



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ AGENDA ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

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Wednesday, January 16, 2013

7:00 PM

Council Chambers

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### **1. Call to Order**

### **2. Citizens Time**

### **3. Minutes Approval**

- a. Architectural Review Board - Regular Meeting - Dec 19, 2012 7:00 PM

### **4. Certificate of Appropriateness**

- a. 15004 Gossom Manor Place - Deck
- b. Sheetz Rebuild

### **5. Town Council Update**

### **6. Planning Commission Update**

### **7. New Business**

### **8. Old Business**

- a. McDonalds Informal Discussion
- b. Task List

### **9. Adjournment**



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ MINUTES ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

Wednesday, December 19, 2012

7:00 PM

Council Chambers

A Regular Meeting of the Architectural Review Board of the Town of Haymarket, VA, was held this evening in the Board Room, Commencing at 7:00 PM

called the meeting to order.

### 1. Call to Order

Sheila Jarboe: Absent, Chair Kenneth Luersen: Absent, AIA John Parham: Present, Councilwoman Katherine Harnest: Present, Commissioner Ralph Ring: Present.

### 2. Citizens Time

No one spoke at Citizens Time

### 3. Minutes Approval

a. Architectural Review Board - Regular Meeting - Nov 14, 2012 7:00 PM  
Minutes approved.

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Ralph Ring, Commissioner
<b>SECONDER:</b>	John Parham, AIA
<b>AYES:</b>	John Parham, Katherine Harnest, Ralph Ring
<b>ABSENT:</b>	Sheila Jarboe, Kenneth Luersen

### 4. Certificate of Appropriateness

a. 15000 Gossom Manor Place - Deck  
Approved with no exceptions.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Ralph Ring, Commissioner
<b>SECONDER:</b>	Katherine Harnest, Councilwoman
<b>AYES:</b>	John Parham, Katherine Harnest, Ralph Ring
<b>ABSENT:</b>	Sheila Jarboe, Kenneth Luersen

b. 6630 Jefferson Street - the Very Thing Sign  
Only Planning Commission issue is that it may be hit at night. Narrow space. But was within the PC guidelines.  
Also once the design of the Town Center plan is complete, it may need to be moved.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Ralph Ring, Commissioner
<b>SECONDER:</b>	Katherine Harnest, Councilwoman
<b>AYES:</b>	John Parham, Katherine Harnest, Ralph Ring
<b>ABSENT:</b>	Sheila Jarboe, Kenneth Luersen

### 5. Town Council Update

Harnest update:  
Master Plan and streetscape are still in works.

Minutes Acceptance: Minutes of Dec 19, 2012 7:00 PM (Minutes Approval)

## 6. Planning Commission Update

Ring:

The Planning Commission is looking to the Town Council for direction on Certified Local Government (CLG) program. What to do with Historic overlay.

Weir looked at all municipalities in VA that are CLG. They are very small areas. Town needs to determine to restructure the Historic District before we can decide if we should incorporate the CLG program.

Also with the Funeral Home/Mortuary. What does the town want to do for zoning.

Also asking the Town what do we want to do with the districts.

## 7. New Business

### a. McDonald's Informal Discussion

Informal Discussion. Roger Bowers RE Attorney that has worked with Marchant.

Plan for remodeling of existing McDonalds. Understands that ARB will look at elements of design.

This proposal is part of their national rebranding program. It brings certain elements of that program. Saw Sheetz plan.

Architect and construction manager are here tonight

We brought something with brick and with cultured stone marking pieces. More sophisticated approach. Lots of windows. Retaining the bright openness in the design.

They are taking a facility that is in good condition but old, and keep the building intact internally without tearing it down. Remove the overhang, which is a non structural element. Fixing ADA issues if any. Remodel interior. Bathrooms redone. Seating. Lighting. Some green elements using LED. Cleaning up the front counter.

Parham - one issue he struggles with is the part about national rebranding. While there are unique elements to this building, one thing the town has struggled with is identity and trying to not become just another exit off the highway. CVS came to us with a national rebranding campaign, but we worked with them and they worked with us to incorporate elements of the town and was sensitive to where the town is going. Hoping we can come together in that respect with McDonalds.

We have 2 ends of the town. The entire time is a Historic overlay. We have guidelines to that fact. We relax towards that end of town though.

Architect says that's why were here. Stuck a little bit though. One constraint is we're not tearing down, we're building right on these walls.

Harnest - says this is just the beginning stages. Want compromise towards Leaberry's architecture, and streetscape concept without going too modern/linear. We want to take all of the ideas tonight to the rest of ARB and get their opinion as well, as we're missing a few members tonight.

Asks f they are using the old brick there? Yes all existing. Only above the windows are new.

Parham - of course we want to be partial to McDonalds needs to the town. Building recognition is important, Golden Arches, etc. Refer to CVS again though. We can work with the arches and base elements.

Roger asks about signage. Existing building has McDonalds name on short sides. One thing important to McDonalds in redevelopment is to get the M on there. M is important as it is a style piece, part of cultured stone wall element. Kind of a package deal. Can we talk about that. Trademark exact size as signs. Thoughts on those? Is the M an issue.

Parham - would concur. This is McDonalds. The Golden Arches are an American icon. Think we can incorporate that. Just isn't sure why the cultured stone arcade has to be part of it.

The concept is marking the spot of building. Celebrate entrance way. Main dining area. So it glows and is bright and says welcome.

Parham we can achieve that. Likes large pieces of glass to see in. Instead of a monolithic wall, incorporate more arch elements.

Could have same wall with cornice like CVS? Yes they can look at that.

Harnest said it just looks like it doesn't fit. It looks like something it used to be and was changed. Others agree.

Roger - we're both on same page. Looking for turn of the century. Sophisticated and energetic.

Ring - Terms of signage. McDonald's lit? Yes the M and McDonald's internally lit. Can we keep that same sign, just reclad it? Its' a big deal how to light that sign. And the swoop over McDonald's? Is that a trademark. Non negotiable?

Parham is skeptical about the swoosh. That cannot be changed. It is a roof cap element. It's not signage, just part of the Architecture. It has been accepted thru out the program by others. But they've worked with Historic Districts before and can work thru it. Unfortunately it's Corporate, and cannot be controlled at this level.

Non negotiable yes. Trademark no. It's an element. There is one in Fair Lakes. But it's not internally illuminated.

Parham asks about Gooseneck lighting. Something to consider. Ways around things.

Roger is flexible with McDonald's. Would like to keep the M. It is yellow and 18.5 square feet. Hope we can be flexible.

With talk with Schneider about sign and drive thru. Have things to get thru on PC side too. Like to keep some element of existing.

b. Sheetz - Informal Discussion

Reconstruction of entire building. Just updating the ARB tonight. Have decided to not just remodel, but build a new store. Rick Slater engineer.

Make sure they get all necessary information to have a complete application when they're ready to apply. They can get the Architect here as well.

Can also bring as much material samples as the Board needs. Canopy colors, etc. Whatever the ARB needs to see they will bring so they can get a successful evaluation.

Harnest would like to see an overhead. Does the canopy connect? They are tweaking that element.

Parking will be an issue. They are working on that as well. Ornamental lighting out front LED lighting.

Can the red be toned down? If not used minimally.

Parham says to be cautious. Again, we don't want to be the same stop off highway.

Lot of positive feedback tonight. ARB asks if there any other green other than the pea green. They can look at.

ARB would like to see an overhead/birds eye view. Also the garbage/dumpster location. And dumpster ideas.

They like the concept overall.

## 8. Old Business

### 1. Task List Update

Task list.

Will table til January. Most are in work/tabled/on hold.

Will wait.

## 9. Adjournment

Ring motions to adjourn.  
Kat seconds.  
9:05pm

Minutes Acceptance: Minutes of Dec 19, 2012 7:00 PM (Minutes Approval)



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TO: Architectural Review Board  
SUBJECT: 15004 Gossom Manor Place - Deck  
DATE: 01/16/13

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Basic deck on new home. No stairs.

