



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ AGENDA ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

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Wednesday, December 19, 2012

7:00 PM

Council Chambers

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### **1. Call to Order**

### **2. Citizens Time**

### **3. Minutes Approval**

- a. Architectural Review Board - Regular Meeting - Nov 14, 2012 7:00 PM

### **4. Certificate of Appropriateness**

- a. 15000 Gossom Manor Place - Deck
- b. 6630 Jefferson Street - the Very Thing Sign

### **5. Town Council Update**

### **6. Planning Commission Update**

### **7. New Business**

- a. McDonald's Informal Discussion
- b. Sheetz - Informal Discussion

### **8. Old Business**

- 1. Task List Update

### **9. Adjournment**



# ARCHITECTURAL REVIEW BOARD

## REGULAR MEETING ~ MINUTES ~

Kenneth Luersen,  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

Wednesday, November 14, 2012

7:00 PM

Council Chambers

A Regular Meeting of the Architectural Review Board of the Town of Haymarket, VA, was held this evening in the Board Room, Commencing at 7:00 PM

Chair Kenneth Luersen called the meeting to order.

### 1. Call to Order

Sheila Jarboe: Present, Chair Kenneth Luersen: Present, AIA John Parham: Late (7:18 PM), Councilwoman Katherine Harnest: Present.

### 2. Citizens Time

No Citizens spoke tonight.

### 3. Minutes Approval

- a. Architectural Review Board - Regular Meeting - Oct 17, 2012 7:00 PM  
October 17, 2012 Minutes are approved with no amendments.

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Katherine Harnest, Councilwoman
<b>SECONDER:</b>	Sheila Jarboe
<b>AYES:</b>	Sheila Jarboe, Kenneth Luersen, Katherine Harnest
<b>ABSENT:</b>	Ellie Ivancic, John Parham

### 4. Certificate of Appropriateness

- a. 14723 Alexandras Keep Lane - Shed  
Applicants present.  
Shows sample of siding.  
ARB has no issues with the Shed colors.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Katherine Harnest, Councilwoman
<b>SECONDER:</b>	Sheila Jarboe
<b>AYES:</b>	Sheila Jarboe, Kenneth Luersen, Katherine Harnest
<b>ABSENT:</b>	Ellie Ivancic, John Parham

- b. 15000 Gossom Manor Place - Fence  
Applicant present.  
Black aluminum option preferable, vinyl white second option.  
ARB has no problems with either one.  
HOA hasn't said yes or no yet as they haven't met on the application.

ARB approves the Fence application with either option, depending on what the HOA approves.

This application goes to Planning Commission Monday night.

Minutes Acceptance: Minutes of Nov 14, 2012 7:00 PM (Minutes Approval)

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Katherine Harnest, Councilwoman
<b>SECONDER:</b>	Sheila Jarboe
<b>AYES:</b>	Sheila Jarboe, Kenneth Luersen, John Parham, Katherine Harnest
<b>ABSENT:</b>	Ellie Ivancic

c. 14891 Washington Street - Roof Replacement

Luersen:

A quick turnaround approval was needed unofficially for Madison Corner Shop building because of a leaky roof.

The applicant could not be present tonight.

ARB did agree thru emails this change would be fine. We did receive Certificate of Appropriateness.

The roof is up. It is the same color as the rest. It looks fine, not really noticeable. There will be more work done on it eventually.

On the back side of the building will replace with Hardie Board, same color as what's there.

This part is not facing a public street.

The Roof Repair is approved and the motion includes the hardie board repairs when they're ready to do so.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Sheila Jarboe
<b>SECONDER:</b>	Katherine Harnest, Councilwoman
<b>AYES:</b>	Sheila Jarboe, Kenneth Luersen, John Parham, Katherine Harnest
<b>ABSENT:</b>	Ellie Ivancic

## 5. Town Council Update

Harnest updates from the TC.

There was a Special Use Permit for The Very Thing for her and Upscale seconds that were both approved by Council yesterday.

The Master Plan is still in the works.

Streetscape is still in the works.

Marchant will discuss the master plan and town center plan.

Harnest also talked to Council about anything they want/ask/require, that they go directly to her as the Liaison and she will report to the ARB. And copy the Town attorney.

She also gave a copy of Certified Local Government program information to the Town Council members.

They have forwarded it to the Planning Commission for review and discussion.

Signage was brought up. Informed Council we are working on welcome sign plan and will present to them in December.

Marchant talks about the Master Plan.

We had Kennedy's plan that is no longer viable. Town Council made command decision not to resell the property. Thus the restoration of the two buildings, Old Post Office and Hulfish House. We need to know how to better address this space we control. True mixed use. During events, etc. Is the concept to do the master plan for whole Town? That would be too much. Let's start with our property first.

We have received positive feedback about the two restored buildings and people are anxious to see something done with this lot.

He passes out 2 Plans that have been put together by the Contractor we hired. Engineer came and surveyed the site. There was a working group put together to provide feedback that included the Town Engineer, Town Manager, Council Woman Bare, etc. They are eventually looking for ARB feedback. It will get forwarded to Council for them to adopt a plan. This is the horizontal step. Facade will be done later.

The parking will always be issues. Unless we have some sort of municipal parking lot, we are challenged. Either of these plans also will eliminate the traffic cutting thru the parking lot.

The Contractor will come back with the feedback we give them. We did take some of this from the Charette and the comp plan.

Will get more detail then formally present to the ARB. ARB is ok with how it's going so far.

Harnest asks about Old Post Office roof. Why is there a sag in the middle. Contractor said the roof is structurally sound. It was done that way on purpose. Luersen mentions it still has huge concrete slab stairway on it. Wish could put stones around to make it look better like that time period. The Windows still need to be ordered.

Parham asks about the discussion of the use of this building? Will it stay as it's current form, town hall, office upstairs, retail?

Town Council said to keep as it is now.

Has the Firehouse been approved for the food party? No not yet. Everyone submitted RFI's. Once the County received the RFI's, they would not release what the proposals were. They won't disclose it. They sent letters to those who showed interest and asked them to pay fair market value. Want to sell to raise money for fire & rescue.

Selling whole complex together.

## 6. Planning Commission Update

Ivancic has resigned as the Planning Commission liaison.

Marchant will give the update on the Planning Commission.

There was a series of Zoning Text Amendments sent to the Town Council.

McDonald's is still coming in with their plan. Our ordinance says there is a maximum of 6 spaces allowed in the drive thru, where most ordinances say that is a minimum. So they're going back into fix that.

We will revisit sign ordinance again. Probably would take about 4-6 months. Should we just start completely over? Planning Commission will look at that, and will eventually bring back to the ARB.

Sheetz coming in soon for their rebuilding.

There was a request for a Zoning Text Amendment for a funeral home use. That will go to Planning Commission for vetting and whether it comports with the Comp Plan in the B1 district. The site that is being looked at is next to the animal hospital on Washington Street. We do have parking standards for funeral homes, as we don't allow them. Only 10 spaces allowed.

There is an interest in taking the old Durham building and converting it to a soccer complex. Behind 84 lumber. Indoor complex.

Jarboe asked if Guy Gravitt has ever come back with a plan behind The Fauquier Bank lot? Marchant said no, he has not come back.

a. Planning Commission Update

## 7. New Business

Luersen mentions again that Ivancic has resigned from both the ARB and the Planning Commission.

Bare mentioned it to the Town Council. They will be assigning a Liaison from the Planning Commission to the ARB.

## 8. Old Business/Task List

ByLaws: Marchant will look at what Luersen has put together, and come back with any revisions/suggestion by the December ARB Meeting.

Any comments from the ARB on them? All agrees it looks great.

Caboose project is on hold. Won't mention again until April 2013.

Welcome Signs:

We will try to vet what we can so we can get to the December Town Council Meeting for review.

We will try to work with VDOT for a sign on the crossover. The Certified Local Government program would help us be able to get the sign as a historic district. This package is strictly a concept, not a design. First get the approval by the Council that they like the concept, then we can discuss the next steps. Do we ask for a budget amount first? Or create the design then give the price it would cost.

Marchant do we want to do a way finding concept? Or do we want overall package? Show on the signs the way to the Police Dept, Museum, town hall etc? Or start with the gateways, and work towards the Town Center Property.

Jarboe ask why not sign at Museum, where the event sign is with something? Welcome?

The next Town Council meeting is in 3 weeks. Are there any change to what Luersen put together?

Harnest asks about a Welcome sign down by the Police Dept area, maybe having something on both sides. So whether they're entering the Town or leaving, it can say "welcome" or "come again"? Any way to visualize that on your photos?

The one above the traffic light is still up for discussion as whether it is legal to put there or not. Let's get this to our Town Engineer, Holly, as fast as possible.

Jarboe asks if we can also possibly get a sign down at the intersection of 29/55. We would have to go thru VDOT for that.

Luersen will make some revisions and give to Harnest to report at the December Town Council meeting.

Certified Local Government program - keep open? It's been closed as a task. As it's been given to PC for their review and they act on it.

Keep open until they're done. Revisit January with direction.

Luersen - mentioned at the September ARB workshop he attended, that PlanVirginia is holding a Planning Commission type training session in Leesburg in January, if Planning Commissioners might be interested. If they need more information, go the the PlanVA website.

a. Task List

## 9. Adjournment

Harnest motions to adjourn the meeting.

Jarboe seconds.

Ayes: 4

Meeting adjourned at 8:32pm.



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TO: Architectural Review Board  
SUBJECT: 15000 Gossom Manor Place - Deck  
DATE: 12/19/12

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This is a 2 tier deck, with Trex decking, white post railing, black aluminum balisters. This went before the Planning Commission on 12/10/2012.

**ATTACHMENTS:**

- 15000 Gossom Manor Place - Deck (PDF)

# The Town of HAYMARKET

Established in 1799

RECEIVED

NOV 27 2012

TOWN OF HAYMARKET

ZONING PERMIT #: ZP20121127

**NOTE:** This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

## ZONING PERMIT APPLICATION

PC-12/19<sup>10</sup>

**ZONING ACTIVITY:**  New Construction  Alteration/Repair  Addition  Sign  
*(Check all that apply)*  New Tenant/Use  Change of Use  Relocation

**NAME OF BUSINESS/APPLICANT:** RON & GRETCHEN EASTHAM

**PROPOSED USE:** DECK OFF OF KITCHEN Size (Sq. Ft./Length) of Construction: 11'x9' + 12'x14'

**SITE ADDRESS:** 15000 GOSSOM MANOR PL Parcel ID #: 21  
*267 total sq ft.*

Subdivision Name: SHERWOOD FOREST Lot Size: 5873 SQ FT

**ZONING DISTRICT:**  R-1  R-2  B-1  B-2  I-1  C-1 Site Plan Required:  Yes  No

Special Use Permit Required:  Yes  No Homeowners Association (HOA) Approval:  Yes  No  
*(in process)*

Off-street Parking: Spaces Required: \_\_\_\_\_ Spaces Provided: \_\_\_\_\_

**BRIEF DESCRIPTION OF ACTIVITY:** *(i.e. previous use, type and dimensions of signs, height/length of fencing, etc.)*  
2 tier deck (composite Trex) off of kitchen in backyard.  
See diagram for design and dimensions.

