, and 2 side doors. We will install New Masonite fiberglass smooth doors. Front door will be 2 light top with half-light sidelights, and side Doors will be half-light entry doors. (door styles can be changed price may vary) all doors will be Pre-painted from the factory inside and out(color to be determined) jambs will be wrapped in matching PVC aluminum like windows. Back door and side door will have white storm doors on them. All doors Will be properly installed. 1 year installation warranty. Total investment for 3 doors and 2 storm doors \$6238.94

Total Investment

\$12,676.34

Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

1.800.848.4550

Home Windows Doors Services Projects About Us Careers Contact Us

Windows

New Construction

8000 Series

5500 Series

2900 Series

700 Series

FrameWorks

Replacement

8000 Series

4800 Series

700 Series

Bays & Bows

Garden Windows

Doors

3131 Series

1200 Series

Membership Links



United Window & Door 4800 Series Replacement Windows



[4800 Architectural Specs](#)

[4800 Test Results](#)

Overview

When you choose a double-hung, the slim lines and beautifully beveled exterior will make your home attractive both inside and out.

Besides beauty and flexibility, our 4800 Series double-hung window is designed to perform, saving you money on energy costs.

With grids between the glass for easy cleaning this window can brighten your home with classic style while providing years of energy saving performance as well as giving you the sense of security we all look for in a window product.

Features:

- AAMA Certified Lineals to insure high quality
- NFRC Rated for easy comparison to other windows
- Tilt-in sashes for easy cleaning
- Recessed tilt latches on top and bottom sash for easy sash tilting
- Coextruded lift rail for solid construction.
- Night / vent latches for ventilation
- White in color (Standard)
- Made on the 1/8" for width and height.
- Welded Frame and Sashes for air tight seal
- Pocket Sill to insure easy drainage

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[Window Repair Manual](#)

[How to Measure](#)

[Sash Installation Video](#)

[Window Installation Instructions](#)

[Door Installation Instructions](#)

[Glossary](#)

Highlight

United Window & Door

Chosen to Supply and Install Windows for ABC TV's "Extreme Makeover: Home Edition"!



Watch Extreme Home Makeover and United Window & Door team up to help a family in need build their dream house [here](#).

Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

- Warranty

**Available Options:**

- Grids between the glass for easy cleaning and good looks.
- Smarter Low-E Glass
- Obscure Glass
- White
- Beige

24-36 Fadem Road · Springfield, NJ 07081 · 800.848.4550  
Career Opportunities Terms Of Use Employees  
Website by Emma Hazen

Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

## United Window & Door - Series 4800 Replacement Double Hung Windows Specifications

### Part 1 GENERAL

#### 1.01 INCLUSIONS

1. All windows as called for in this specification will be furnished with all necessary hardware and parts as herein specified and shall be manufactured by United Window and Door Manufacturing, Inc.

#### 1.02 RELATED SECTIONS

As required

#### 1.02 QUALITY ASSURANCE

##### A. General.

1. Provide independent third party notice of product certification showing products to be in full compliance with ANSI/AAMA/NWWDA 101/I.S.2.
  - a. Vinyl Double Hung window to be United Series 4800 H-R20 44" x 63".
  - b. Optional- vinyl Double hung window to be Series 4800 H-R30 44" x 63'.

##### B. Test Units.

1. Perform all tests listed in accordance with ANSI/AAMA/NWWDA 101/ I.S.2 and others.

##### C. Test Procedures.

1. Air Infiltration Test- With the window in the closed and locked position test in accordance to ASTM E283 at a static pressure of 1.56 psf (25 mph). Air infiltration shall not exceed maximum of .21 cfm per square foot of frame area.
2. Water Resistance Test- With the window in the closed and locked position test in accordance with ASTM E547 at the static pressure of 4.5 psf. There shall be no uncontrolled water leakage as defined in ASTM E547.
3. Uniform Load Test- with the window in a closed and locked position test in accordance to ASTM E330. When tested in positive and negative loads there shall be no glass breakage, permanent damage to fasteners, hardware, or any other parts that would render the window inoperable.

#### 1.04 REFERENCES

##### A. American Society of Testing Materials (ASTM):

1. ASTM C 509-94 Specification for Elastomeric Cellular Preformed Gasket and Sealing Material.
2. ASTM B 633-85 Specification for Electrodeposited Coatings of Zinc on Iron or Steel.
3. ASTM B 766-86 Specifications for Electrodeposited Coatings on Cadmium.
4. ASTM C 1036-91 Specifications for Flat Glass.
5. ASTM E 774-92 Specification for Sealed Insulated Glass Units.

##### B. American Architectural Manufacturers Association (AAMA):

1. AAMA 701-92 Voluntary Specification for Pile Weather-Stripping.
2. AAMA 800-92 Voluntary Specification and Test methods for Sealants.
3. AAMA 902-94 Voluntary Specifications for Sash Balances.