**ATTACHMENTS:**

- 15004 Gossom Manor Place - Deck (PDF)



JAN - 3 2013

TOWN OF HAYMARKET



ZONING PERMIT #: ZP20130103

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING PERMIT APPLICATION

ZONING ACTIVITY: [ ] New Construction [x] Alteration/Repair [x] Addition [ ] New Tenant/Use [ ] Change of Use [ ] Relocation

NAME OF BUSINESS/APPLICANT: Gibson Home Services LLC

PROPOSED USE: residential deck Size (Sq. Ft./Length) of Construction: 190

SITE ADDRESS: 15004 Gossom Manor Pl Parcel ID #:

Subdivision Name: Shady Brook Forest Lot Size: 6,008 SF

ZONING DISTRICT: [ ] R-1 [x] R-2 [ ] B-1 [ ] B-2 [ ] I-1 [ ] C-1 Site Plan Required: [ ] Yes [x] No

Special Use Permit Required: [ ] Yes [x] No Homeowners Association (HOA) Approval: [x] Yes [ ] No

Off-street Parking: Spaces Required: Spaces Provided:

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, type and dimensions of signs, height/length of fencing, etc.)

Build 10x19 deck on rear of home using pressure treated lumber. Height will be approximately 4'

Supporting Documentation (attached): [ ] Narrative [x] Plan/Plat [x] Specification Sheet

FEE: [x] \$25.00 Residential [ ] \$50.00 Commercial

PAID 2013 JAN - 3 2013 Town of Haymarket

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc.)

pressure treated wood, no color to be applied at this time

Supporting Documentation (attached): [x] Specification Sheet [ ] Photograph(s)

PERMIT HOLDER INFORMATION: Valerie Gibson, Gibson Home Services LLC, PO Box 315, Markham VA 22043, (540) 364-1200, gibsonhome@yaho.com
PROPERTY OWNER INFORMATION: Ajit Buttar, 15004 Gossom Manor Pl, Haymarket VA 20169, (703) 818-3405, ash3405@ya.com

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

**APPLICANT / PROPERTY OWNER SIGNATURE**

**\*\*\*\*\*REQUIRED\*\*\*\*\***

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

[Handwritten Signature]  
Applicant Signature

[Handwritten Signature]  
Property Owner Signature

**\*\*\*OFFICE USE ONLY\*\*\***

ZONING PERMIT #: 2P20130103

Date Filed: 1-3-13 Fee Amount: 25- Date Paid: 1-3-13

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): 1-16-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD CHAIR: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

DATE TO PLANNING COMMISSION: 1-14-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

PLANNING COMMISSION {where required}: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

DATE TO TOWN COUNCIL: \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

TOWN COUNCIL {where required}: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS:  
\_\_\_\_\_  
\_\_\_\_\_

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)



Sherwood Forest  
ARCHITECTURAL IMPROVEMENT REQUEST FORM  
c/o  
Sequoia Management  
13998 Parkeast Circle  
Chantilly, VA 20151-2283  
703-803-9641  
www.sequoiamanagement.com

Name of Applicant: Ajit S. Buttar Date: 11/27/12  
Address: 15004 Gossom Manor Pl Haymarket, VA 20149 Lot #: 22  
Telephone: (H) 703-818-3465 (W) 202-692-0776 (FAX) \_\_\_\_\_  
Email: ASB3465@YAHOO.COM

(to be utilized to verify receipt of application as well as communication for additional information as required)

Anticipated Construction Duration: 10 Days

Type of Alteration/Change (please check appropriate box)

- |                                     |                          |                            |
|-------------------------------------|--------------------------|----------------------------|
| <input type="checkbox"/>            | <u>Second Story Deck</u> | Complete Section (a) below |
| <input checked="" type="checkbox"/> | <u>Ground Level Deck</u> | Complete Section (a) below |
| <input type="checkbox"/>            | <u>Fence</u>             | Complete Section (b) below |
| <input type="checkbox"/>            | <u>Patio</u>             | Complete Section (c) below |
| <input type="checkbox"/>            | <u>Storm Door</u>        | Complete Section (d) below |
| <input type="checkbox"/>            | <u>Other</u>             | Complete Section (e) below |

Section (a) Deck Additions

Dimensions: Across the back of the house: 19'  
Dimensions: Length out from house: 10'  
Elevation from ground level: 4'  
Railing Height (from surface of deck): 36"  
Railing type (describe): 4x4 post, 2x4 bottom rail, 2x2 pickets & 5/4x6 top rail  
Type of materials to be utilized: Pressure treated wood  
Stain color (Sample Color Chip or Brochure Required): none - std pressure treated wood

Include information on any additional attachments, such as trellis, lighting, benches, flower boxes, etc.

Section (b) Fence Additions

Total Dimensions of the fence: \_\_\_\_\_  
Fence Type: \_\_\_\_\_  
Type of Gate: \_\_\_\_\_  
Type of materials to be utilized: \_\_\_\_\_  
Stain color (Sample Color Chip or Brochure Required): \_\_\_\_\_

Section (c) Patio Additions

Total Dimensions of the patio: \_\_\_\_\_  
Type of materials to be utilized: \_\_\_\_\_

Section (d) Storm Doors

Placement of Door: \_\_\_\_\_  
Describe type of Storm Door: \_\_\_\_\_  
Describe color of Storm Door as it relates to the following:  
Front Door, Siding (Brick), and Trim \_\_\_\_\_

Section (e) Other

Please provide an explanation of the project, providing details on dimensions, materials, colors as applicable

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

All applications must be accompanied by the following materials:

- Attached architectural plans/drawings or photographs of the proposed project. Drawings MUST show elevations, dimensions, height off the ground, relationship to existing structures, railings, footings, color samples if necessary and manufacturer's brochure, if available.
- Attach a copy of the property plat showing size, shape and location of improvement to residence and to adjoining properties (including specific dimensions of improvement and distances to adjoining properties.) Grading plan must be included, if applicable.
- Obtain the signatures of all adjacent or affected property owners. The signatures only indicate their awareness of your proposed plans, not their approval. Signatories having concerns about your proposed plan must notify the Association of specific concerns in writing.

Name: Cylin Mattox Phone Number: 703-994-2433  
 Address: 15008 Gossom Manor Pl Lot Number: 23  
 Signature: Cylin Mattox

Name: Jonathan Eastman Phone Number: 832-775-6313  
 Address: 15008 Gossom Manor Pl Lot Number: 21  
 Signature: Jonathan Eastman

Name: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 Address: \_\_\_\_\_ Lot Number: \_\_\_\_\_  
 Signature: \_\_\_\_\_

I understand and agree to the following:

- > that this modification may require a County building permit or may be subject to other governmental regulations. I agree to obtain all required city/county approvals. Miss Utility will be contacted prior to the commencement of any construction. Approval of this application satisfies only the requirements of the Association and not any obligations to the County or as may be required.
- > that I assume full responsibility for all landscaping, grading and/or drainage issues relating to the improvements, including applicable replacing bonds or escrows posted by Developer/Builder currently in place affecting the lot. All work associated with the project will be completed within the property lines. Any damage to adjoining property (including common area) or injury to third persons associated with the improvement.
- > that no work on this proposal will commence until I receive written approval of the Association. To do so is a violation of the Covenants of the Association and may result in my being required to remove an unapproved modification and restore my property to its original condition at my own expense if this application is disapproved. I also understand I may be held responsible for any legal fees incurred on behalf of the Association in enforcing this provision.
- > that an approval is contingent upon the construction being completed in a timely and a professional and workmanlike manner as per the specifications as submitted in this applications.
- > the members of the Association may enter upon my property to make a routine inspections.
- > that there are architectural requirements addressed in the Design Standards and the Declaration and a review process as established by the Board of Directors.
- > that the approval authority granted by the Association (if so granted) will automatically expire should the proposed project not be commenced within six (6) months of the approval or completed within thirty (30) days of the approval
- > that a variation from the original application must be submitted for approval of the Association