Supporting Documentation *(attached)*:  Narrative  Plan/Plat  Specification Sheet  
**FEE:**  \$25.00 Residential  \$50.00 Commercial

PAID

NOV 27 2012

## CERTIFICATE OF APPROPRIATENESS

ARB 12/19

**ADDITIONAL DESCRIPTION:** *(i.e. color, type of material, font style, etc.)*  
Trex decking in "Firepit"; white post railings with black aluminum balusters; see diagram for pics and colors

Supporting Documentation *(attached)*:  Specification Sheet  Photograph(s)

PERMIT HOLDER INFORMATION			PROPERTY OWNER INFORMATION		
<u>Sunburst Construction</u>			<u>Gretchen Eastham</u>		
Name			Name		
<u>21720 Red Run Dr.</u>			<u>15000 Gossom Manor Place</u>		
Address			Address		
<u>Ashburn VA 20147</u>			<u>Haymarket VA 20109</u>		
City	State	Zip	City	State	Zip
<u>703-406-0914 chad@sunburst</u>			<u>832-775-6313 GCEASTHAM</u>		
Phone#	Email		Phone#	Email	
<u>ext. 105</u>	<u>chad@sunburst</u>	<u>construction.com</u>		<u>GCEASTHAM</u>	<u>@GMAIL</u>

Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)

**APPLICANT / PROPERTY OWNER SIGNATURE**

**\*\*\*\*\*REQUIRED\*\*\*\*\***

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

*Geoff East*  
Applicant Signature

*Geoff East*  
Property Owner Signature

**\*\*\*OFFICE USE ONLY\*\*\***

ZONING PERMIT #: ZP20121127

Date Filed: 11-27-12 Fee Amount: 25 Date Paid: 11-27-12

DATE TO ARCHITECTURAL REVIEW BOARD (ARB): 12-19-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD CHAIR: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

DATE TO PLANNING COMMISSION: 12-10-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

PLANNING COMMISSION {where required}: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

DATE TO TOWN COUNCIL: \_\_\_\_\_

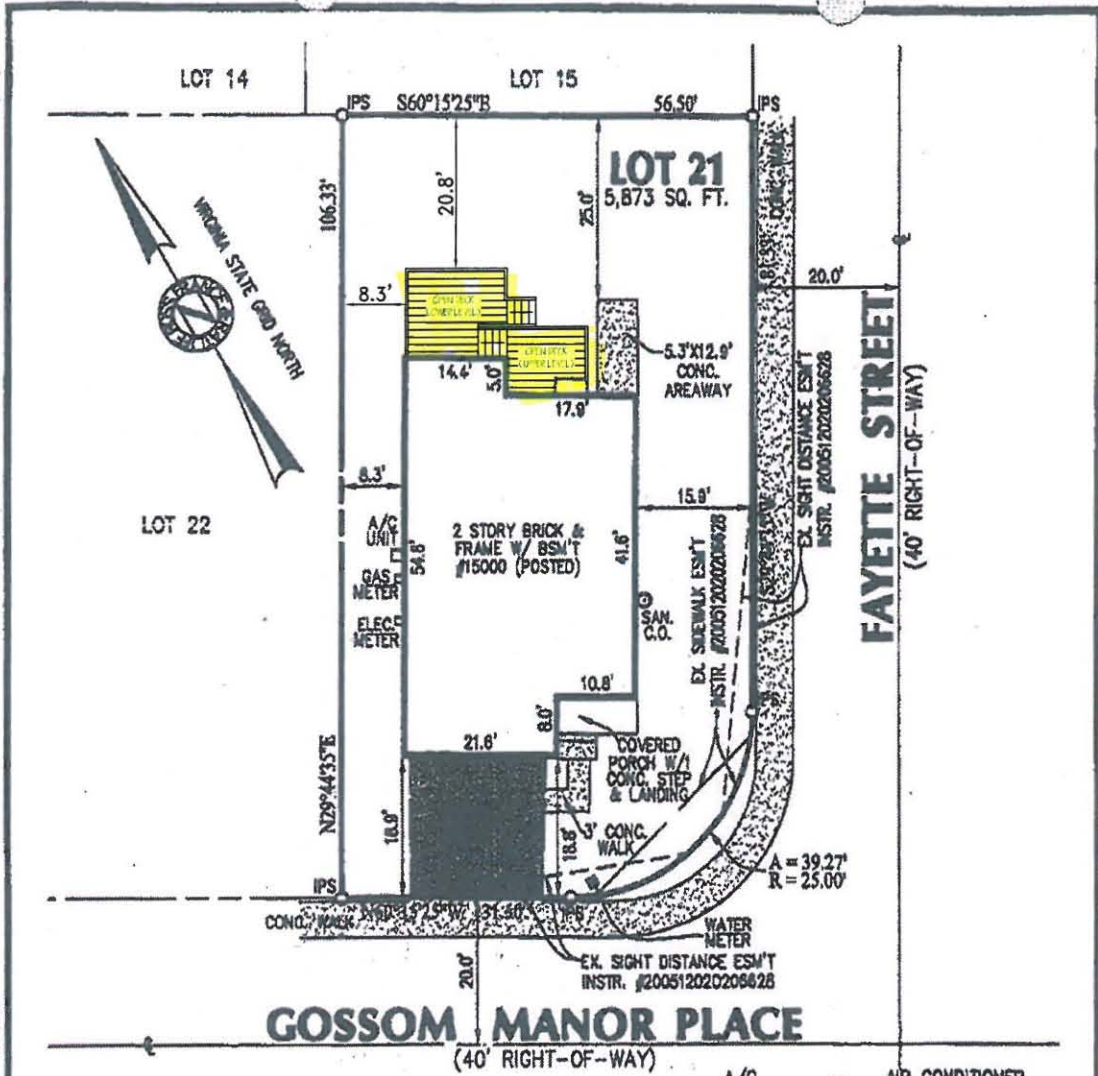
APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

TOWN COUNCIL {where required}: \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_  
\_\_\_\_\_

Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)





P:\Engineer\PWC\SHERWOOD\House-Loc\dwg\Lot-21-his.DWG Fri, Mar 23 2012 10:46:00 AM kblake

THE GEOGRAPHIC PARCEL IDENTIFICATION NUMBER (G.P.I.N.) FOR THE PROPERTY SHOWN HEREON IS 7298-90-0492. THIS PROPERTY WAS ACQUIRED BY DEED RECORDED AS INSTRUMENT #201011050098724 IN THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

THE PROPERTY DELINEATED HEREON DOES NOT LIE WITHIN THE LIMITS OF A 100-YEAR FLOODPLAIN EASEMENT.

HOUSE LOCATION SURVEY  
LOT 21

### SHERWOOD FOREST


GAINESVILLE MAGISTERIAL DISTRICT  
TOWN OF HAYMARKET  
PRINCE WILLIAM COUNTY, VIRGINIA  
SCALE: 1" = 20'  
MARCH 23, 2012

COPYRIGHT © 2012  
by  
ROSS, FRANCE & RATLIFF, LTD.  
NO TITLE REPORT FURNISHED

- A/C - AIR CONDITIONER
- BSM'T - BASEMENT
- CONC. - CONCRETE
- C.O. - CLEANOUT
- ESM'T - EASEMENT
- ELEC. - ELECTRIC
- INSTR. # - INSTRUMENT NUMBER
- IPS - IRON PIPE SET
- SAN. - SANITARY
- SQ. FT. - SQUARE FEET

I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A FIELD SURVEY AND THAT UNLESS OTHERWISE SHOWN THERE ARE NO ENCROACHMENTS.



DWN:	 <b>Ross, France &amp; Ratliff, Ltd.</b> CIVIL ENGINEERING - LAND SURVEYING 8802 SUDLEY ROAD MANASSAS, VIRGINIA 20110 703-361-4188 FAX 703-361-6353	CERTIFIED CORRECT  RE-CERTIFIED CORRECT
CHK:	JWL	

F#5150

Attachment: 15000 Gosson Manor Place - Deck (1238 : 15000 Gosson Manor Place - Deck)

Sherwood Forest  
ARCHITECTURAL IMPROVEMENT REQUEST FORM  
c/o  
Sequoia Management  
13998 Parkeast Circle  
Chantilly, VA 20151-2283  
703-803-9641  
www.sequoiamanagement.com

Name of Applicant: Ron & Gretchen Eastham Date: 11/27/12  
Address: 15000 Gossom Manor Pl Lot #: 21  
Telephone: (H) 832-775-6313 (W) 202-757-7570 (FAX) \_\_\_\_\_  
Email: GCEASTHAM@GMAIL.COM

(to be utilized to verify receipt of application as well as communication for additional information as required)

Anticipated Construction Duration: 9 Days

Type of Alteration/Change (please check appropriate box)

- Second Story Deck Complete Section (a) below
- Ground Level Deck Complete Section (a) below
- Fence Complete Section (b) below
- Patio Complete Section (c) below
- Storm Door Complete Section (d) below
- Other Complete Section (e) below

Section (a) Deck Additions

Dimensions: Across the back of the house: 25' - 11' & 14'  
Dimensions: Length out from house: 12'  
Elevation from ground level: 5' TOP LEVEL 2' LOWER  
Railing Height (from surface of deck): 3'  
Railing type (describe): TREX WHITE w/ BLACK ALUM BALUSTERS  
Type of materials to be utilized: TREX  
Stain color (Sample Color Chip or Brochure Required): \_\_\_\_\_

Include information on any additional attachments, such as trellis, lighting, benches, flower boxes, etc.

Section (b) Fence Additions

Total Dimensions of the fence: \_\_\_\_\_  
Fence Type: \_\_\_\_\_  
Type of Gate: \_\_\_\_\_  
Type of materials to be utilized: \_\_\_\_\_  
Stain color (Sample Color Chip or Brochure Required): \_\_\_\_\_

Section (c) Patio Additions

Total Dimensions of the patio: \_\_\_\_\_  
Type of materials to be utilized: \_\_\_\_\_

Section (d) Storm Doors

Placement of Door: \_\_\_\_\_  
Describe type of Storm Door: \_\_\_\_\_  
Describe color of Storm Door as it relates to the following:  
Front Door, Siding (Brick), and Trim \_\_\_\_\_

Section (e) Other

Please provide an explanation of the project, providing details on dimensions, materials, colors as applicable

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)

**All applications must be accompanied by the following materials:**

- Attached architectural plans/drawings or photographs of the proposed project. Drawings MUST show elevations, dimensions, height off the ground, relationship to existing structures, railings, footings, color samples if necessary and manufacturer's brochure, if available.
- Attach a copy of the property plat showing size, shape and location of improvement to residence and to adjoining properties (including specific dimensions of improvement and distances to adjoining properties.) Grading plan must be included, if applicable.
- Obtain the signatures of all adjacent or affected property owners. The signatures only indicate their awareness of your proposed plans, not their approval. Signatories having concerns about your proposed plan must notify the Association of specific concerns in writing.

Name: Pritam K Buttar Phone Number: 703-818-3465  
 Address: 1500 U Gossom Manor Pl Lot Number: 22  
 Signature: GAY MARET VA 20169

Name: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 Address: \_\_\_\_\_ Lot Number: \_\_\_\_\_  
 Signature: \_\_\_\_\_

Name: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
 Address: \_\_\_\_\_ Lot Number: \_\_\_\_\_  
 Signature: \_\_\_\_\_

I understand and agree to the following:

- that this modification may require a County building permit or may be subject to other governmental regulations. I agree to obtain all required city/county approvals. Miss Utility will be contacted prior to the commencement of any construction. Approval of this application satisfies only the requirements of the Association and not any obligations to the County or as may be required.
- that I assume full responsibility for all landscaping, grading and/or drainage issues relating to the improvements, including applicable replacing bonds or escrows posted by Developer/Builder currently in place affecting the lot. All work associated with the project will be completed within the property lines. Any damage to adjoining property (including common area) or injury to third persons associated with the improvement.
- that no work on this proposal will commence until I receive written approval of the Association. To do so is a violation of the Covenants of the Association and may result in my being required to remove an unapproved modification and restore my property to its original condition at my own expense if this application is disapproved. I also understand I may be held responsible for any legal fees incurred on behalf of the Association in enforcing this provision.
- that an approval is contingent upon the construction being completed in a timely and a professional and workmanlike manner as per the specifications as submitted in this applications.
- the members of the Association may enter upon my property to make a routine inspections.
- that there are architectural requirements addressed in the Design Standards and the Declaration and a review process as established by the Board of Directors.
- that the approval authority granted by the Association (if so granted) will automatically expire should the proposed project not be commenced within six (6) months of the approval or completed within thirty (30) days of the approval
- that a variation from the original application must be submitted for approval of the Association