#### 1.05 SUBMITTALS

##### A. Shop Drawings: Submit shop drawings as required.

##### B. Product Data: submit product data as required.

##### C. Product Samples: submit product samples as required.

1. Submit full window include glazing system, quality of construction and specified finish.

##### D. Quality Control:

1. Certification: submit performance test results reported by independent laboratory or manufacturer's statement of qualification indicating compliance with specified performance and design requirements.

#### 1.06 DELIVERY, STORAGE AND HANDLING

##### A. Comply with provisions of job specification.

##### B. Store units upright in a clean, well ventilated area free of dust and corrosive fumes. Windows must not be stored above 120 degrees F.

##### C. Windows may not be stored in direct sunlight or covered with plastic sheet.

##### D. Protect finish surfaces from lime, mortar run-off, weld splatter, acids, roofing tar, solvents or other items that could cause damage to the finish.

**1.07 WARRANTY**

- A. The installer shall assume full responsibility that the installation is in accordance with the specifications, contract document and United Window & Door specifications.
- B. Manufacturer's Warranty: furnish United Window & Door Lifetime Limited Warranty.

**Part 2 PRODUCTS****2.01 MATERIALS**

- A. The vinyl extrusions will be AAMA certified.
- B. All vinyl extrusions will be free of defects impairing strength or durability.

**2.02 COMPONENTS**

- A. Mainframe and sash:
  - 1. Mainframe will have a nominal exterior wall thickness of .060".
  - 2. Sashes will have a nominal exterior wall thickness of .075".
- B. Weather Stripping:
  - 1. Weather stripping and compression seals must be of high quality, proven to be capable of meeting or exceeding the environmental exposure and performance requirements of the application.
  - 2. Woolpile and finseal weather stripping shall conform to AAMA 702-92.
  - 3. Closed cell elastomeric compression seals shall conform to ASTM C 509.
- C. Fasteners:
  - 1. All screws and other fastening devices incorporated shall be of aluminum, stainless steel, or other non corrosive material compatible with the vinyl extrusions. Cadmium or zinc plated steel shall be in accordance with ASTM B 766-86 or ASTM B 633-85. Nickel or chrome plated shall be in accordance with ASTM B 456-94 type SC.
- D. Insect Screens:
  - 1. Insect screen frames will be of aluminum extruded box shape, for strength and durability, and be manufactured in accordance to United Window and Door approved design. Insect screen frames will be color matched to the window color. The screens will incorporate fiberglass screen cloth of 18 x 16 mesh held in the frame by vinyl screen spline.

**E. Glass and glazing materials**

- 1. Insulated glass:
  - a. The assembled insulated glass unit shall be 3/4" thickness high performance. The assembly will conform to ASTM E 774-92, level A.
  - b. Tempered glass will conform to ASTM C 1048-91.
  - c. Annealed glass will conform to ASTM C 1036-91.
- 2. Glazing Materials:
  - a. The insulated glass unit will be secured to the vinyl sash or frame by a silicone ductile bedding compound.

**F. Hardware**

- 1. Hardware having component parts which are exposed will be aluminum, stainless steel or other non-corrosive material compatible with the vinyl extrusions. Cadmium or zinc plated steel shall be in accordance with ASTM B 766-86 or ASTM B 633-85. Nickel or chrome plated shall be in accordance with ASTM B 456-94 type SC.

**G. Sash Counter Balance Mechanism**

- 1. Sash balances shall be of appropriate size and capacity to hold sash stationary in any open position. Operating force of the sash will be in accordance with ANSI/AAMA/WDMA/ 101/I.S.2/NAFS-02 and have operating force of 21 lbs or less.
- 2. Balances will be of the block and tackle type and easily accessible for repair or replacement in the field. Balances will be in accordance with AAMA 902-94.

**H. Window Locks**

- 1. Sashes shall be capable of being locked by installed cam action type lock and mating keeper. Locks, keepers and mounting screws will be same as or similar to the window color.
- 2. When in locked position shall conform to ASTM F 588-85 Resistance of Window Assemblies to Forced Entry Excluding Glazing.

**Part 3 EXECUTION****3.01 EXAMINATION**

- A. Verification of conditions
  - 1. Before installation verify all openings are plumb, square and of proper dimensions. Report frame defects or unsuitable conditions to the General contractor before proceeding.
- B. Acceptance
  - 1. Beginning of installation means acceptance of existing conditions.