Owner/Applicant's Signature: April Leigh Butler Date: 11-20-12

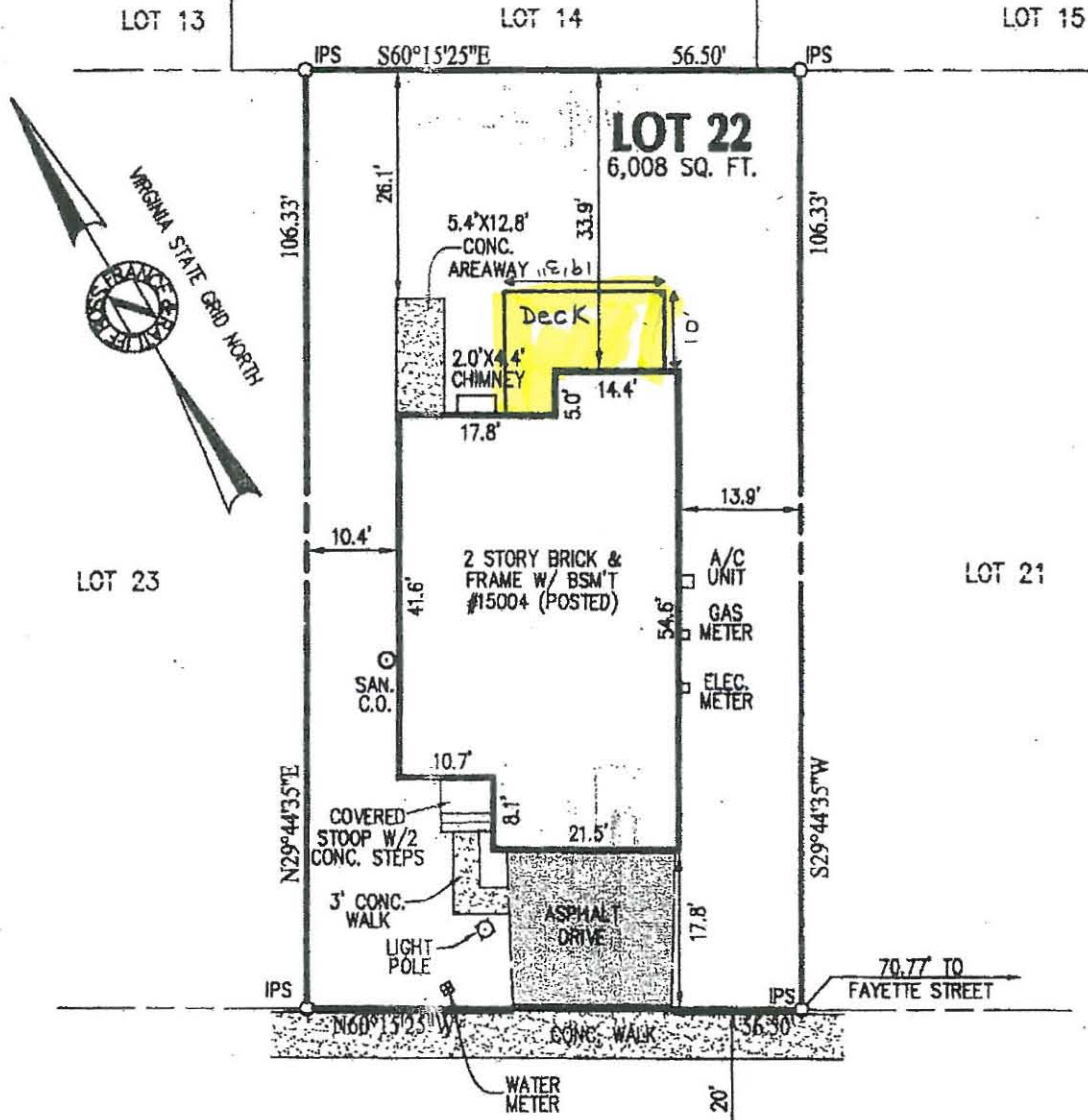
(For committee Use Only)

- Approved
- Disapproved
- Approved with conditions: \_\_\_\_\_

Committee Representative: [Signature] Date of Decision: 12/10/12

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)





**GOSSOM MANOR PLACE**

(40' RIGHT-OF-WAY)

- A/C - AIR CONDITIONER
- BSM'T - BASEMENT
- CONC. - CONCRETE
- C.O. - CLEANOUT
- ELEC. - ELECTRIC
- IPS - IRON PIPE SET
- SAN. - SANITARY
- SQ. FT. - SQUARE FEET

THE GEOGRAPHIC PARCEL IDENTIFICATION NUMBER (G.P.I.N.) FOR THE PROPERTY SHOWN HEREON IS 7298-80-9994. THIS PROPERTY WAS ACQUIRED BY DEED RECORDED AS INSTRUMENT #201011050098724 IN THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

THE PROPERTY DELINEATED HEREON DOES NOT LIE WITHIN THE LIMITS OF A 100-YEAR FLOODPLAIN EASEMENT.

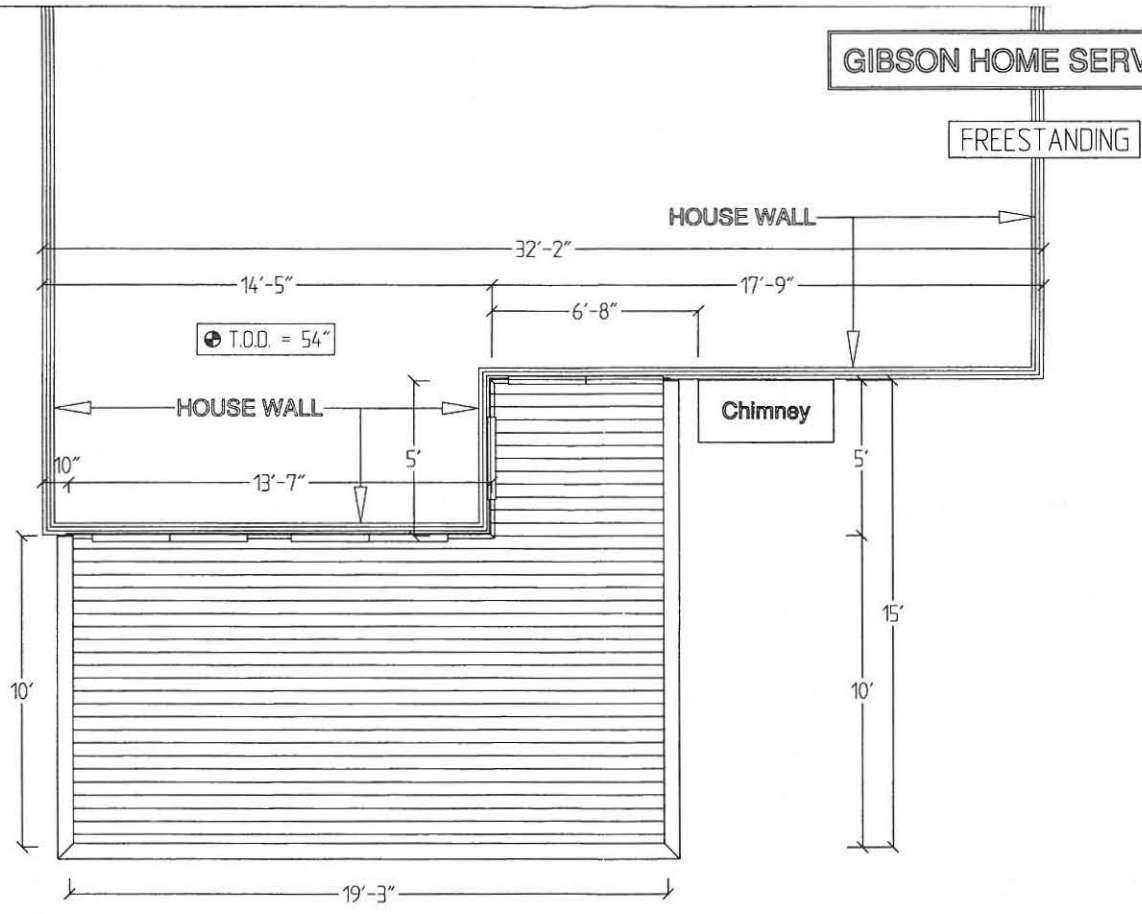
HOUSE LOCATION SURVEY  
LOT 22

I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A FIELD SURVEY AND THAT UNLESS OTHERWISE SHOWN THERE ARE NO ENCROACHMENTS.



Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

**PLAN VIEW**



**GIBSON HOME SERVICES**

**FREESTANDING**

**Decks 4.a.a**

Custom Environments  
 7994 Glenwood Avenue  
 Youngstown, OH 44512-582  
 330-726-5540  
 330-726-5542 FAX  
 www.DecksUSA.com

**Bultar Project**  
 Draft #1  
 DATE: 11-26-12  
 SF = 221

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 violation of all applicable laws

**GENERAL NOTES**

⊕ T.O.D. = 54"

NOTE: Submit building plans to your local Building Department for review.

These plans have been purchased from Decks USA. The buyer is granted permission to build from these plans but is not granted permission to reproduce or sell these plans in any manner.

⊕ T.O.D. = 54"

⊕ T.O.D. = Measurement from Ground to Top of Deck

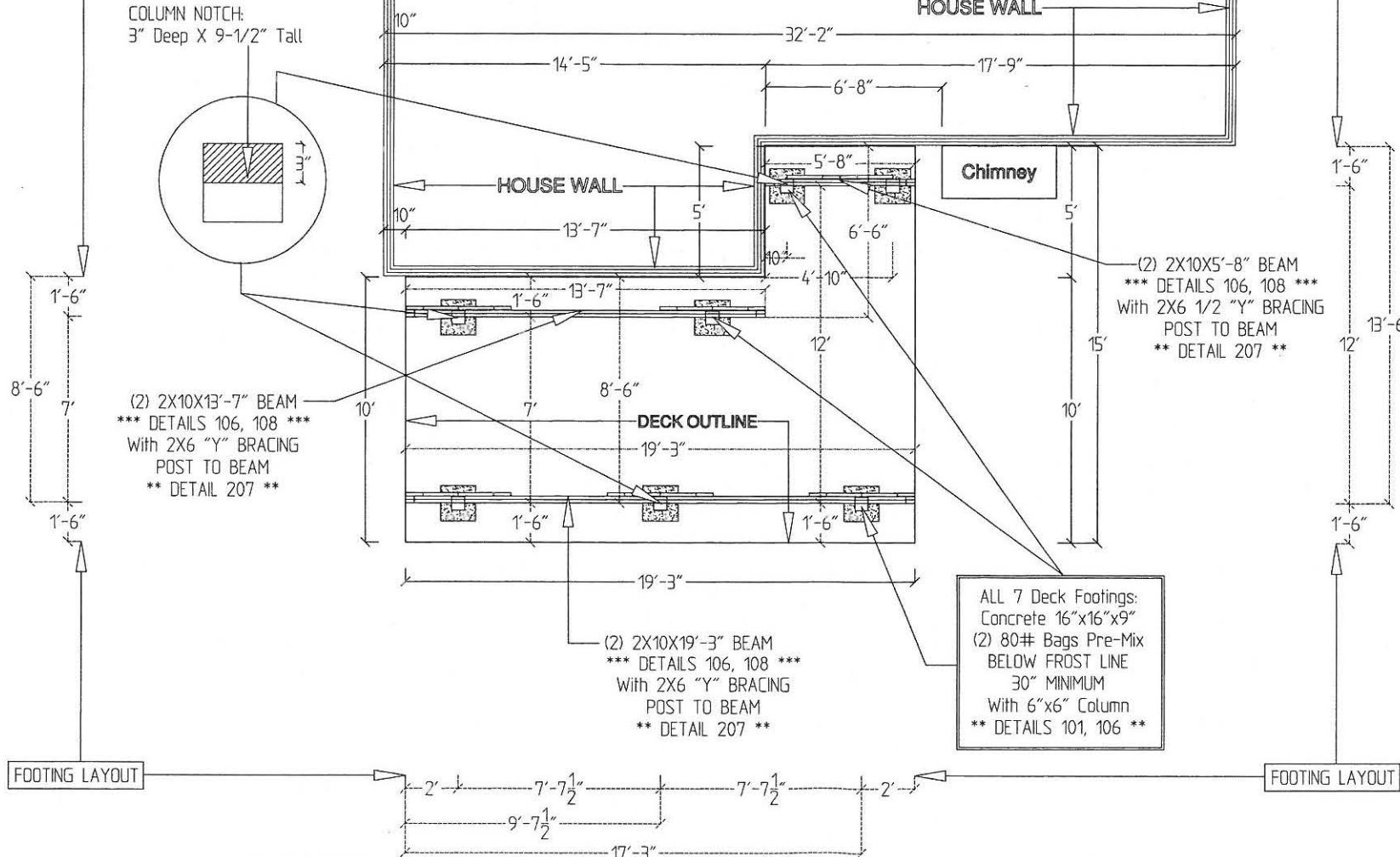
**SCALE: 1/4" = 1'-0"**

**Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)**

**PLAN VIEW**

FOOTING LAYOUT

FOOTING LAYOUT



SCALE: 1/4" = 1'-0"

T.O.D. = 54"

T.O.D. = Measurement from Ground to Top of Deck

These Plans Carry No Warranty or Guarantees

GIBSON HOME SERVICES

FREESTANDING

HOUSE WALL

Chimney

HOUSE WALL

DECK OUTLINE

(2) 2X10X5'-8" BEAM  
 \*\*\* DETAILS 106, 108 \*\*\*  
 With 2X6 1/2 "Y" BRACING  
 POST TO BEAM  
 \*\* DETAIL 207 \*\*

(2) 2X10X13'-7" BEAM  
 \*\*\* DETAILS 106, 108 \*\*\*  
 With 2X6 "Y" BRACING  
 POST TO BEAM  
 \*\* DETAIL 207 \*\*

(2) 2X10X19'-3" BEAM  
 \*\*\* DETAILS 106, 108 \*\*\*  
 With 2X6 "Y" BRACING  
 POST TO BEAM  
 \*\* DETAIL 207 \*\*

ALL 7 Deck Footings:  
 Concrete 16"x16"x9"  
 (2) 80# Bags Pre-Mix  
 BELOW FROST LINE  
 30" MINIMUM  
 With 6"x6" Column  
 \*\* DETAILS 101, 106 \*\*

**Decks 4.a.a**

Custom Environments  
 7994 Glenwood Avenue  
 Youngstown, OH 44512-58;  
 330-726-5540  
 330-726-5542 FAX  
 www.DecksUSA.com

**Buttar Project  
 Footing & Beam  
 Layout**

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 violation of all applicable law

**GENERAL NOTES**

- FOOTINGS BELOW FROST LINE
- ALL FOOTINGS 16"x16"x9" THICK, UND
- ALL FRAMING LUMBER TO BE #2 SYP OR BETTER, PRESSURE TREATED ACQ, UND
- ALL IN-GRADE DESIGN VALUES BASED ON THE NFA.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY 2000 PSF.