Owner/Applicant's Signature: [Signature] Date: \_\_\_\_\_

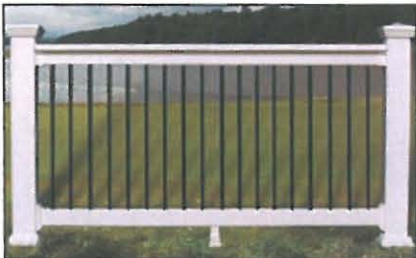
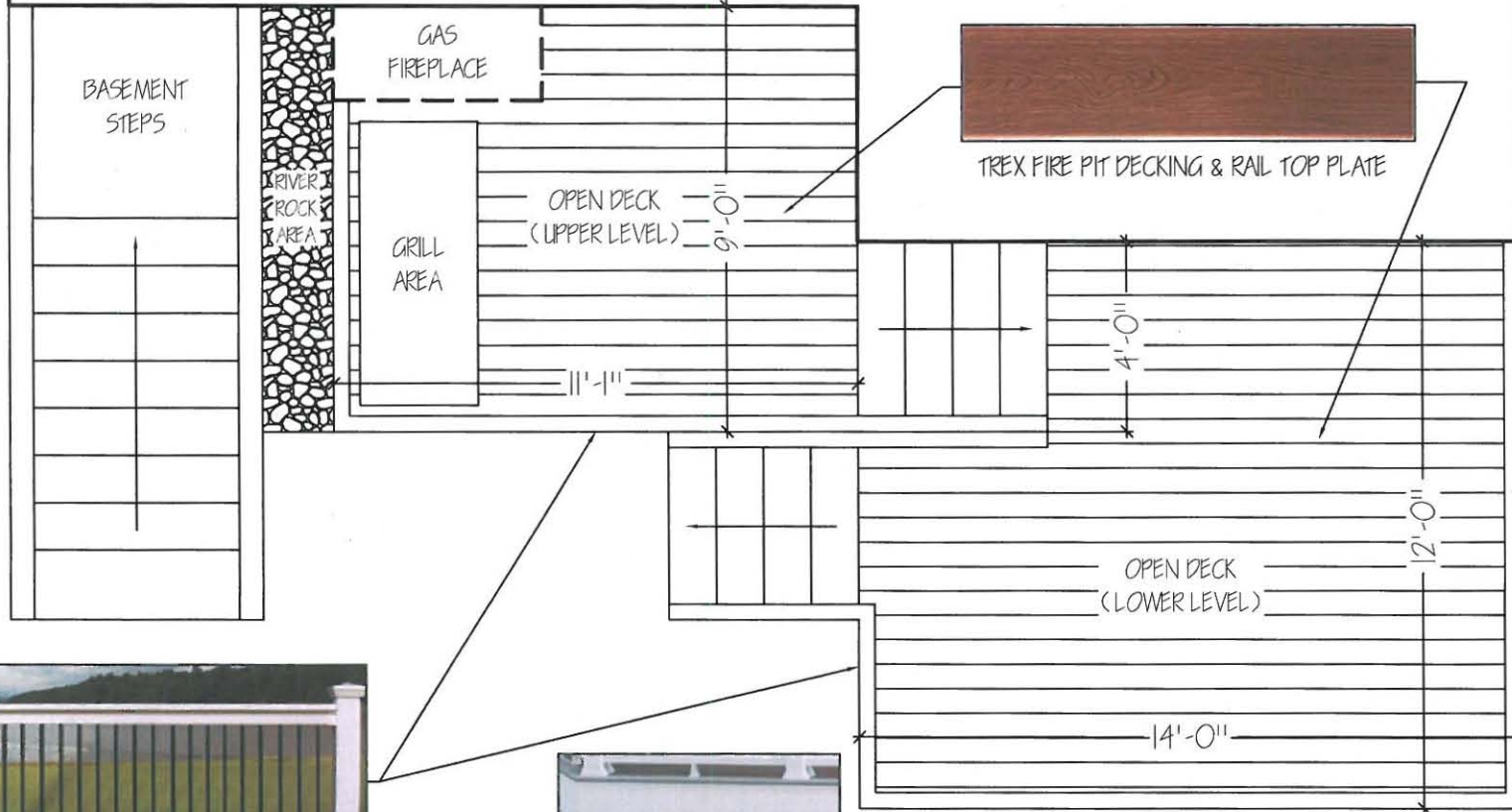
(For committee Use Only)

- Approved
- Disapproved
- Approved with conditions: \_\_\_\_\_

Committee Representative: \_\_\_\_\_ Date of Decision: \_\_\_\_\_

Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)

THIS DRAWING AND ALL DESIGNS AND DETAILS SHOWN ARE CONFIDENTIAL. THIS DRAWING IS NOT TO BE COPIED OR DISTRIBUTED TO THIRD PARTIES WITHOUT PERMISSION OF SUNBURST AND IS RETURNABLE UPON DEMAND. ALL PATENT AND DESIGN RIGHTS ARE RESERVED.



WHITE TREX RAIL w/ BLACK ALUMINUM BALUSTERS  
(top plate will be continuous and have no post caps)



WHITE PVC LATTICE AROUND PERIMETER BELOW BOTH DECKS



WHITE PVC TREX TRIM ON DECK BANDBOARD AND ALL OTHER EXPOSED WOOD

Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)



**SUNBURST CONSTRUCTION**  
 21720 RED RUM DRIVE  
 SUITE 187  
 ASHBURN, VA 20147  
 PHONE: 703-406-0914  
 FAX: 571-918-4279

**Ron Eastham**  
 15000 Gossom Manor Place  
 Haymarket, VA 20169

SALESPERSON: Chad Brofermaker  
 DRAWN BY: Todd McKinney  
 DATE: 11/13/12

SCALE  
 $\frac{1}{4}'' = 1'$   
 PAGE

SUNBURST CONSTRUCTION  
 PRE-PRODUCTION

1



Attachment: 15000 Gossom Manor Place - Deck (1238 : 15000 Gossom Manor Place - Deck)



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TO: Architectural Review Board  
SUBJECT: 6630 Jefferson Street - the Very Thing Sign  
DATE: 12/19/12

---

The Very Thing...for Her is applying for a freestanding sign. Planning Commission did approve this application on December 10th.

**ATTACHMENTS:**

- 6630 Jefferson Street - Zoning Permit Application - Sign(PDF)

RECEIVED

DEC - 3 20

TOWN OF HAYMARKET



ZONING PERMIT #: ZP20121203

NOTE: This application must be filled out completely and all components of submission requirements must be met before the application can be accepted and scheduled for review/hearing.

ZONING PERMIT APPLICATION

ZONING ACTIVITY: [ ] New Construction [ ] Alteration/Repair [ ] Addition [ ] New Tenant/Use [ ] Change of Use [ ] Relocation

Sign

NAME OF BUSINESS/APPLICANT: THE VERY THING... FOR HER

PROPOSED USE: SIGNATURE Size (Sq. Ft./Length) of Construction:

SITE ADDRESS: 6630 JEFFERSON ST, Haymarket, Va. 20169 Parcel ID #:

Subdivision Name: Lot Size:

ZONING DISTRICT: [ ] R-1 [ ] R-2 [x] B-1 [ ] B-2 [ ] I-1 [ ] C-1 Site Plan Required: [ ] Yes [x] No

Special Use Permit Required: [ ] Yes [x] No Homeowners Association (HOA) Approval: [ ] Yes [ ] No

Off-street Parking: Spaces Required: Spaces Provided:

BRIEF DESCRIPTION OF ACTIVITY: (i.e. previous use, type and dimensions of signs, height/length of fencing, etc.)

FREE STANDING POST W/ SIGN SIGN HEIGHT W/ POST 6' FEET LENGTH OF ARM EXTENDING IS 40" IN (SEE ATTACHED DIAGRAM)

Supporting Documentation (attached): [ ] Narrative [ ] Plan/Plat [ ] Specification Sheet

FEE: [ ] \$25.00 Residential [x] \$50.00 Commercial

4.5 SQ. FT SIGN PANEL

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL DESCRIPTION: (i.e. color, type of material, font style, etc.)

BLACK POST MADE OF ALUMINUM W/ STYLIZED BASE & SIGN PADE OF HIGH GRADE 1/2" THICK PVC SHEET 18"x24"x36"

Supporting Documentation (attached): [ ] Specification Sheet [x] Photograph(s)

PERMIT HOLDER INFORMATION: Doris Buck, 15000 WASHINGTON ST., STE 110, Haymarket Va. 20169, 703-754-6550, TUTCONSIGNMENT@VERIZON.NET
PROPERTY OWNER INFORMATION: TOWN OF Haymarket, PO Box 1230, Haymarket VA 20168, 703-753-2600

Attachment: 6630 Jefferson Street - Zoning Permit Application - Sign (1244 : 6630 Jefferson Street - the Very Thing Sign)

APPLICANT / PROPERTY OWNER SIGNATURE

\*\*\*\*\*REQUIRED\*\*\*\*\*

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein is correct. Construction of improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket and any additional restrictions and/or conditions prescribed by the Architectural Review Board (ARB), Planning Commission, or the Town Council and all other applicable laws.

[Signature]  
Applicant Signature

[Signature]  
Property Owner Signature

\*\*\*OFFICE USE ONLY\*\*\*

ZONING PERMIT #: 2P20121203

Date Filed: 12-30-12 Fee Amount: 50.00 Date Paid: 12-3-12

PLANNING  
~~ARCHITECTURAL~~ DATE TO ARCHITECTURAL REVIEW BOARD (ARB): 12-10-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

ARCHITECTURAL REVIEW BOARD CHAIR: [Signature] Robert Weir  
SIGNATURE PRINT

CONDITIONS: per 58-343 (b)(2)

Architectural  
~~PLANNING~~ DATE TO PLANNING COMMISSION: 12-19-12

APPROVED  DISAPPROVED  TABLED UNTIL: \_\_\_\_\_  DEFERRED UNTIL: \_\_\_\_\_

PLANNING COMMISSION (where required): \_\_\_\_\_  
SIGNATURE PRINT

CONDITIONS: \_\_\_\_\_

DATE TO TOWN COUNCIL: \_\_\_\_\_

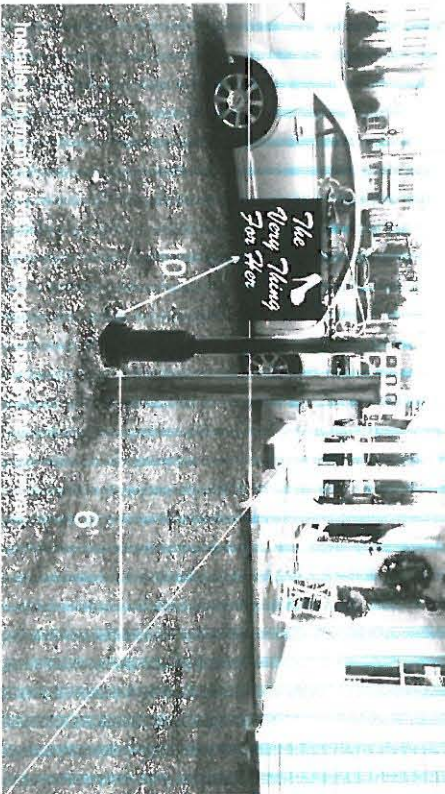
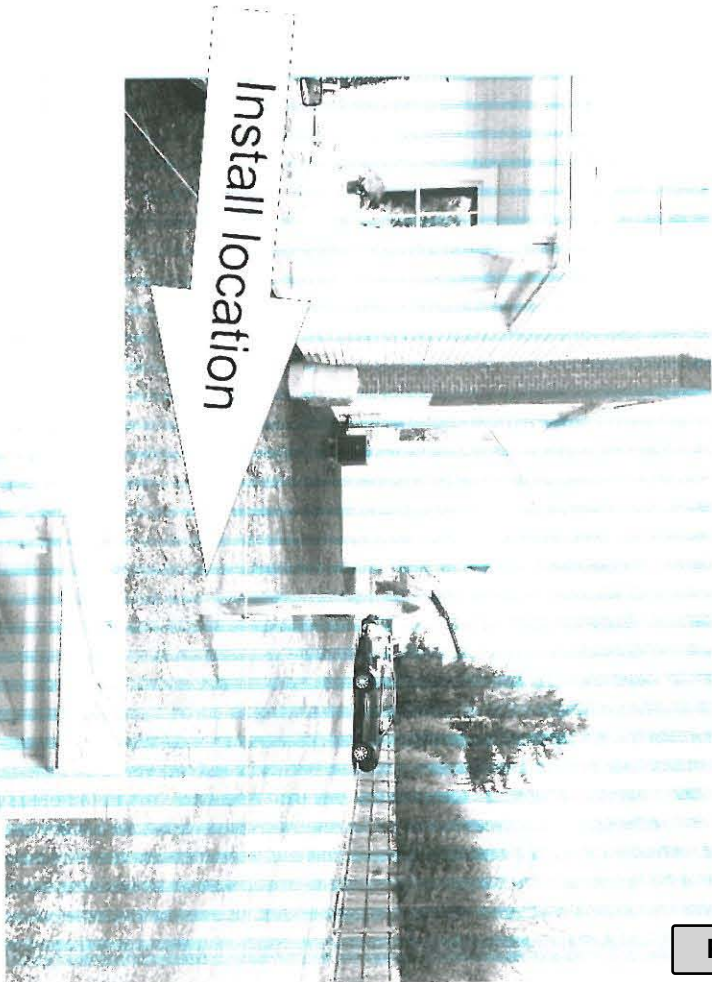
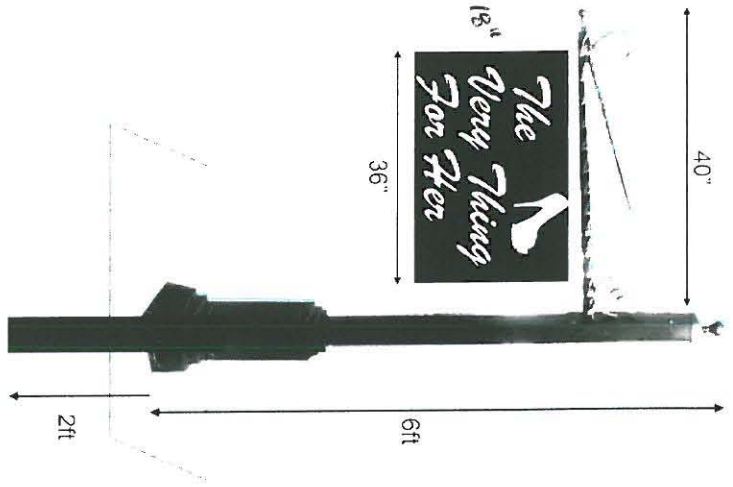
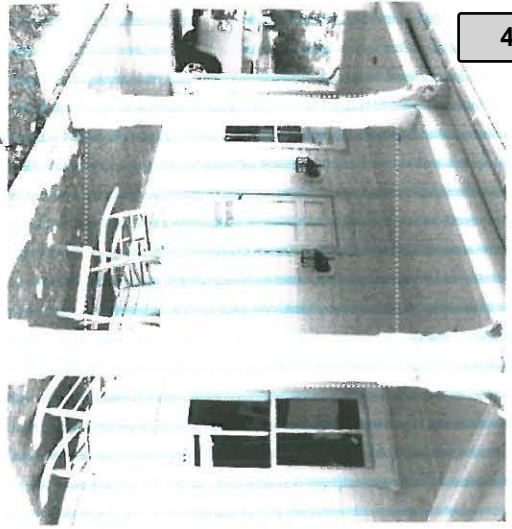
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TOWN COUNCIL (where required): \_\_\_\_\_  
SIGNATURE PRINT