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### 3.02 INSTALLATION

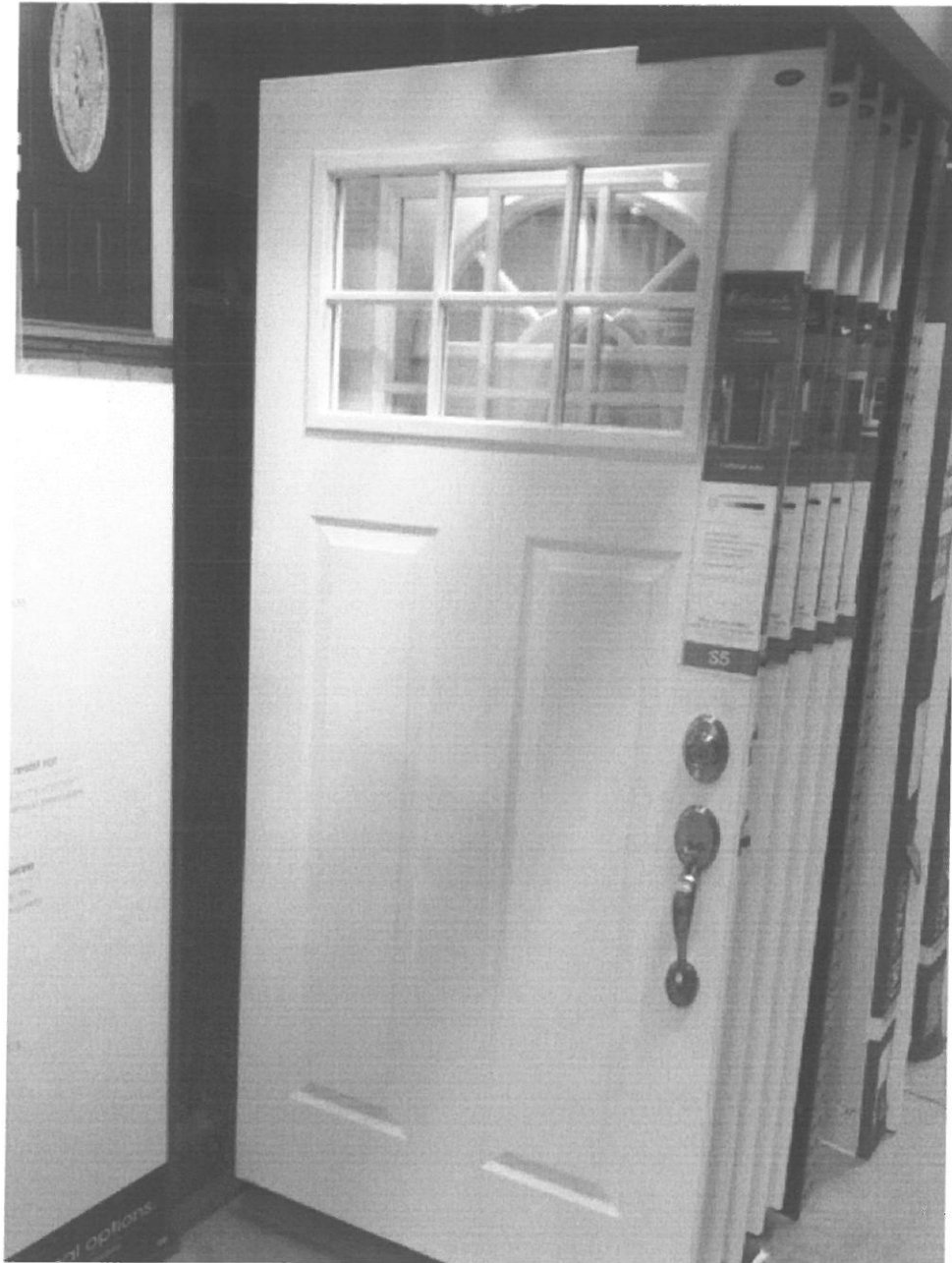
- A. The window will be secured to the rough opening in accordance with manufacturer's instructions and/or accepted industry practice.
  - 1. All windows will be installed level and plumb.
  - 2. A permanent weather tight seal must be applied between the window and the building exterior wall at the time of installation.
  - 3. The windows are to be secured to the opening with 1 ½" or longer fasteners through the installation holes in the jambs.
- B. Install sealant and related backing materials at perimeter of assembly in accordance to Section 07900 Joint Sealers. Do not use foam sealant.