BASED ON: IRC 2009

6X6 COLUMNS  
 (2) 2X10 BEAM(S)  
 2X6 "Y" Bracing NOTED

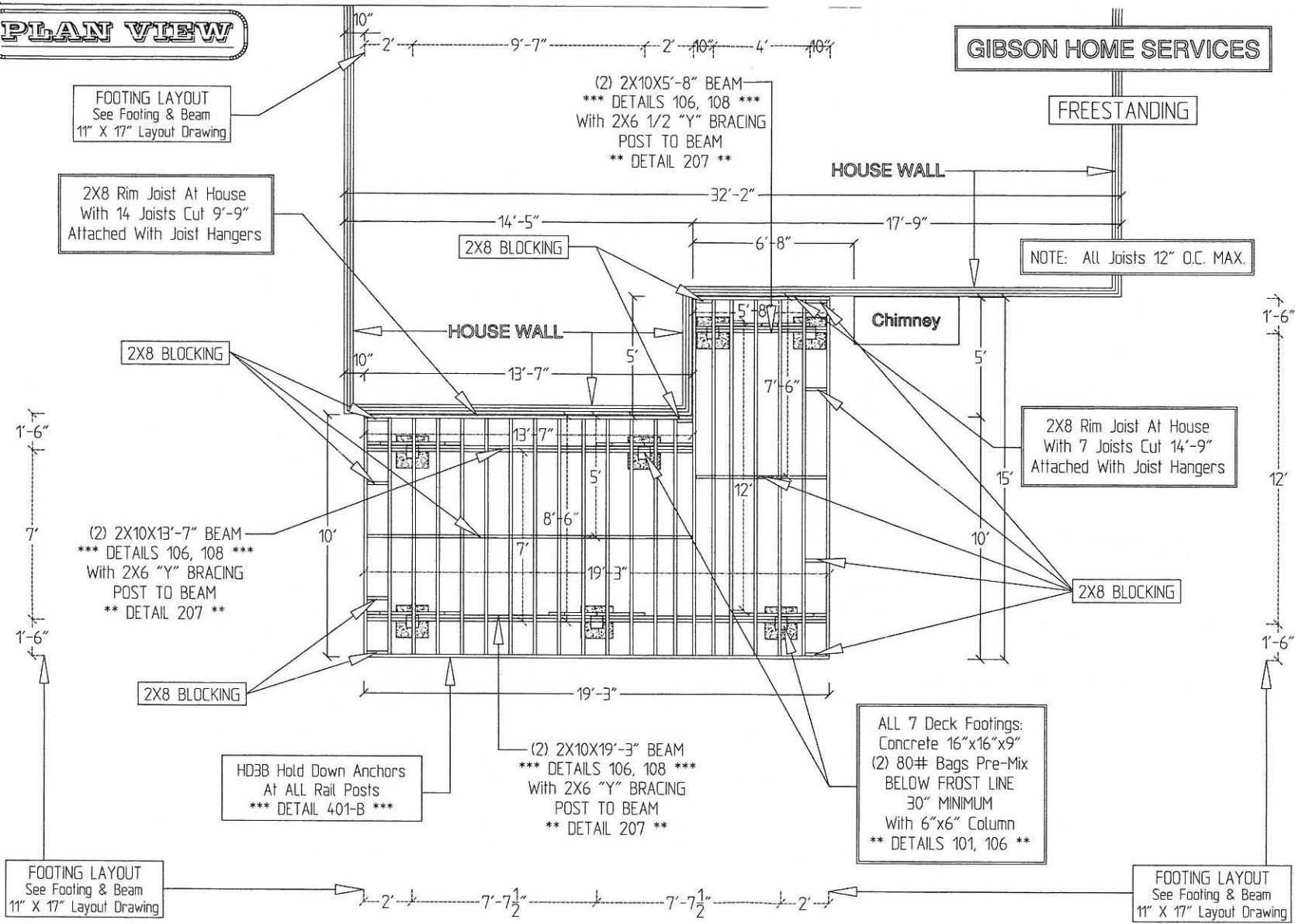
NOTE: Submit building plans to your local Building Department for review

These plans have been purchased from Decks USA. The buyer is granted permission to build from these plans but is not granted permission to reproduce or sell these plans in any manner.

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)



**PLAN VIEW**



GIBSON HOME SERVICES

FREESTANDING

**Decks 4.a.a**

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 Youngstown, OH 44512-58;  
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Buttar Project  
 Draft #1  
 DATE: 11-26-12  
 SF = 221

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**GENERAL NOTES**

FOOTINGS BELOW FROST LINE  
 - ALL FOOTINGS 16"x16"x9" THICK, UNO  
 - ALL FRAMING LUMBER TO BE  
 #2 SYP OR BETTER, PRESSURE  
 TREATED A-C, UNO  
 - ALL IN-GRADE DESIGN VALUES  
 BASED ON THE NFAA  
 - PRESUMPTIVE SAFE SOIL  
 BEARING CAPACITY 2000 PSF.

BASED ON: IRC 2009

16X16X9 Concrete Footings  
 6X6 COLUMNS  
 (2) 2X10 BEAM(S)  
 2X6 "Y" Bracing - NOTED  
 2X8 Joists 12" O.C. - max.  
 2X8 SOLID BLOCKING  
 5/4X6 DECK BOARDS

NOTE: Submit building plans to yr  
 local Building Department for rev

These plans have been purcha  
 from Decks USA. The buyer is  
 granted permission to build fro  
 these plans but is not granted  
 permission to reproduce or sel  
 these plans in any manner.

FOOTING LAYOUT  
 See Footing & Beam  
 11" X 17" Layout Drawing

FOOTING LAYOUT  
 See Footing & Beam  
 11" X 17" Layout Drawing

SCALE: 1/4" = 1'-0"

STANDARD PICKET RAILING  
 \*\* DETAILS 400, 401, 402, 403, 404 \*\*  
 HEIGHT = 36" Top of Rail Cap

T.O.D. = 54"

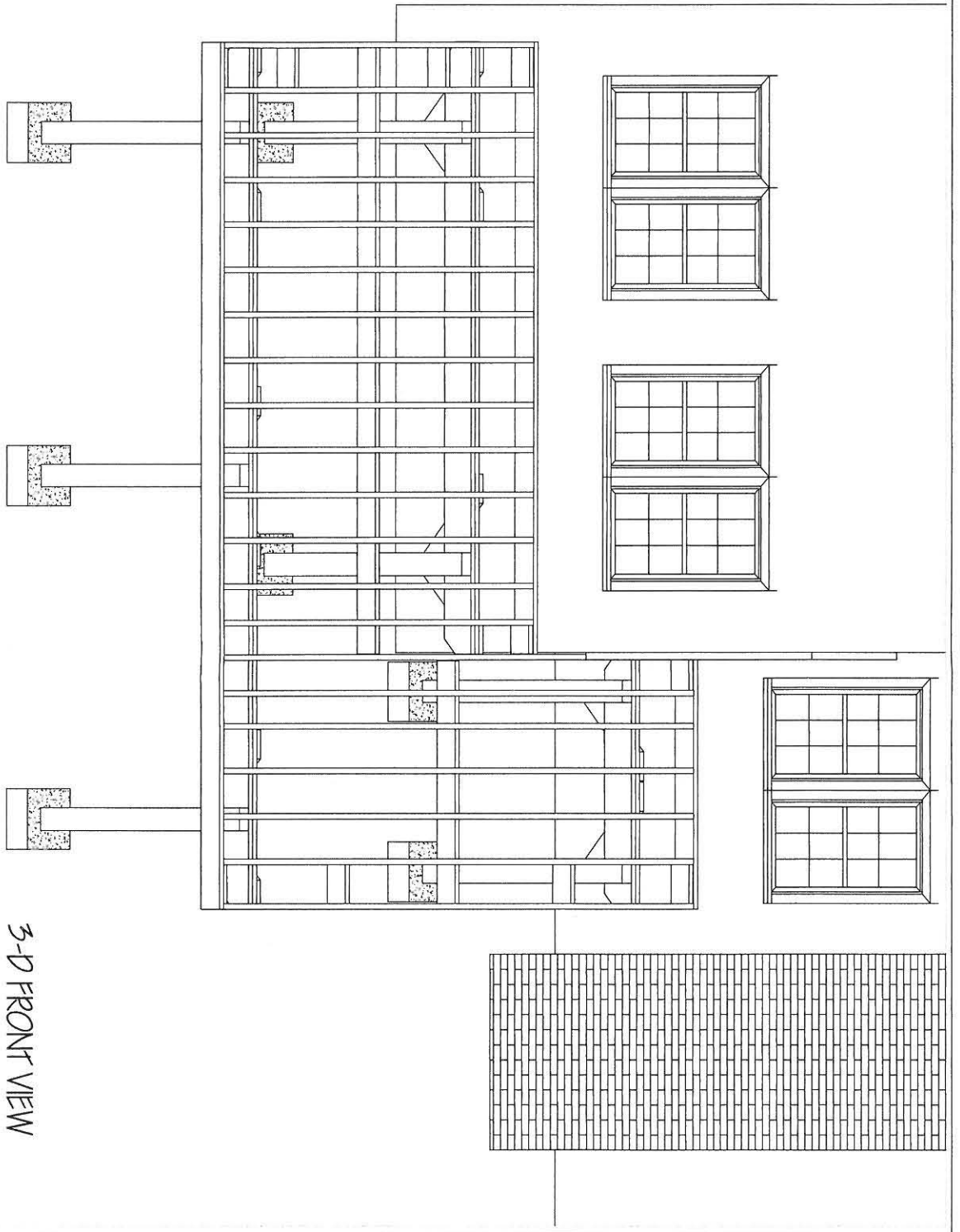
T.O.D. = Measurement from Ground to Top of Deck