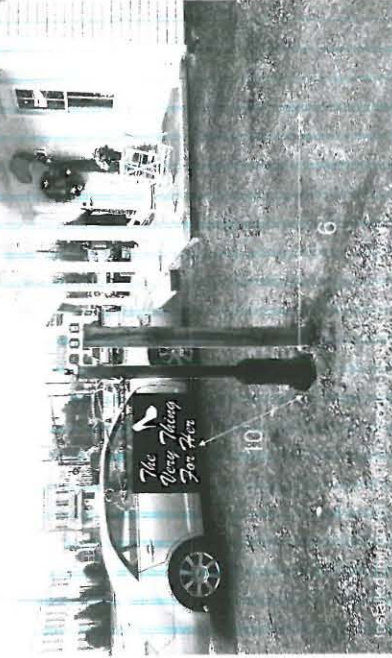
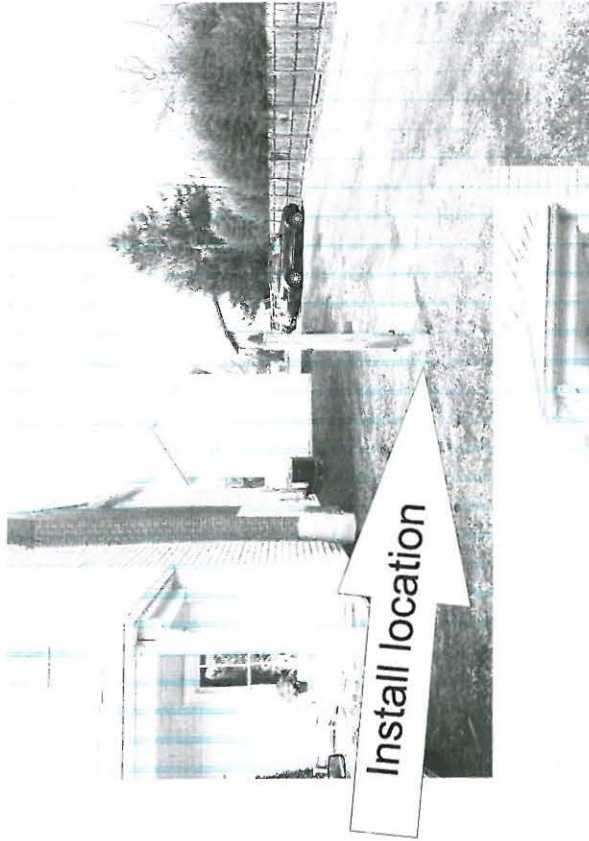
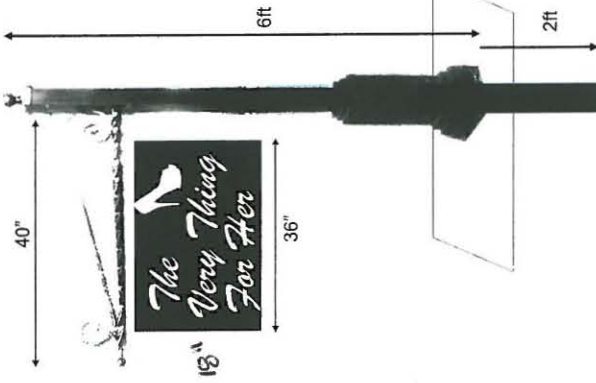
CONDITIONS: \_\_\_\_\_

Attachment: 6630 Jefferson Street - Zoning Permit Application - Sign (1244 : 6630 Jefferson Street - the Very Thing Sign)

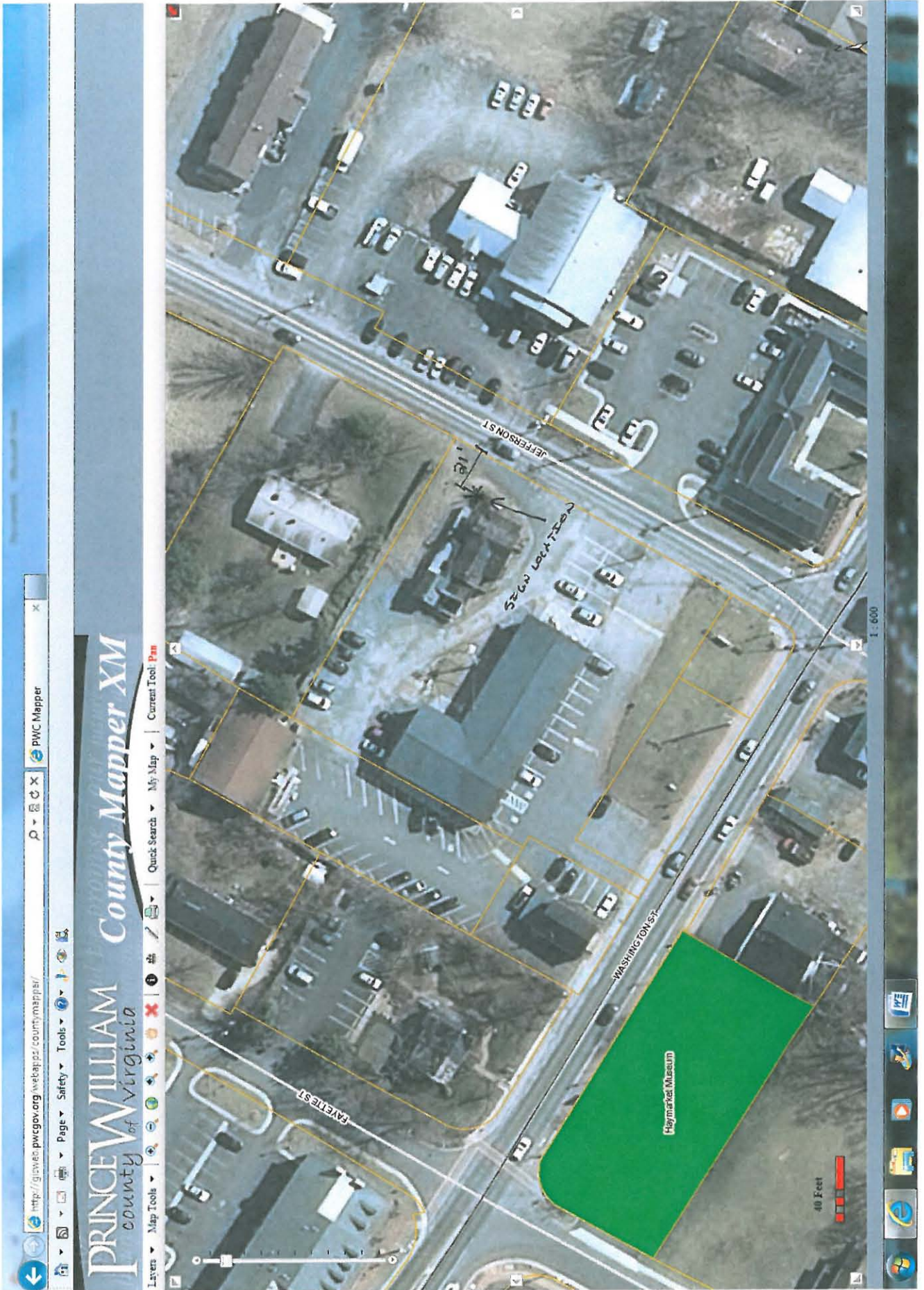




**SMITH & SONS**  
**OWNERS**  
ESVILLE, VA  
753-9308



**SIGNS & BANNERS**  
GAINESVILLE, VA  
703-753-9308



Attachment: 6630 Jefferson Street - Zoning Permit Application - Sign (1244 : 6630 Jefferson Street - the Very Thing Sign)



---

TO: Architectural Review Board  
SUBJECT: McDonald's Informal Discussion  
DATE: 12/19/12

---

Roger Bowers, the Land Use Attorney for McDonald's, would like to have an informal sit down with the ARB members, regarding the "refacing" of the McDonald's here in Haymarket.

**ATTACHMENTS:**

- McDonalds HAYMARKET VA PLANS ELEV (PDF)

REVISIONS

NO.	DESCRIPTION	DATE
0	FIRST ISSUE	08/16/12

DATE: 07/23/12

SCALE: AS NOTED

BUILDING AREA 3,970 SQ. FT.

DINING ROOM SEATING 1240 SQ. FT.

PROJECT #: 12ARCADE32

DRAWN BY: SAO CHECKED BY: SAO

PROJECT TITLE

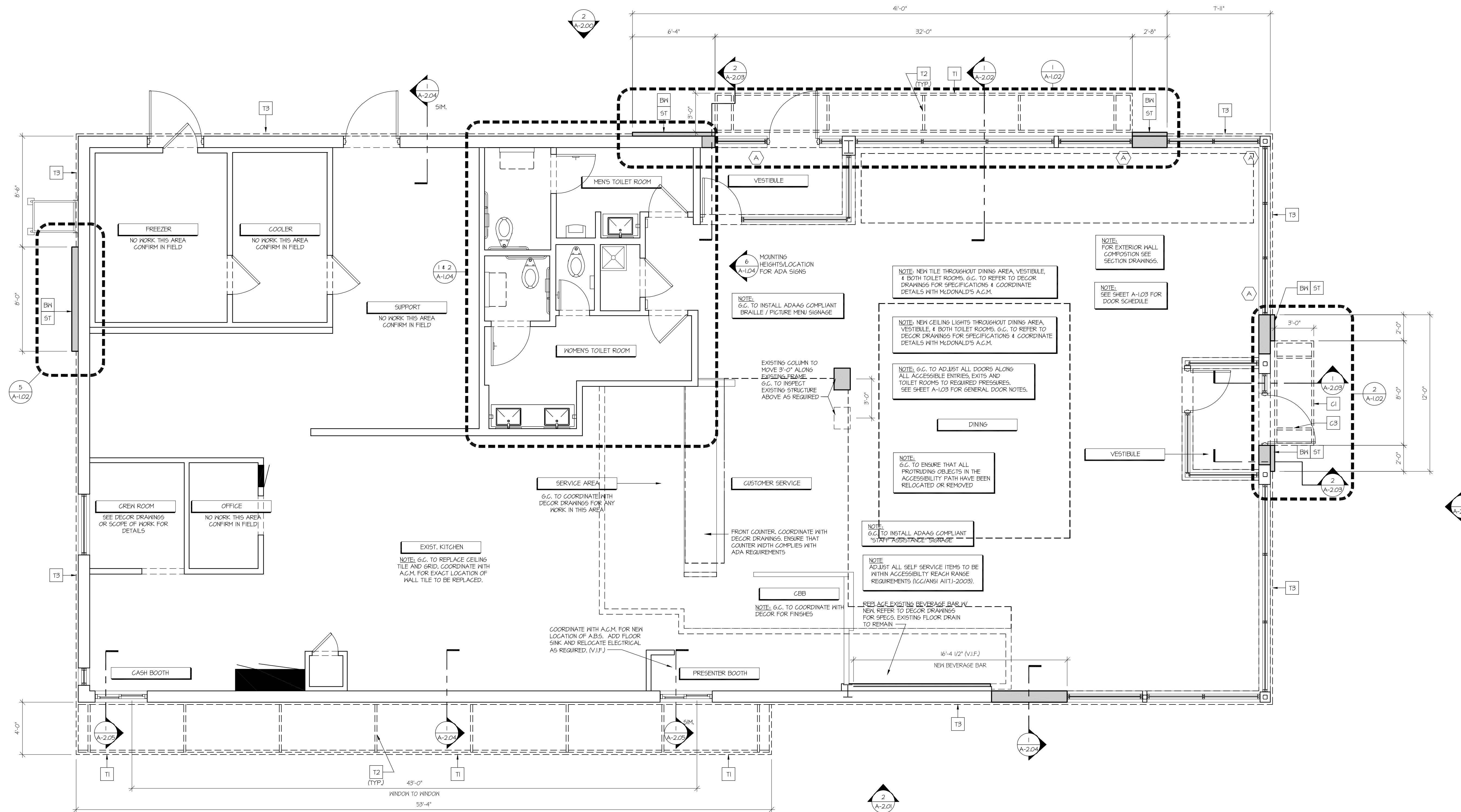
**ALTERATIONS TO  
 McDONALD'S  
 HAYMARKET, VA  
 6740 LEA BERRY WAY  
 HAYMARKET, VA 20168**  
 REGION: N/A  
 LC NO. 045-1159