### 3.03 ADJUSTING AND CLEANING

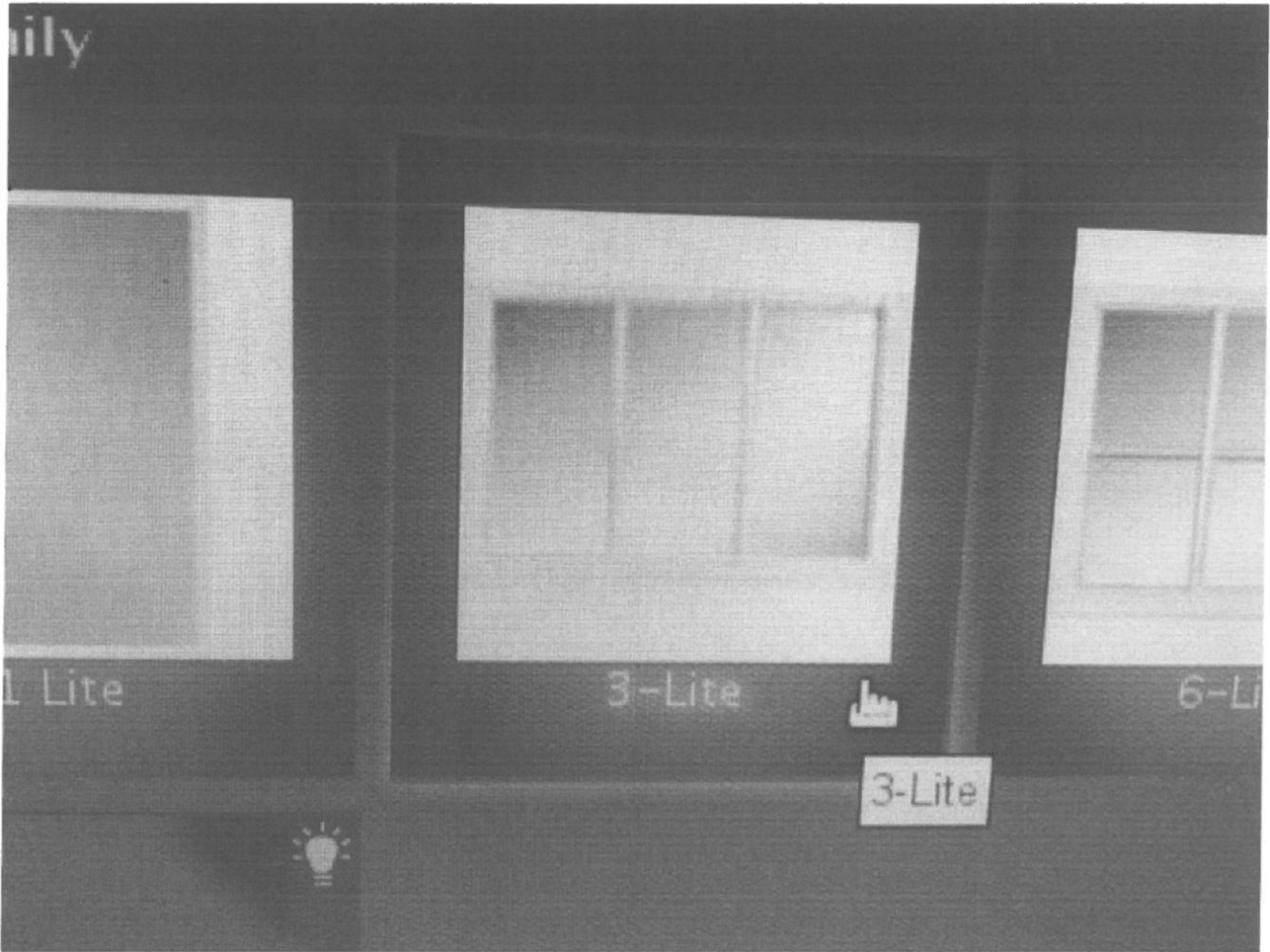
- A. Adjust operable sash to work freely with all hardware functioning properly. Readjust at completion of project if directed to do so.
- B. Remove all visible labels except permanent identification, warning, or instructional labels.
- C. Leave windows in a wiped clean condition.

### 3.04 PROTECTION

- A. Cover windows during spray painting or other construction operations that might cause damage.
- B. Remove screens and store them in a safe area during construction.



Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)



Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

# Clear Glass and Solid Panel Door

Clear glass designs allow the maximum amount of daylight into your home, and most shapes are available in energy-saving Low-E glass. All our clear glass doors feature insulated, tempered safety glass. RELIABILT® doors with Low glass have earned the ENERGY STAR rating in all 50 states.



Doors shown in Arctic White.

## AVAILABLE GLASS SHAPES

Flush    6 Panel    Center Arch    Fan Lite with Grilles    Morelite with Grilles    Craftsman 6-Lite    Half Lite    Half Sidelite    Half 9-Lite with Grilles    Half Sidelite with Grilles    Ventlite

Ellipse Transom    Rectangle Transom

3/4 Lite    3/4 Sidelite with Grilles    3/4 12-Lite with Grilles    Full Lite    Full 15-Lite with Grilles    Full Sidelite with Grilles    Full 10-Lite with Grilles    8-ft Full Lite    8-ft Full    8-ft Full Lite with Grilles

Hurricane glass also available.

Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

Lot 1 & 2 6742 Fayette St. Lot A

**NOTES**

- I. THE PURPOSE OF THIS LOT LINE ADJUSTMENT IS TO INCREASE THE SIZE OF GPIN 7297-89-3173 AND DECREASE THE SIZE OF GPIN 7297-89-0156.
- 2. THE TOTAL AREA OF BOTH LOTS IN THIS LOT LINE ADJUSTMENT PLAT IS 2.8179 ACRES.
- 3. GPIN 7297-89-3173 WAS PURCHASED AT DB 2299, PG 910.
- 4. GPIN 7297-89-0156 WAS PURCHASED AT DB 2299, PG 920.
- 5. THE BOUNDARY INFORMATION SHOWN IS BASED ON A BOUNDARY SURVEY BY HOLMES SMITH DATED DECEMBER 15, 1995, AND ANOTHER BOUNDARY SURVEY BY HOLMES SMITH DATED DECEMBER 22, 1995, AND CURRENT FIELD WORK.
- 6. THIS PROPERTY DOES NOT APPEAR TO BE IN THE 100 EVALUATION PLAN IN ACCORDANCE WITH VISIBLE FIELD EVIDENCE.
- 7. ANY OTHER EASEMENTS, NOT SHOWN, NO TITLE REPORT FURNISHED.
- 8. THERE MAY BE UNDERGROUND UTILITIES ON THIS PROPERTY.
- 9. I.P.P. - IRON PIPE FOUND
- 10. I.P.S. - IRON PIPE SET
- 11. THIS PROPERTY IS ZONED R-10

**PARCEL TABULATION**

| PARCEL #          | BEFORE LOT LINE ADJUSTMENT | AFTER LOT LINE ADJUSTMENT |
|-------------------|----------------------------|---------------------------|
| GPIN 7287-88-3473 | 0.7008 AC.                 | 1.1408 AC. - LOT 1        |
| GPIN 7297-89-0156 | 2.1171 AC.                 | 1.8770 AC. - LOT 2        |
| <b>TOTALS</b>     | <b>2.8179 AC.</b>          | <b>2.8179 AC.</b>         |