These Plans Carry No Warranty or Guarantees

Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

Decks USA

www.DecksUSA.com



3-D FRONT VIEW

**Decks USA**  
 7994 Glenwood Avenue  
 Youngstown, OH 44512-5827  
 Email: [Team@DecksUSA.com](mailto:Team@DecksUSA.com)  
 (330) 726-5540 DIRECT  
 (330) 726-5542 FAX

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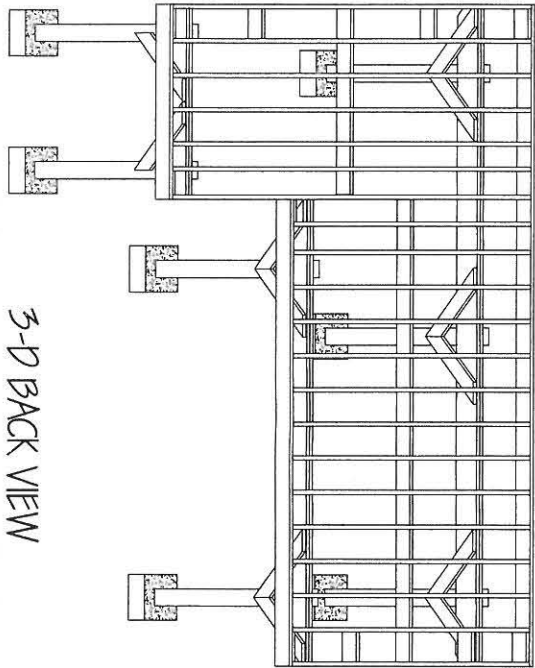
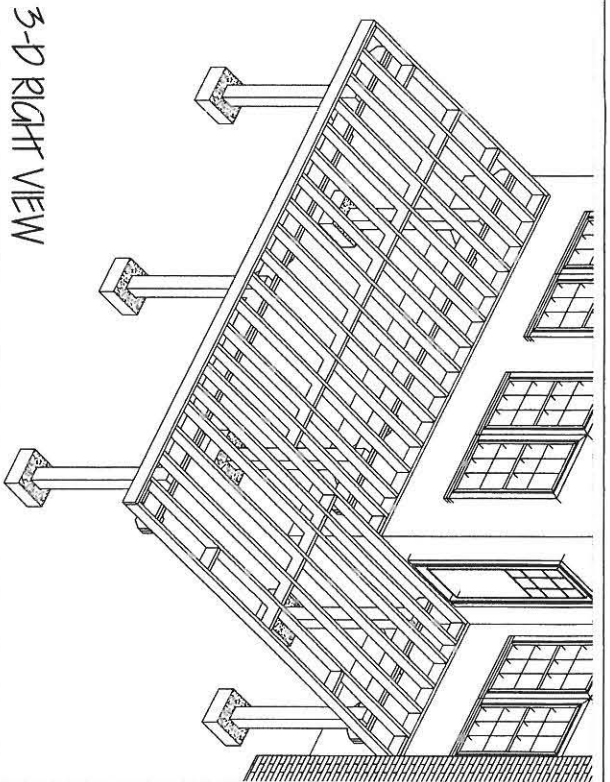
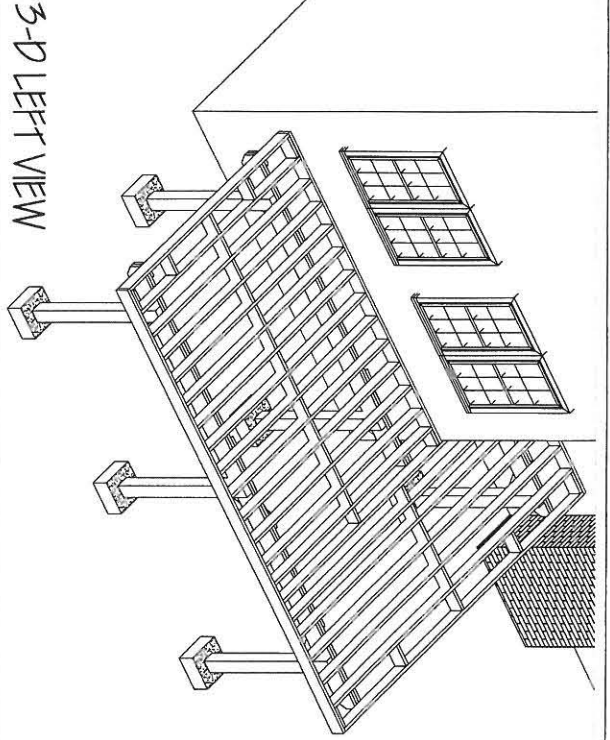
APPROVED:  
 \_\_\_\_\_  
 \_\_\_\_\_

No.	Revision/Issue	Date

NOTE: Submit building plans to your local Building Department for review. These plans have been purchased from Decks USA. The buyer is granted permission to build from these plans, but is not granted permission to reproduce or sell these plans in any manner.

Gibson Home Services
Bullter Project
SF = 221





Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

Gibson Home Services

Builder Project

SF = 221

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No.	Revision/Issue	Date

APPROVED:

\_\_\_\_\_

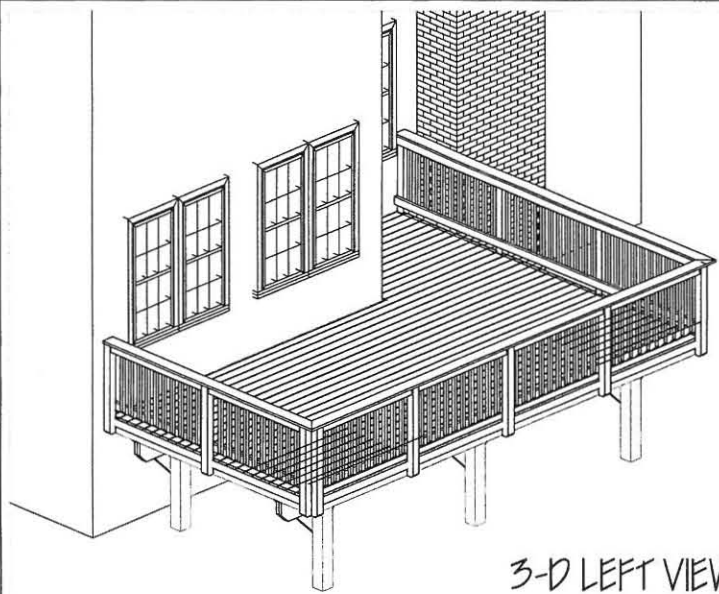
\_\_\_\_\_

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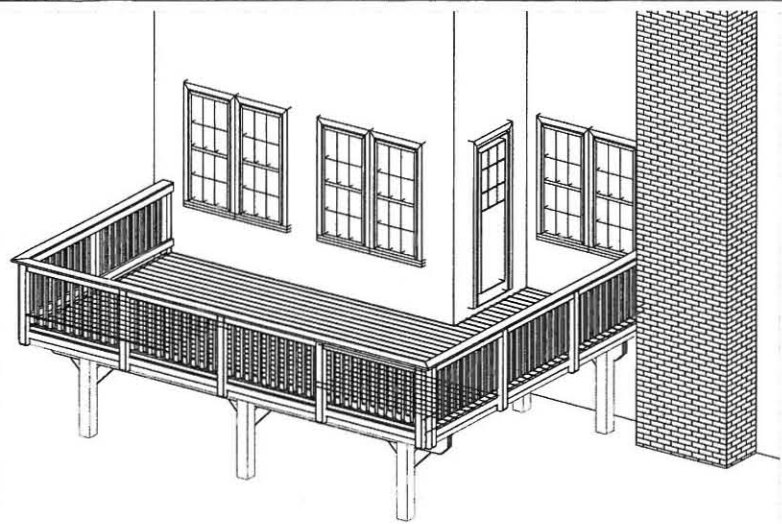
**Decks USA**  
 7994 Glenwood Avenue  
 Youngstown, OH 43322-5827  
 Phone: 726-5540  
 Email: Team@DecksUSA.com  
 (330) 726-5540 DIRECT  
 (330) 726-5542 FAX