SHEET TITLE

FLOOR PLAN &  
 MISC. DETAILS

SHEET NO. A-100-00

PERMIT SET 0846143

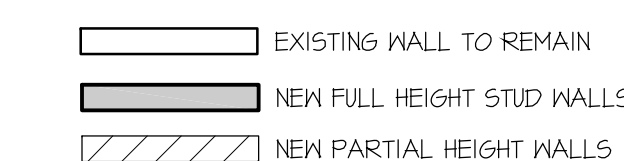


1 ALTERATION PLAN

SCALE: 1/4" = 1'-0"

- EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
- ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.
- THE OPENING FORCE OF ALL EXT. PUSH/PULL DOORS SHALL NOT EXCEED 8 1/2 LBS.
- THE OPENING FORCE OF ALL INTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 LBS.
- PROVIDE PANIC HARDWARE FOR ALL EXTERIOR DOORS AS NOTED ON THE DOOR SCHEDULE.
- ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- SEE SHEET A-2.02-00 AND DETAIL SHEET FOR EXTERIOR WALL ASSEMBLY TYPES.
- GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. (SEE SHEET A-4.00 FOR DETAILS). SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 1242 1ST ST., BOX 588 www.forrestpermasign.com NEW ROCHELLE, NY 10802

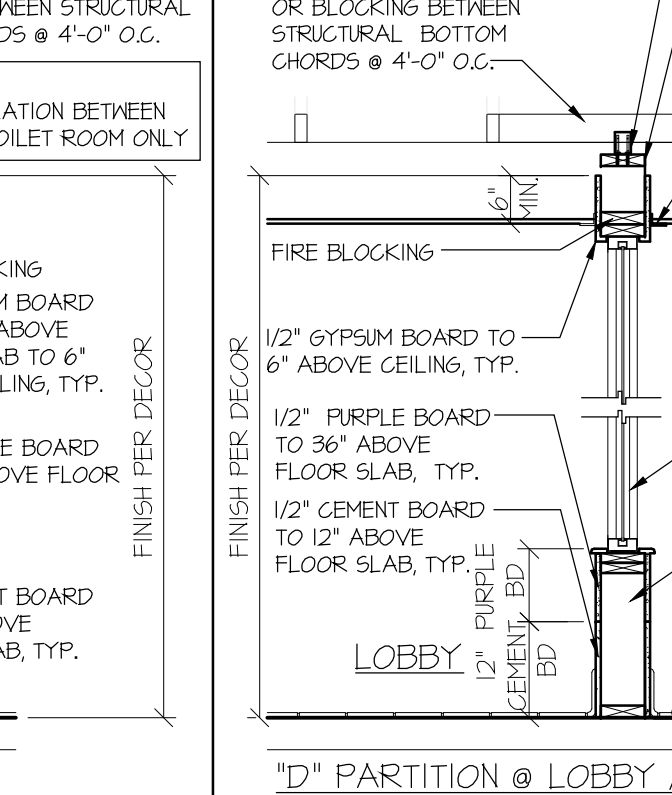
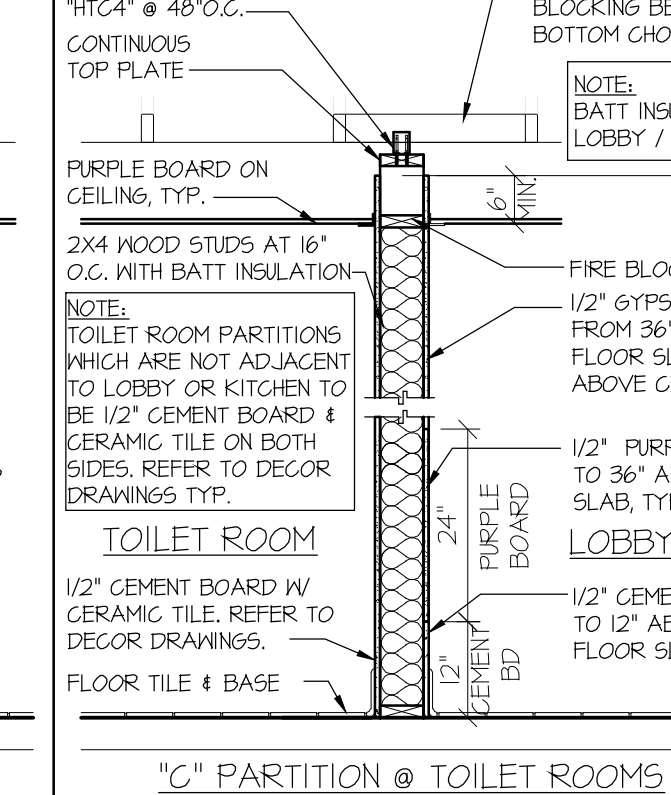
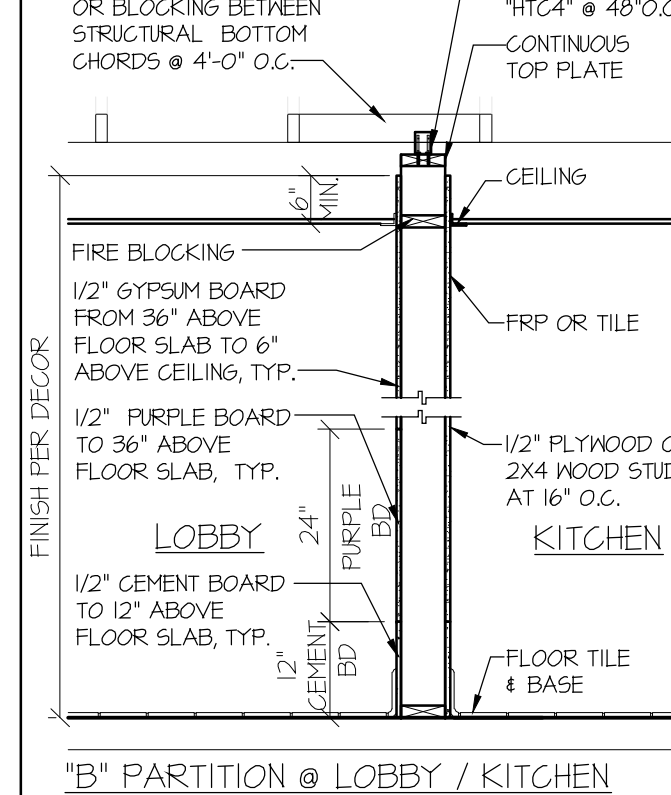
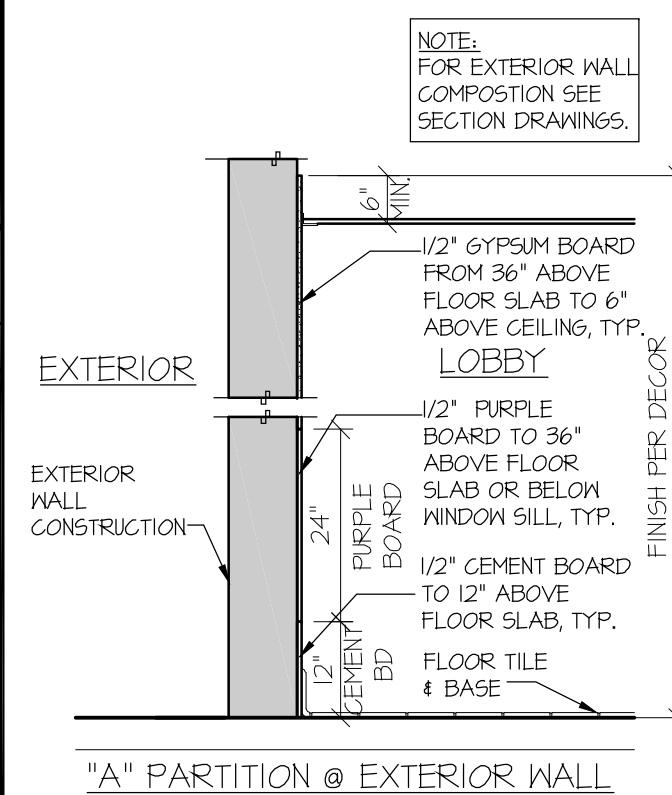
- BW NEW BRANDING WALL
- C1 ALUMINUM CANOPY SYSTEM ABOVE (COLOR: YELLOW) - SEE 3/2.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS
- C2 NOT USED
- C3 ALUMINUM CANOPY TIE-BACK
- E EXT. INSULATION FINISH SYSTEM (E.I.F.S.)
- GR NOT USED
- MS NOT USED
- RL ROOF LADDER (EXISTING)
- SF NEW STOREFRONT SYSTEM - SEE EXTERIOR WINDOW ASSEMBLY SPECIFICATIONS ON SHEET A-2.02 & SEE ELEVATIONS FOR NOTES
- ST CULTURED STONE VENER BY BORAL STONE CONTACT: KATHY MANNON 414-318-5344
- T1 NEW ALUMINUM TRELLIS SYSTEM ABOVE - SEE SECTIONS FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS
- T2 NEW TRELLIS TIEBACK
- T3 ALUMINUM TRELLIS 2X8 WALL FASCIA



4 WALL TYPES

SCALE: N.T.S.

- 1 = DOOR TAG. SEE SCHEDULE (SHEET A103-00)
- X = KEY NOTE
- A = WINDOW TYPE. SEE SHEETS A-2.00 & A-2.01



2 GENERAL NOTES

SCALE: N.T.S.

3 KEYED NOTES

SCALE: N.T.S.

5 SYMBOL LEGEND

SCALE: N.T.S.

6 TYPICAL INTERIOR PARTITION

SCALE: N.T.S.

**SEAL**

NOTE:  
 G.C. TO SEAL AROUND ALL PENETRATIONS THROUGH EXTERIOR FINISH.

NOTE:  
 G.C. TO REQUIRE SHOP DRAWINGS FROM ALL SUPPLIERS OF ALL ARCHITECTURAL ELEMENTS ATTACHED TO THE BUILDING, I.E. CANOPIES, ANNINGS AND TRELLIS. THE INFORMATION INCLUDED IN THE SHOP DRAWING SHALL PROVIDE INSTALLATION AND ATTACHMENT REQUIREMENTS, AS WELL AS DESIGN CRITERIA FOR SAID ELEMENT.



**1 STOREFRONT ELEVATION**

SCALE: 1/4" = 1'-0"



NOTE:  
 G.C. TO REQUIRE SHOP DRAWINGS FROM ALL SUPPLIERS OF ALL ARCHITECTURAL ELEMENTS ATTACHED TO THE BUILDING, I.E. CANOPIES, ANNINGS AND TRELLIS. THE INFORMATION INCLUDED IN THE SHOP DRAWING SHALL PROVIDE INSTALLATION AND ATTACHMENT REQUIREMENTS, AS WELL AS DESIGN CRITERIA FOR SAID ELEMENT.

NOTE:  
 G.C. TO SEAL AROUND ALL PENETRATIONS THROUGH EXTERIOR FINISH.

PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF VA LICENSE NO. 0401 00740 EXPIRATION DATE: 11/30/12

**REVISIONS**

NO.	DESCRIPTION	DATE
0	FIRST ISSUE	08/16/12

DATE: 07/23/12

SCALE: AS NOTED

BUILDING AREA 3,970 SQ. FT.

DINING ROOM SEATING 1,240 SQ. FT.