TOWN OF HAYMARKET, VIRGINIA 22069

APPROVED: DATE 11/5/97

LOT LINE ADJUSTMENT PLAT  
PROPERTY OF

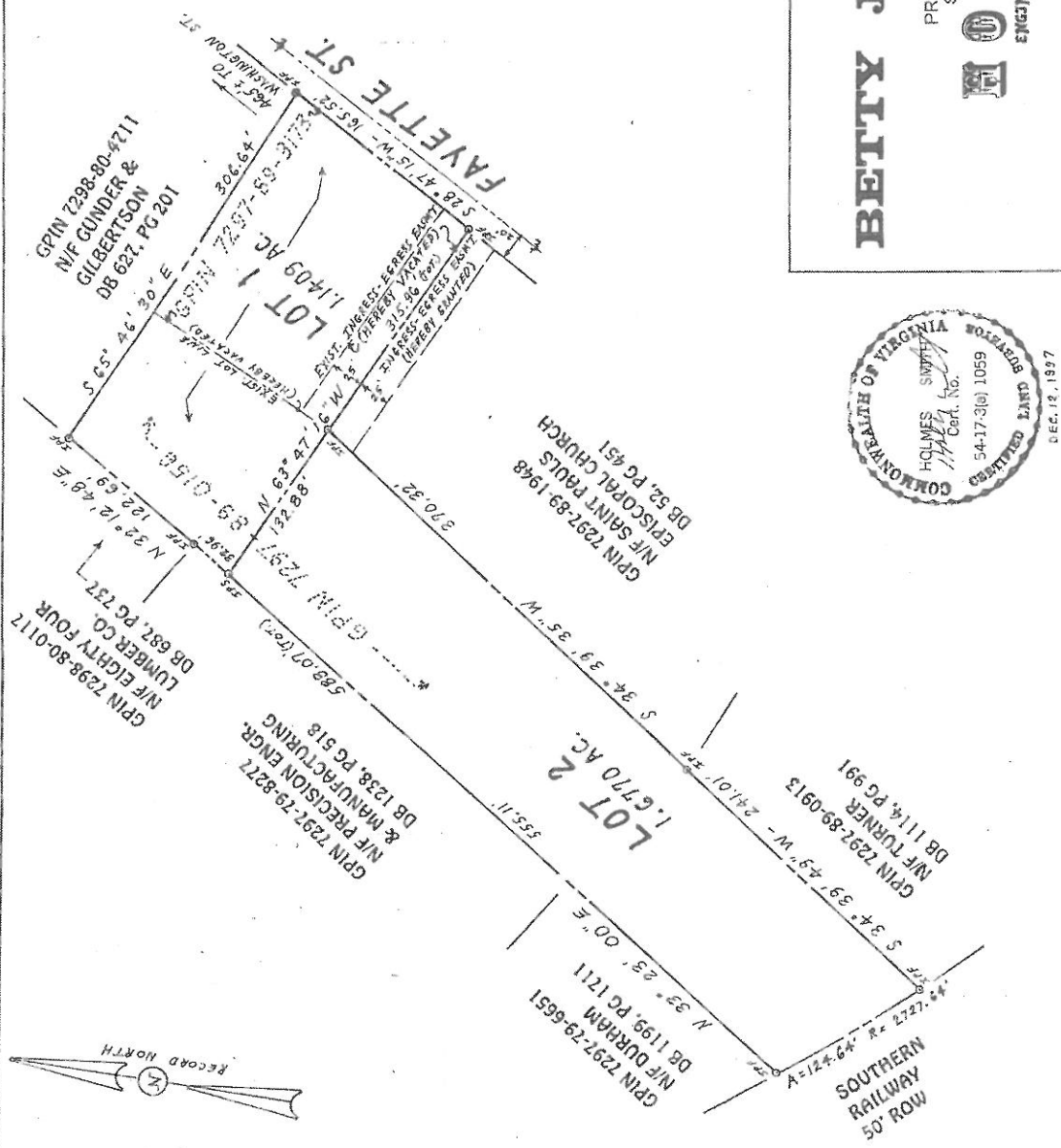
**BETTY JO SANTANGELO**

TOWN OF HAYMARKET  
PRINCE WILLIAM COUNTY, VIRGINIA  
SCALE: 1" = 80'

**HOLMES SMITH**  
ENGINEERING - SURVEYING - LAND PLANNING

MANASSAS, VIRGINIA  
(703) 368-5829

© 1997 HOLMES SMITH



Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)



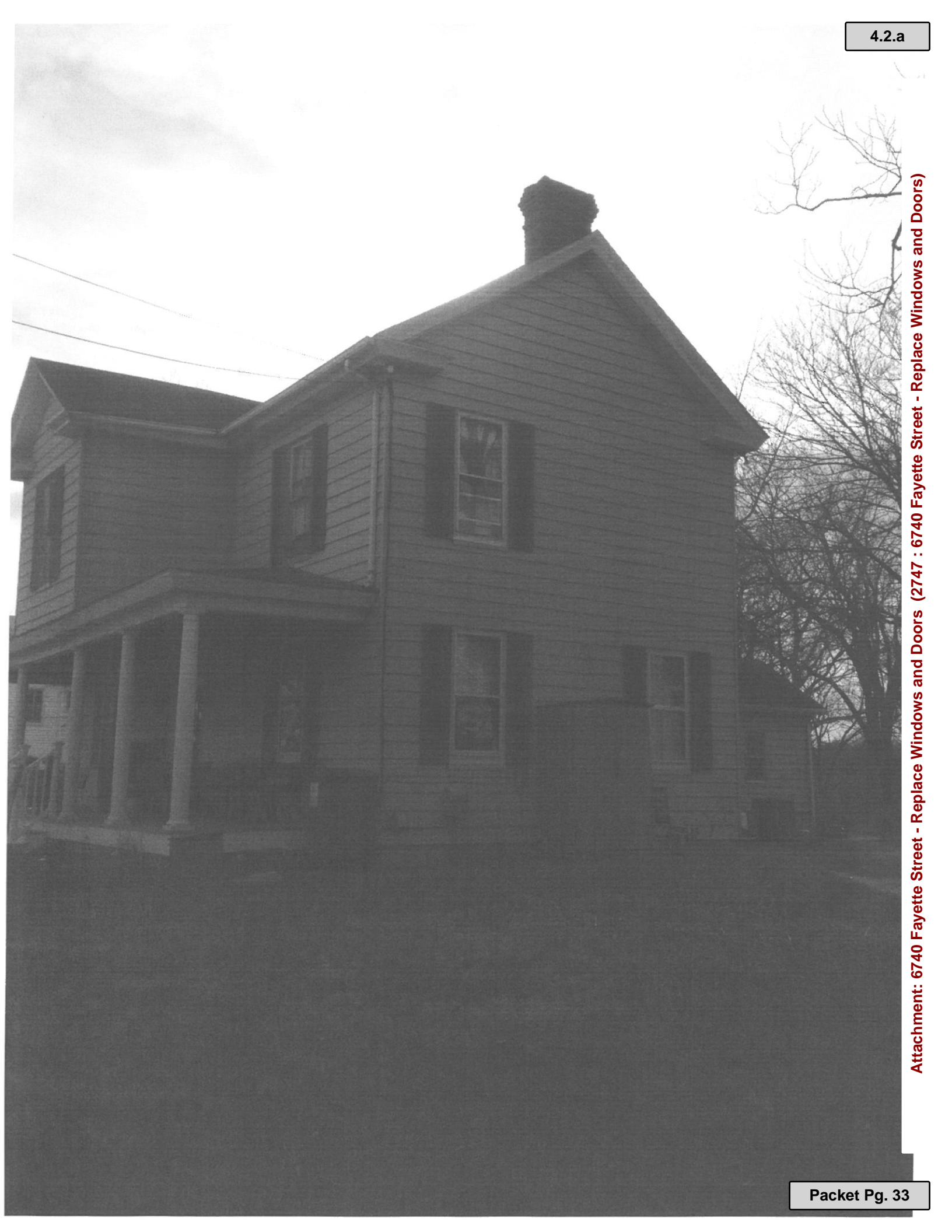


Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)