www.DecksUSA.com

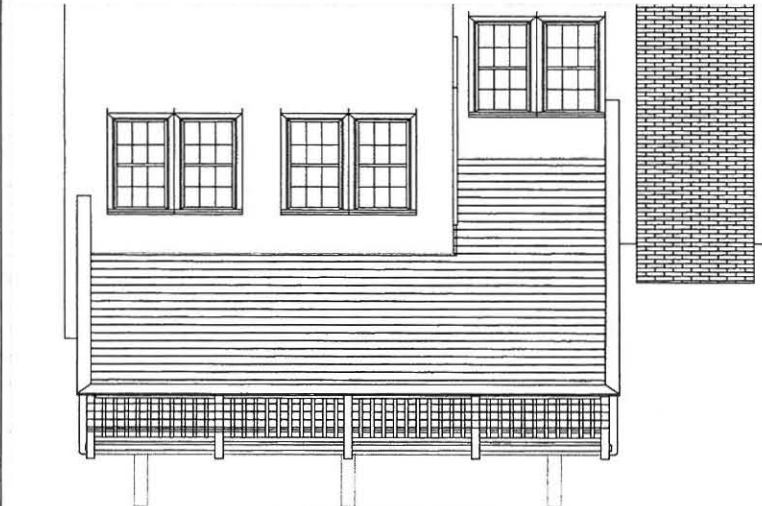
Decks USA



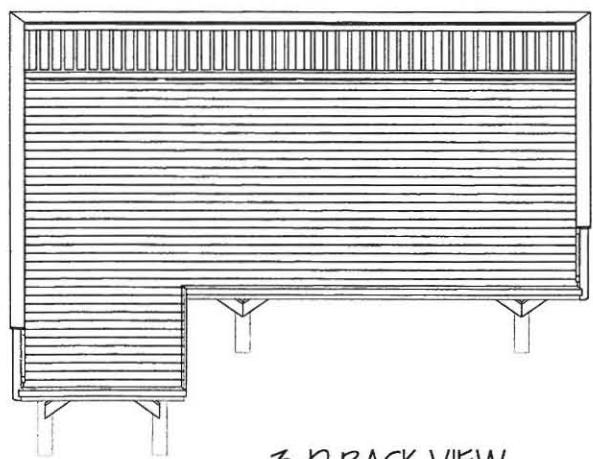
3-D LEFT VIEW



3-D RIGHT VIEW



3-D FRONT VIEW



3-D BACK VIEW

Gibson Home Services  
Butlar Project  
SF = 221

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No.	Revision/ Issue	Date

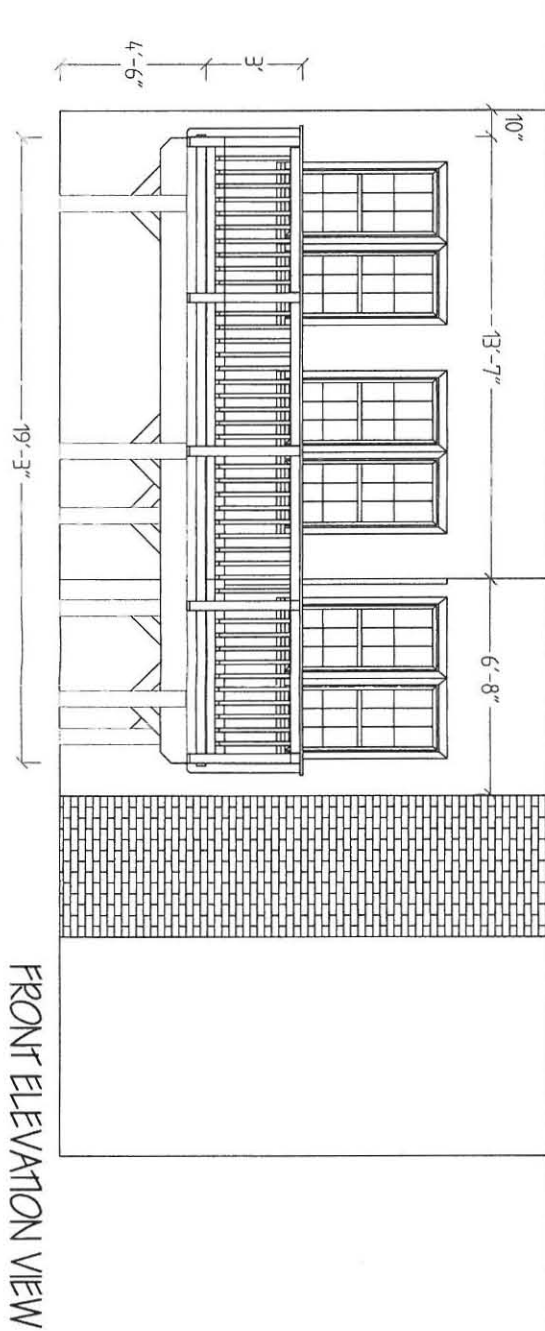
APPROVED:  
\_\_\_\_\_  
\_\_\_\_\_

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Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

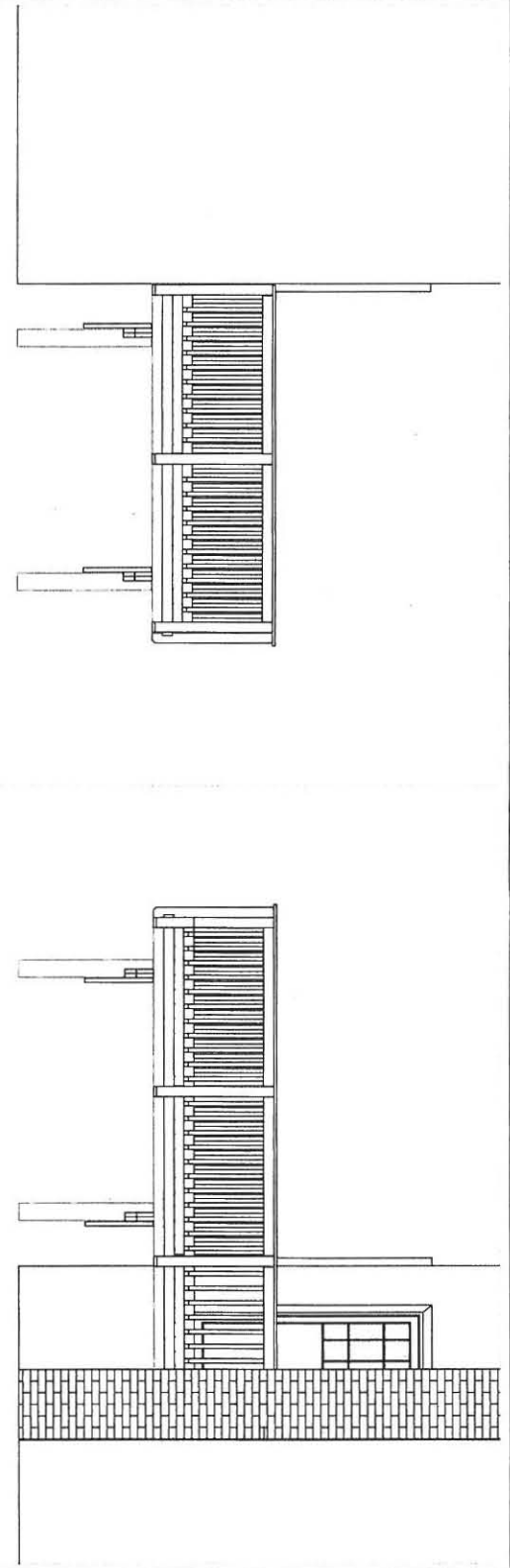




LEFT ELEVATION VIEW

RIGHT ELEVATION VIEW

FRONT ELEVATION VIEW



Attachment: 15004 Gossom Manor Place - Deck (1276 : 15004 Gossom Manor Place - Deck)

Gibson Home Services	
Butler Project	
SF = 221	

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APPROVED:

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 Youngstown, OH 44515-5827  
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TO: Architectural Review Board

SUBJECT: Sheetz Rebuild

DATE: 01/16/13

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After coming before the ARB in December, Sheetz has brought back their proposal for the rebuild of the Haymarket store.