PROJECT #: 12ARCADE32

DRAWN BY: SAO CHECKED BY: SAO

**2 NON DRIVE THRU SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

ADA	PROVIDE ADA COMPLIANT HARDWARE	D	HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	SF	NEW STOREFRONT AND GLAZING
BM	BASE BUILDING UNPAINTED BRICK - SEE COLOR LEGEND	E	EXTERIOR INSULATION FINISH SYSTEM (EIFS) - SEE COLOR LEGEND	ST	CULTURED STONE VENEER BY BORAL STONE CONTACT: KATHY MANNON 414-516-5344
BM	CORRUGATED METAL PARAPET BAND	L	LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL	T1	ALUMINUM TRELLIS
BM	PARAPET BAND	LA	LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL	T2	TRELLIS TIE-BACK
C	METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL	LC	LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	T3	ALUMINUM TRELLIS 2x8 WALL FASCIA
C1	ALUMINUM CANOPY (COLOR: YELLOW)	LE	LIGHT FIXTURE (EMERGENCY LIGHT) - SEE ELECTRICAL		
C2	NOT USED	ML	METAL LETTERING - BY OTHERS		
C3	ALUMINUM CANOPY TIE-BACK	RE	ROOF CAP ELEMENT BY OTHERS		
CJ	CONTROL JOINT	RO	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL		
PT	PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)	S	McDONALD'S SIGNAGE BY OTHERS		

**COLOR LEGEND** (ALL COLORS ARE PER BENJAMIN MOORE PAINTS)

NO SCHEME	ST	ARCADIES & HEARTH	PROFIT LEDGESTONE - SOUTHWEST
	BM	BASE BUILDING	EXISTING UNPAINTED BRICK
	E	EIFS	EIFS FINISH TO MATCH EXISTING UNPAINTED BRICK
	BM	PARAPET BAND	CORRUGATED METAL PANELS - METAL ERA CITYSCAPE

**GENERAL GLAZING NOTES, (DOORS AND WINDOWS):**

**WINDOWS:**  
 ALL WINDOWS WITH INDIVIDUAL PANE AREA GREATER THAN 9 SQ.FT., AND WITH THE BOTTOM EDGE OF THE WINDOW LESS THAN 18" A.F.F., AND WITH THE TOP EDGE OF THE WINDOW MORE THAN 36" A.F.F., AND A WALKING SURFACE IS WITHIN 36" OF THE WINDOW, SHALL BE SAFETY GLAZED.

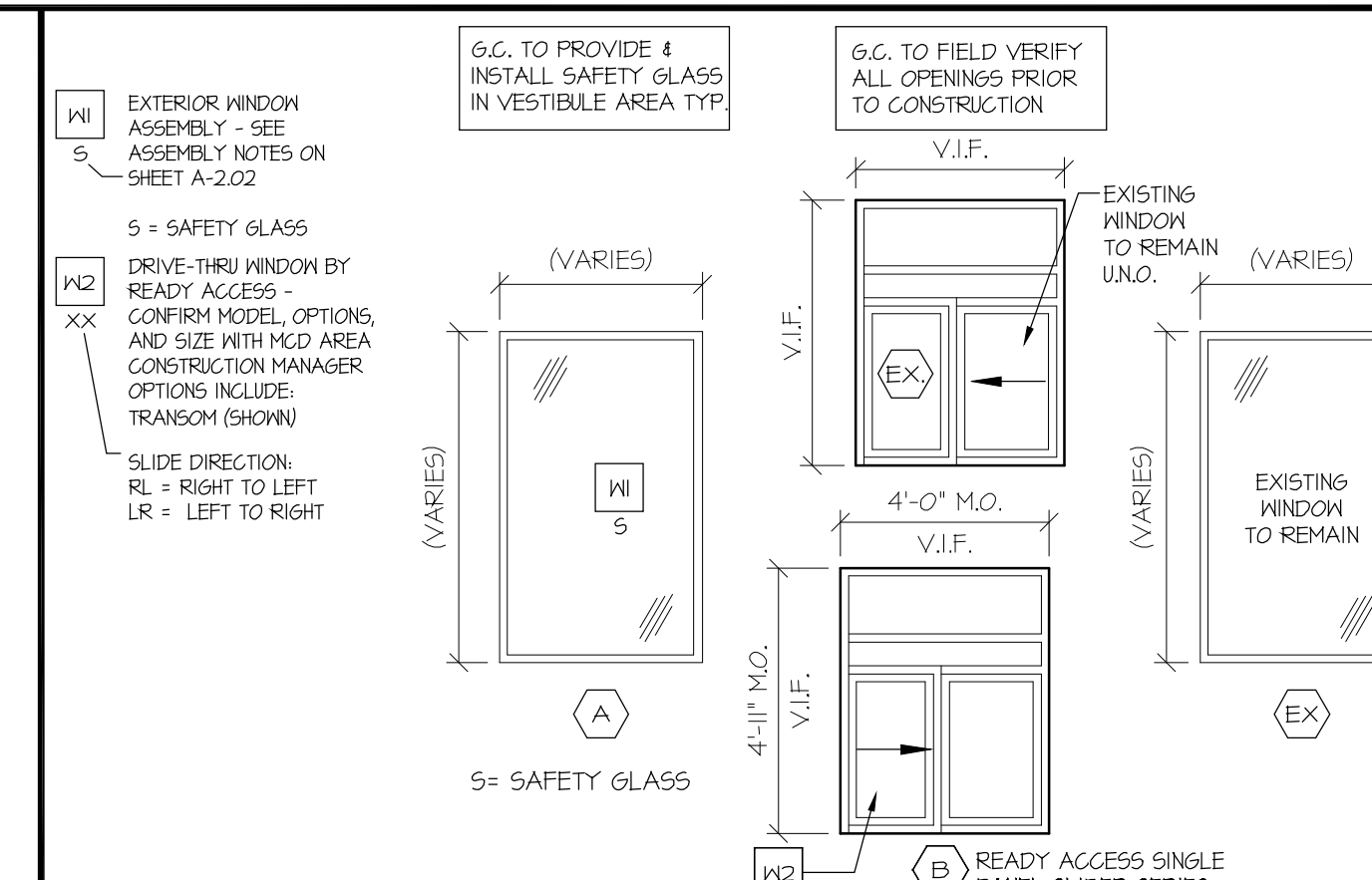
**GLASS DOORS:**  
 ALL GLASS DOORS SHALL BE SAFETY GLAZED.

**GLASS DOORS AND WINDOW WALLS:**  
 ALL WINDOWS WITHIN 24" OF EITHER EDGE OF A DOOR AND THE BOTTOM OF GLAZING IS LESS THAN 60" A.F.F. SHALL BE SAFETY GLAZED.

**LABELING OF GLASS:**

EACH LITE (PANE) MUST BE PERMANENTLY LABELED / IDENTIFIED.  
 IDENTIFICATION MUST BE ETCHED OR CERAMIC FIRED ON TO THE GLASS.

NOTE:  
 THE SAFETY GLAZING LABEL IS NORMALLY LOCATED ON A BOTTOM CORNER OF A LITE.



**3 ELEVATION KEYED NOTES**

SCALE: N.T.S.

**4 ELEVATION COLOR LEGEND**

SCALE: N.T.S.

**5 SAFETY GLAZING NOTES**

SCALE: N.T.S.

**6 WINDOW TYPES**

SCALE: 1/4" = 1'-0"

**PROJECT TITLE**

**ALTERATIONS TO  
 McDONALD'S  
 HAYMARKET, VA  
 6740 LEA BERRY WAY  
 HAYMARKET, VA 20168**

REGION: N/A

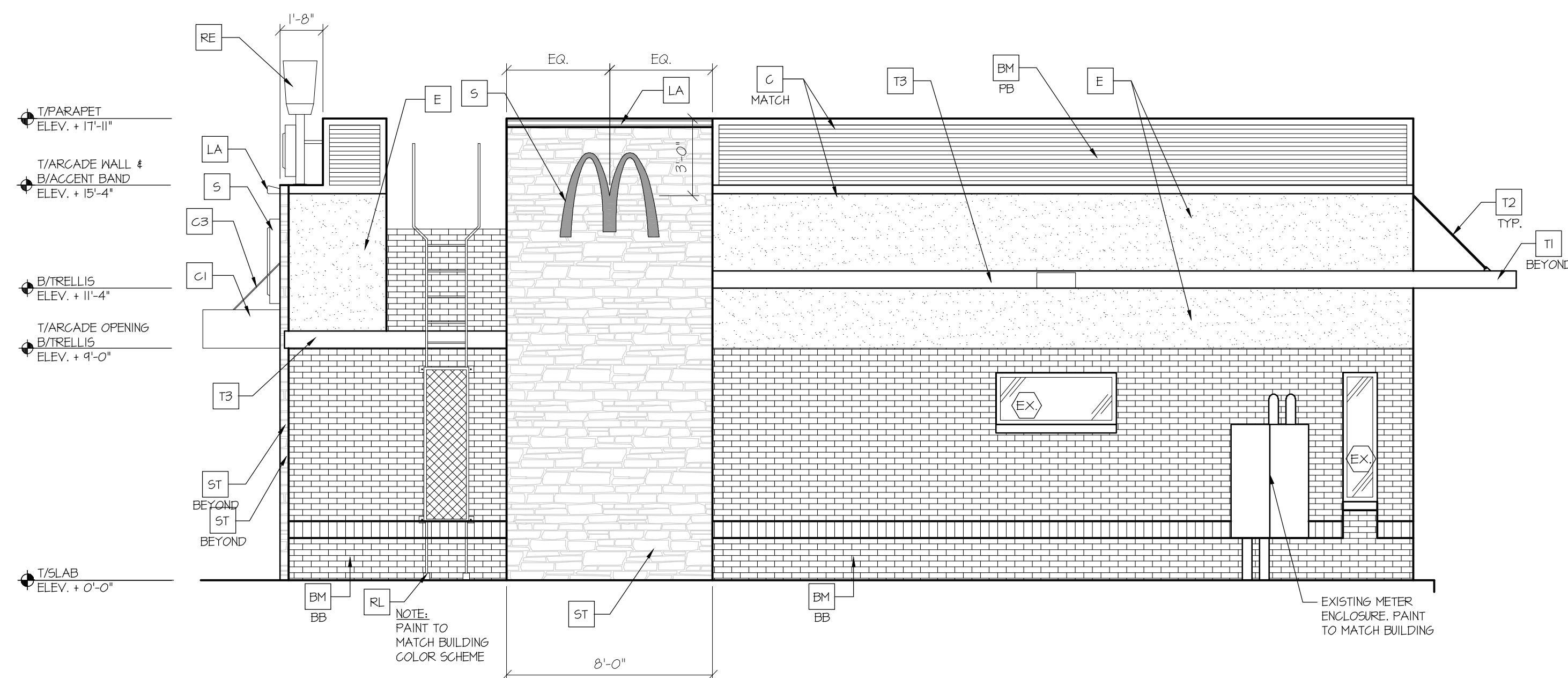
LC NO. 045-1159

**SHEET TITLE**

**EXTERIOR  
 ELEVATIONS**

SHEET NO. A-2.00-00

PERMIT SET 084614



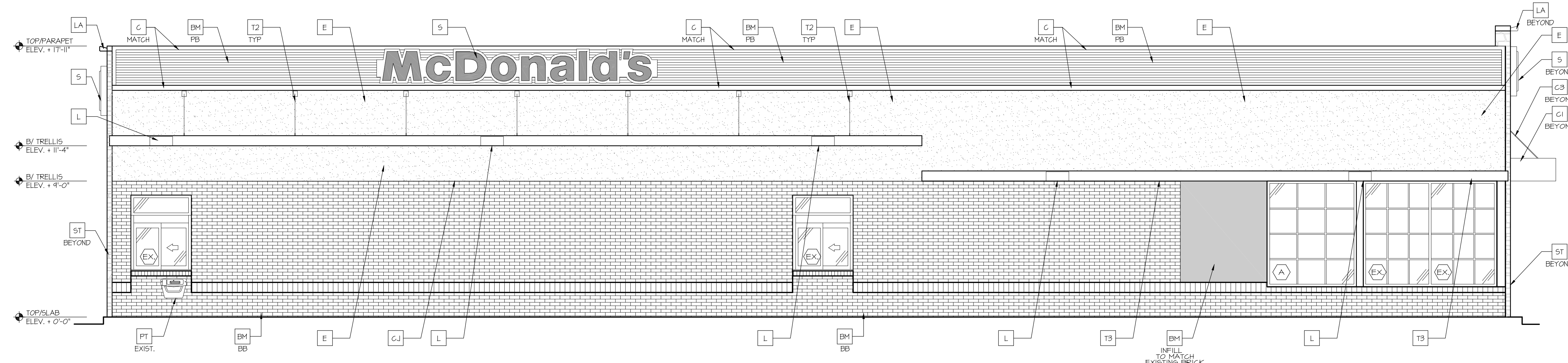
NOTE:  
 G.C. TO SEAL AROUND ALL PENETRATIONS THROUGH EXTERIOR FINISH.