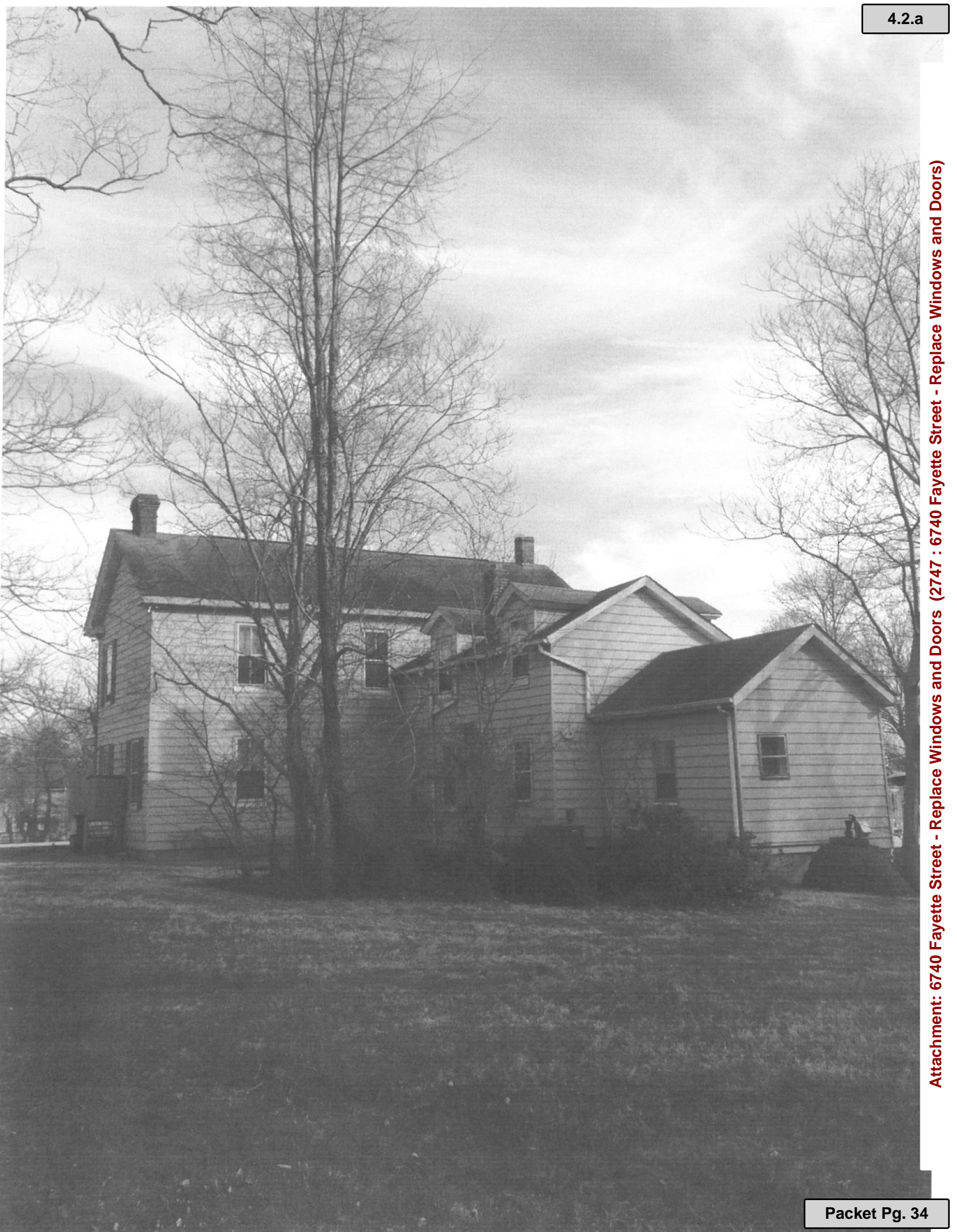


Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)





Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)



Attachment: 6740 Fayette Street - Replace Windows and Doors (2747 : 6740 Fayette Street - Replace Windows and Doors)



TO: Architectural Review Board  
SUBJECT: ARB Task List  
DATE: 03/16/16

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Chair Luersen will update the ARB on the Task List.