**ATTACHMENTS:**

- Sheetz Rebuild of Store (PDF)

RECEIVED

JAN - 9 2013

TOWN OF HAYMAR T



ZONING PERMIT #: ZP20130109

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING PERMIT APPLICATION

ZONING ACTIVITY: [X] New Construction [ ] Alteration/Repair [ ] Addition [ ] Sign [ ] New Tenant/Use [ ] Change of Use [X] Relocation

NAME OF BUSINESS/APPLICANT: SHEETZ, INC.

PROPOSED USE: CONVENIENCE/GAS STORE Size (Sq. Ft./Length) of Construction: 6,558 SF BUILT

SITE ADDRESS: 15315 WASHINGTON ST. Parcel ID #: 7298-70-1093

Subdivision Name: N/A Lot Size: 2.25 ACRES

ZONING DISTRICT: [ ] R-1 [ ] R-2 [ ] B-1 [ ] B-2 [X] I-1 [ ] C-1 Site Plan Required: [X] Yes [ ] No

Special Use Permit Required: [X] Yes [ ] No Homeowners Association (HOA) Approval: [ ] Yes [X] No

Off-street Parking: Spaces Required: 33 Spaces Provided: 59

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, type and dimensions of signs, height/length of fencing, etc.)

PREVIOUS USE INCLUDES A 5,046 SF CONVENIENCE STORE WITH 8 GAS PUMPS (16 FUELING POSITIONS). A CANOPY PROTECTS PATRONS WHILE FUELING AND THIS CANOPY ATTACHES TO THE BUILDING. THERE IS A DUMPSTER AND FUEL PRICING SIGN ON-SITE

Supporting Documentation (attached): [X] Narrative [X] Plan/Plat [ ] Specification Sheet

FEE: [ ] \$25.00 Residential [X] \$50.00 Commercial PAID JAN - 9 2013

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc.)

PLEASE REFER TO THE ATTACHED PROJECT NARRATIVE

Supporting Documentation (attached): [ ] Specification Sheet [X] Photograph(s)

Form with two columns: PERMIT HOLDER INFORMATION and PROPERTY OWNER INFORMATION. Includes fields for Name, Address, City, State, Zip, Phone#, and Email.

Attachment: Sheetz Rebuild of Store (1279 : Sheetz Rebuild)

**APPLICANT / PROPERTY OWNER SIGNATURE**

\*\*\*\*\*REQUIRED\*\*\*\*\*

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

Allen Stevens on behalf of Sheetz, Inc.  
Applicant Signature Property Owner Signature

\*\*\*OFFICE USE ONLY\*\*\*

ZONING PERMIT #: ZP20130109

Date Filed: 1-9-13 Fee Amount: 50- Date Paid: 1-9-13

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): 1-16-13

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD CHAIR: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

DATE TO PLANNING COMMISSION: \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

PLANNING COMMISSION (where required): \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

DATE TO TOWN COUNCIL: \_\_\_\_\_

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

TOWN COUNCIL (where required): \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

Attachment: Sheetz Rebuild of Store (1279 : Sheetz Rebuild)

# Project Narrative

Attachment: Sheetz Rebuild of Store (1279 : Sheetz Rebuild)





Sheetz Re-build Improvements  
Project Narrative  
Haymarket, VA  
ARB Committee  
January 16, 2013

The purpose of the Sheetz re-build project is the construction of and improvements to the current Sheetz owned property at the corner of James Madison Highway (Route 15) and Washington Street (Route 55) in the Town of Haymarket. Once the construction of the proposed store is complete, the old store will be removed. Once the old store, gas pumps, and tanks have been removed, then the construction of the proposed gas pumps and tanks will be completed (The phasing schedule to be determined at a later date). The property consists of approximately 2.25 acres located on the parcel identified as parcel 15315 and is zoned I-1.

Existing site conditions consist of gently sloping grades across the site in a southerly direction. The runoff flows into an existing stormwater management pond on-site and then through an existing storm drainage system that outfalls on the western side of Route 15. Currently the site includes the existing Sheetz store, a concrete parking lot, and 12 gas pumps (24 fueling positions-gasoline and auto diesel)).

As previously mentioned, the site is at the southeast corner of the intersection of Route 15 and Route 55 in the Town of Haymarket. The Sheetz property borders property owned by Shoppes at Haymarket, LLC to the south and east as well as property owned by Archland Property I, LLC to the east.

The new Sheetz store will present a revitalized, clean and orderly look to the current property, while maintaining the Town of Haymarket’s goal of creating a unique, historic feel in and around the town. Trash dumpsters will be screened, using brick and other materials, to make them more visually pleasing. Sheetz will use materials in its construction to create a positive visual appearance for customers and maintain design relationships with adjacent properties and the Town. Typical materials used in the construction of Sheetz stores are 1) Building: Brick and stone exterior, stone sills, standing seam metal roofing system, brick pavers, LED- “cut off” lighting and 2) Fuel canopy: Red canopy and columns which may be a bronze color to match the bronze trim used on the store and lighting fixtures.

Attachment: Sheetz Rebuild of Store (1279 : Sheetz Rebuild)





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TO: Architectural Review Board  
SUBJECT: McDonalds Informal Discussion  
DATE: 01/16/13

---

McDonalds is coming back again this month with some changes from last month's discussion.

**ATTACHMENTS:**

- McDonalds Revised photo 1 (PDF)
- McDonalds Revised Photo 2 (PDF)









MARKET  
045-1159  
01/04/2013



Attachment: McDonalds Revised Photo 2 (1277 : McDonalds Informal Discussion)





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TO: Architectural Review Board

SUBJECT: Task List

DATE: 01/16/13

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Monthly update of ARB Tasks.

**ATTACHMENTS:**

- ARB Tasking update (PDF)

## January 2013 ARB Tasking Status

Task Description	Owner	Date Started	Status	Chronologic Detail
<b>By-Laws</b>	Luersen/Schneider	Aug. 2012	Open	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled ‘til next meeting</p> <p><b>Sep. 2012</b> – Ken to meet with Marchant and lay out next steps to move forward</p> <p><b>Oct. 2012</b> – Ken to use Fairfax Co. And Roanoke by laws as base document. From ARB workshop recommendation, Ken to add CIOA to by-laws. Marchant to review and vet for board review in Dec. 2012</p> <p><b>Nov. 2012</b> – ARB By-Laws written and passed to Marchant to vet. Marchant said he should be able to complete by the December ARB meeting.</p> <p><b>Dec. 2012</b> – Task tabled for the holidays</p>
<b>Caboose Enhancement Project</b>	Luersen/Preli	Aug. 2012	On-Hold	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled ‘til next meeting</p> <p><b>Sep. 2012</b> – Ken to meet with Jennifer and lay out next steps to move forward</p> <p><b>Oct. 2012</b> – Ken and Jennifer met and concluded this task needed to be put on hold. Ken to reassess with Jennifer Apr. 2013</p>
<b>Welcome Signs at Town entrance</b>	Luersen	Aug. 2012	Open	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled ‘til next meeting</p> <p><b>Sep. 2012</b> – Board to review other towns signs via internet and prepare for Oct. 2012 concept discussion.</p> <p><b>Oct. 2012</b> – Concept Created. Ken to create formal ARB request package for town council. ARB review set for Nov. 2012. Packet submission to town council set for Dec. 2012 town meeting</p> <p><b>Nov. 2012</b> – ARB requested that town properties be included in package. ARB moved to submit document to Town council</p>



## January 2013 ARB Tasking Status

Task Description	Owner	Date Started	Status	Chronologic Detail
				at the December TC meeting after changes are made. <b>Dec. 2012</b> – Task tabled for the holidays
<b>Certified Local Government Communique</b>	Harnest	Oct. 2012	On-Hold	<b>Oct. 2012</b> – Task Created. Kat to question TC if they are aware of CLG and what their stance is with regard to participating in the program. <b>Nov. 2012</b> – CLG presented to Town Council at Nov. TC meeting. Town Council to review and make a decision. Table task and readdress Jan. 2013 to give TC time to review.
<b>PC Training Communique</b>	Schneider	Oct. 2012	Open	<b>Oct. 2012</b> – Task Created. Ellie to communicate to PC that Plan Virginia intends to hold training in Jan. 2013 at Leesburg. <b>Nov. 2012</b> – Marchant tasked to communicate to PC since Ellie is no longer on the board. <b>Dec. 2012</b> – Task tabled for the holidays