NOTE:  
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**SEAL**

**1 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



NOTE:  
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**REVISIONS**

NO.	DESCRIPTION	DATE
0	FIRST ISSUE	08/16/12

DATE: 07/23/12  
 SCALE: AS NOTED  
 BUILDING AREA 3,970 SQ. FT.  
 DINING ROOM SEATING 1,240 SQ. FT.  
 PROJECT #: 12ARCADE32  
 DRAWN BY: SAO CHECKED BY: SAO

**2 DRIVE THRU SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

- |  |  |  |
|--|--|--|
| ADA PROVIDE ADA COMPLIANT HARDWARE                     | D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL | SF NEW STOREFRONT AND GLAZING  |
| BM BB BASE BUILDING UNPAINTED BRICK - SEE COLOR LEGEND | E EXTERIOR INSULATION FINISH SYSTEM (EIFS) - SEE COLOR LEGEND      | ST CULTURED STONE VENEER BY BORAL STONE CONTACT: KATHY MANNON 414-516-5344 |
| BM FB CORRUGATED METAL PARAPET BAND                    | L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL                     | TI ALUMINUM TRELLIS  |
| C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL   | LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL                   | T2 TRELLIS TIE-BACK  |
| C1 ALUMINUM CANOPY (COLOR: YELLOW)                     | LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL                   | T3 ALUMINUM TRELLIS 2x8 WALL FASCIA  |
| C2 NOT USED  | LE LIGHT FIXTURE (EMERGENCY LIGHT) - SEE ELECTRICAL                |  |
| C3 ALUMINUM CANOPY TIE-BACK                            | ML METAL LETTERING - BY OTHERS                                     |  |
| CJ CONTROL JOINT                                       | RE ROOF CAP ELEMENT BY OTHERS                                      |  |
| PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)          | RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL    |  |
|  | S McDONALD'S SIGNAGE BY OTHERS                                     |  |

**COLOR LEGEND** (ALL COLORS ARE PER BENJAMIN MOORE PAINTS)

NO SCHEME	ST ARCADES & HEARTH	PROFIT LEDGESTONE - SOUTHWEST
	BM BB BASE BUILDING	EXISTING UNPAINTED BRICK
	E EIFS	EIFS FINISH TO MATCH EXISTING UNPAINTED BRICK
	BM FB PARAPET BAND	CORRUGATED METAL PANELS - METAL ERA CITYSCAPE

**GENERAL GLAZING NOTES, (DOORS AND WINDOWS):**

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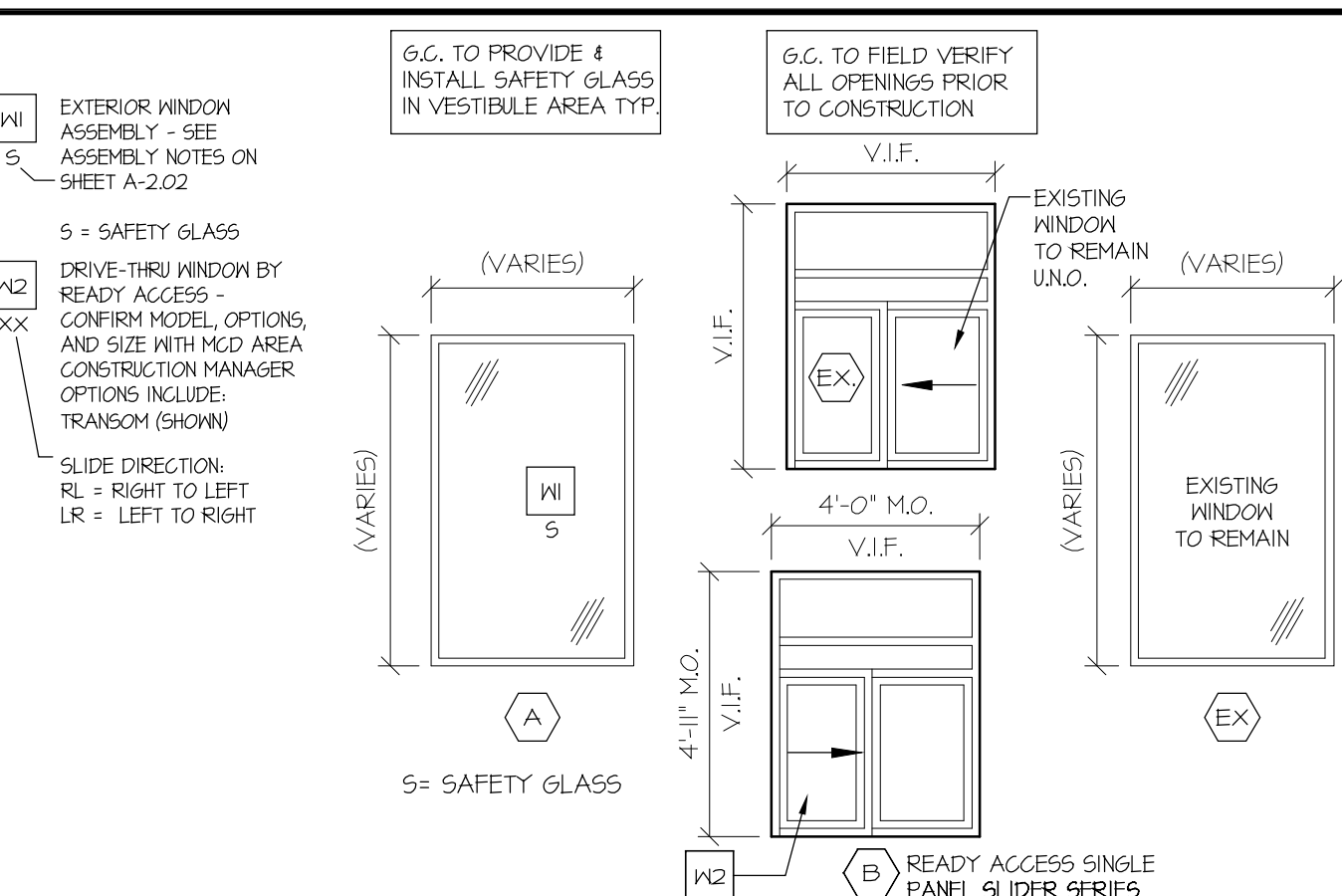
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**LABELING OF GLASS:**  
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IDENTIFICATION MUST BE ETCHED OR CERAMIC FIRED ON TO THE GLASS.

NOTE:  
 THE SAFETY GLAZING LABEL IS NORMALLY LOCATED ON A BOTTOM CORNER OF A LITE.



**3 ELEVATION KEYED NOTES**

SCALE: N.T.S.

**4 ELEVATION COLOR LEGEND**

SCALE: N.T.S.

**5 SAFETY GLAZING NOTES**

SCALE: N.T.S.

**6 WINDOW TYPES**

SCALE: 1/4" = 1'-0"

PROJECT TITLE  
**ALTERATIONS TO McDONALD'S**  
 HAYMARKET, VA  
 6740 LEA BERRY WAY  
 HAYMARKET, VA 20168  
 REGION: N/A  
 LC NO. 045-1159

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO. A-2.01-00









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TO: Architectural Review Board

SUBJECT: Sheetz Informal Discussion

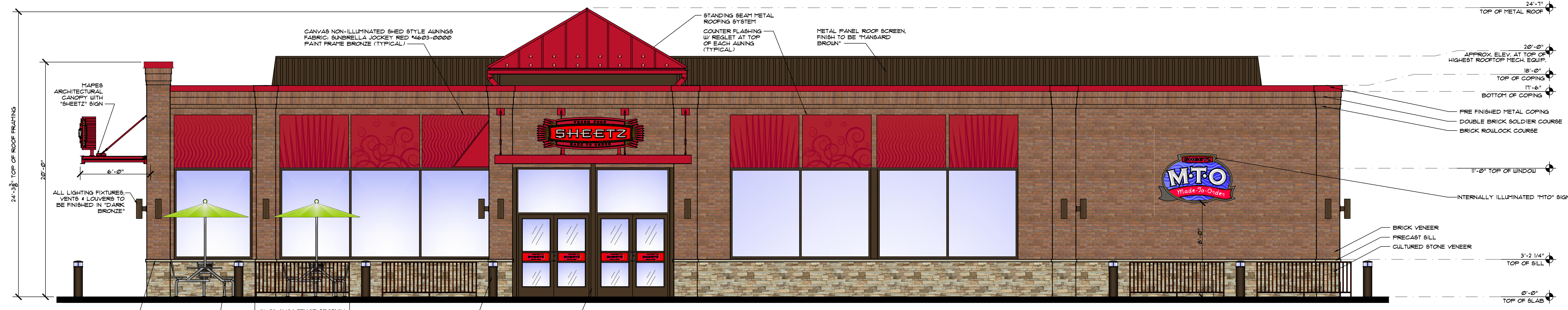
DATE: 12/19/12

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Sheetz is wanting to talk with the ARB regarding reconstruction of their building.

**ATTACHMENTS:**

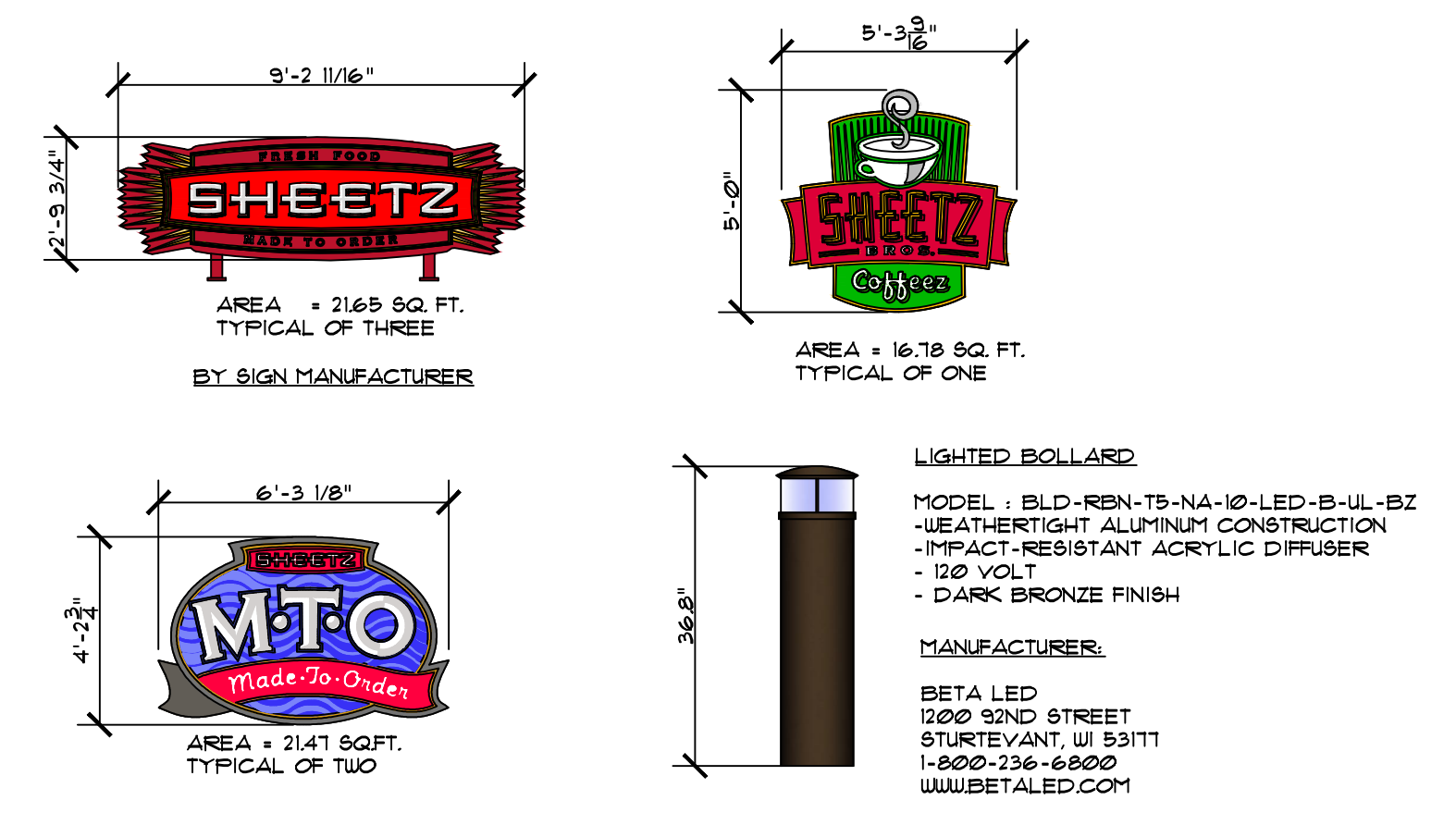
- Sheetz Elevations (PDF)



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**METAL COPING SPECIFICATION:**  
MANUFACTURER: PETERSON ALUMINUM CORP. (PAC-CLAD)  
COPING - TITE-LOC 2050 ALUMINUM SIMILAR TO PAC PART NO. 079 WITH A CUSTOM DIMENSION (A) OF 6\"/>