## January ARB Tasking Status

| Task Description                      | Owner   | Date Started | Status | Chronologic Detail   |
|---------------------------------------|---------|--------------|--------|--|
| <b>Welcome Signs at Town entrance</b> | Luersen | Aug. 2012    | Open   | <p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled ‘til next meeting</p> <p><b>Sep. 2012</b> – Board to review other towns signs via internet and prepare for Oct. 2012 concept discussion.</p> <p><b>Oct. 2012</b> – Concept Created. Ken to create formal ARB request package for town council. ARB review set for Nov. 2012. Packet submission to town council set for Dec. 2012 town meeting</p> <p><b>Nov. 2012</b> – ARB requested that town properties be included in package. ARB moved to submit document to Town council at the December TC meeting after changes are made.</p> <p><b>Dec. 2012</b> – Task tabled for the holidays</p> <p><b>Jan. 2013</b> – Town Council approved the concept and requested ARB to move forward with sign designs and costing. Next step. Get VDOT correspondence started and a list of road sign manufacturers.</p> <p><b>Feb. 2013</b> – Got feedback from VDOT to what concepts are possible and procedures to apply for right of way use. Also got POC’s for PWC’s sign designer/builder. Asked Marchant to contact Leesburg to request cost for their stone sign structure on 15 at the south entrance.</p> <p><b>Mar. 2013</b> – Luersen will be meeting with Bud Craiger, PWC sign designer, on March 22 to discuss fabrication costs. Marchant to initiate Leeseburg costs for Stone sign and landscaping costs for their sign at the south Rt15 entrance.</p> <p><b>Apr. 2013</b> – Bud Craiger to develop sign design/costs/time frame packet to ARB. No delivery date was set. Luersen to keep communications with Bud to determine a delivery date for the packet. Marchant talking with Leesburg and will be getting the RFP quotes for us to use as reference costs.</p> |

Attachment: ARB Tasking 201603 (2748 : ARB Task List)

## January ARB Tasking Status

| Task Description | Owner | Date Started | Status | Chronologic Detail   |
|------------------|-------|--------------|--------|--|
|                  |       |              |        | <p><b>May 2013</b> – Got two drawings from Bud’s group. Comments requested during meeting</p> <p><b>June 2013</b> – Luersen to reach out to Bud Craiger to reignite progress</p> <p><b>July 2013</b> – No change</p> <p><b>Aug. 2013</b> – Luersen reached out to Bud Craiger to start back up after Summer Vacation</p> <p><b>Sep. 2013</b> – Bud said review sign types and we can meet again to develop costing figures.</p> <p><b>Oct. 2013</b> – Luersen to meet with Jenifer to get sign count for Town owned buildings and give Bud Craiger details to make up the build plan.</p> <p><b>Nov. 2013</b> – Luersen met with Jenifer and determined that only the Museum needed to be updated. Luersen working with Craiger to use the new town Logo. Craiger waiting to receive the Logo from Luersen.</p> <p><b>Dec. 2013</b> – No Change. Luersen still to follow up.</p> <p><b>Jan. 2014</b> – No Change. Luersen still to follow up.</p> <p><b>Feb. 2014</b> – No Change. Luersen still to follow up.</p> <p><b>Mar. 2014</b> – No Change. Luersen still to follow up.</p> <p><b>Apr. 2014</b> – No Change. Luersen still to follow up.</p> <p><b>May 2014</b> – No Change. Luersen still to follow up.</p> <p><b>Jun. 2014</b> – No Change. Luersen wants to let the new board to settle in and will follow up in August with Bud Craiger.</p> <p><b>Jul. 2014</b> – No Change.</p> <p><b>Nov. 2014</b> – No Change.</p> <p><b>Dec. 2014</b> - Luersen to work with Swinford to get the stalled status moving.</p> <p><b>Jan. 2015</b> - Luersen relays Sign shop information and past</p> |

Attachment: ARB Tasking 201603 (2748 : ARB Task List)

## January ARB Tasking Status

| Task Description          | Owner                  | Date Started  | Status  | Chronologic Detail   |
|---------------------------|------------------------|---------------|---------|--|
|                           |                        |               |         | <p>designs to Swinford.</p> <p><b>Feb. 2015</b> – No Meeting</p> <p><b>Mar. 2015</b> – Initial sign package emailed to Swinford from Luersen</p> <p><b>May 2015</b> – No change.</p> <p><b>Jun. 2015</b> – No change.</p> <p><b>Jul. 2015</b> – Status to be updated at July meeting.</p> <p><b>Nov. 2015</b> – working meeting held before October ARB meeting. First step is to design Welcome signs that go with the Corp limit signs. Other signs are TBD later on.</p> <p><b>Jan. 2016</b> – No Change.</p> <p><b>Mar. 2016</b> – On hold for ToT briefing this month.</p>  |
| <b>Commercial Fencing</b> | Marchant and ARB staff | December 2014 | On Hold | <p><b>Jan. 2014</b> – A COA for a commercial Fence, led to the discussion that commercial fences are not addressed in the ARB Guidelines. With the changes of the Historic district overlay, and comp-plan review, the ARB Guidelines will need to be updated. To that note, it was determined to begin outlining acceptable commercial fencing to include with the guideline changes.</p> <p><b>May 2014</b> – On hold until Historic District overlay is determined, requiring Guideline changes.</p> <p><b>Jun. 2014</b> – District overlay was voted down by Haymarket Town Board. Will keep this on hold until new Board Liaison gives direction.</p> |

Attachment: ARB Tasking 201603 (2748 : ARB Task List)