**CANVAS AWNING SPECIFICATION:**  
CANVAS NON-ILLUMINATED SHED STYLE AWNINGS  
FABRIC: 46-03-SUNBRELLA JOCKEY RED (6-023)  
PAINT FRAME BRONZE  
ALL FABRIC AWNINGS ARE FURNISHED AND INSTALLED BY THE OWNER

**EXTERIOR SEALANTS SPECIFICATION:**  
MANUFACTURER: DOW CORNING \* 790 SILICONE BUILDING SEALANT  
BUILDING CONTROL JOINTS - COLOR: RUSTIC BRICK  
HM. FRAMES - BRONZE

**ARCHITECTURAL METAL SPECIFICATION:**  
ALL ARCHITECTURAL METALS ARE MANUFACTURED BY CITADEL ARCHITECTURAL PRODUCTS: 1-800-446-0928.  
ALL ARCHITECTURAL METALS ARE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.  
ALL EXPOSED FASTENERS SHALL MATCH THE COLOR OF THE METAL.  
MANSARD BROWN - 032 WITH PREMIUM SMOOTH KYNAR 500 FINISH; GUTTERS AND DOWNSPOUTS  
REGAL RED - 032 WITH PREMIUM SMOOTH KYNAR 500 FINISH; COPING (IF CUSTOM FABRICATED); AWNINGS (TRIM & FLASHINGS)

**MASONRY SPECIFICATION:**  
BRICK: ST. VINSON ENGINEER BRICK AS MANUFACTURED BY GLEN GERY CORPORATION, GRADE 8U DIMENSIONS: 3 5/8\"/>

**STONE SPECIFICATION:**  
STONE: CULTURED STONE AS MANUFACTURED BY QUALITY STONE VENEER  
COLOR: POWDER RIDGE  
STYLE: OHIO DRY-STACK  
MORTAR COLOR: GRAY  
STONE TO BE FURNISHED AND INSTALLED BY SHEETZ  
STONE SILL: HEIN STANDARD SILL COLOR: SIENNA

**ARCHITECTURAL CANOPY SPECIFICATION:**  
THE ARCHITECTURAL CANOPY IS MANUFACTURED BY MAPES, INC. THE CANOPY IS FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING FLASHING AND COUNTER FLASHING WHERE THE CANOPY ATTACHES TO THE BUILDING MASONRY.

**LADDER SUPPORT SPECIFICATION:**  
IRON FRAME LADDER SUPPORT FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR THRU BOLT SUPPORT THRU MASONRY INTO 2 X BLOCKING.

**SUPPLIER:**  
QUALITY STONE VENEER  
502 KEETON ROAD  
KEETON, PA, 17668  
PHONE: 717-786-3329  
FAX: 717-786-4038  
**CONTACT: DUSTIN MARTIN**  
CELL PHONE: 302-363-6378  
E-MAIL: dustinmartin@qualitystoneveneer.com

NO.	DATE	BY	DESCRIPTION
1	03/14/12	JMP	ADDED AN UMBRELLA TABLE

**SHEETZ**  
Store Design

SHEETZ INCORPORATED  
5700 SIXTH AVENUE  
ALTOONA  
PENNSYLVANIA 16602  
(814) 946-3611

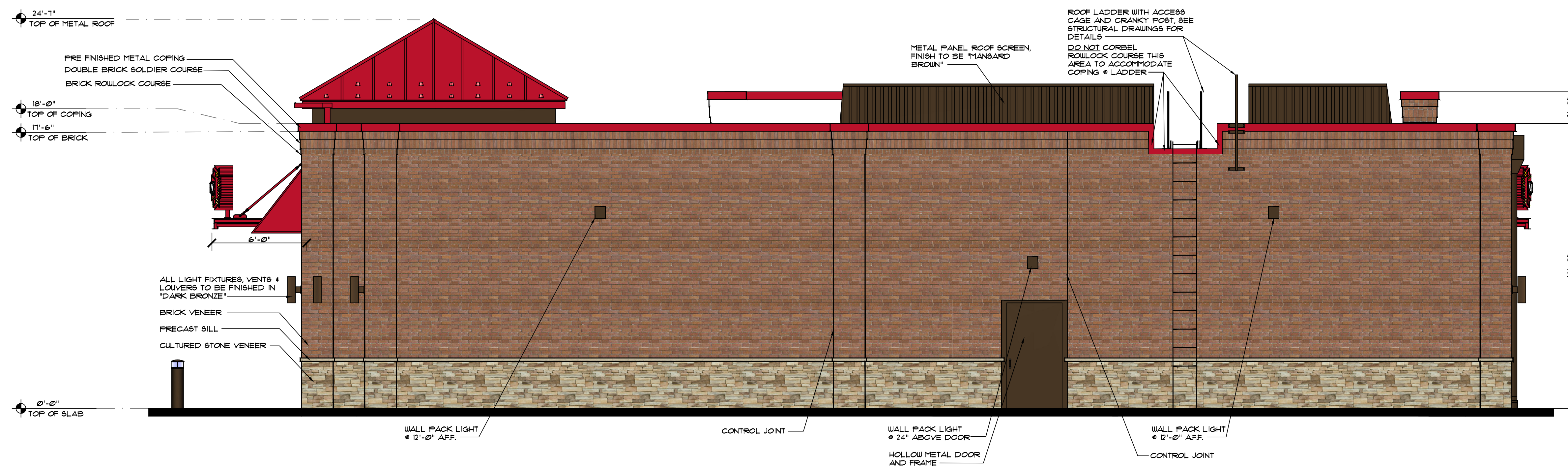
FRONT AND  
SIDE  
EXTERIOR  
ELEVATIONS

"NEW SHEETZ STORE"  
12604 DUNNINGS HIGHWAY  
BLAIR COUNTY, PENNSYLVANIA

SCALE: 1/4" = 1'-0"  
DATE: 2-15-12  
DRAWN BY: KAJ  
FILENAME: A-9A-9B



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION

**SHEETZ**  
Store Design

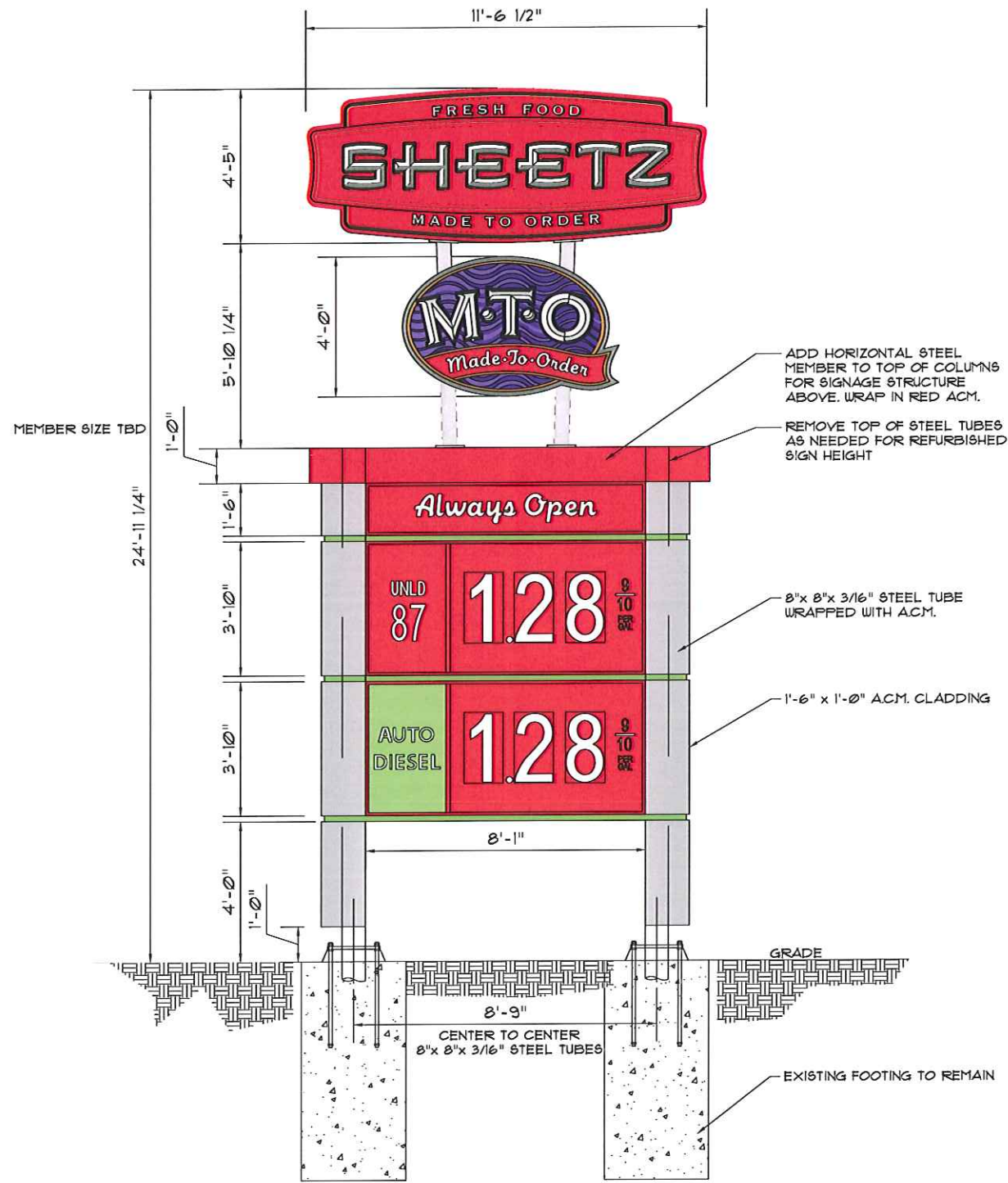
SHEETZ INCORPORATED  
5700 SIXTH AVENUE  
ALTOONA  
PENNSYLVANIA 16602  
(814) 946-3611

REAR AND  
SIDE  
EXTERIOR  
ELEVATIONS

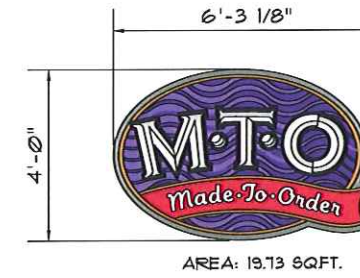
NEW SHEETZ STORE  
12491 GREENFIELD TWP  
12491 GREENFIELD TWP  
BLAIR COUNTY, PENNSYLVANIA

SCALE:	1/4" = 1'-0"
DATE:	2-15-12
DRAWN BY:	KJE
FILENAME:	A-9A-B

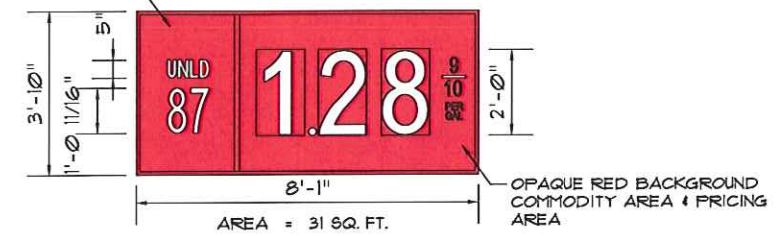
A-9B



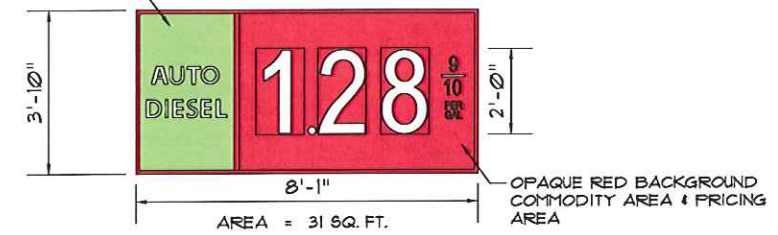
DOUBLE-FACED GAS PRICE SIGN DETAIL - PARTIAL ELEVATION  
SCALE: 1/2" = 1'-0"  
AREA: 145.32 SQ. FT.



CABINET DETAILS:  
8'-1 1/4" x 3'-10 1/4" x 20"D  
COLOR: SHEETZ RED  
DOUBLE FACED EXTRUDED ALUMINUM W/  
REMOVABLE RETAINER FOR SIGN ACCESS  
LIGHTING: T-12-800 H.O. FLUOR LAMPS



CABINET DETAILS:  
8'-1 1/4" x 3'-10 1/4" x 20"D  
COLOR: HOLY GREEN  
DOUBLE FACED EXTRUDED ALUMINUM W/  
REMOVABLE RETAINER FOR SIGN ACCESS  
LIGHTING: T-12-800 H.O. FLUOR LAMPS



SIGN CABINET DETAILS  
TOTAL SIGN AREAS: 145.32 SQ. FT.

NO.	DATE	BY	DESCRIPTION

**SHEETZ**  
Store Design

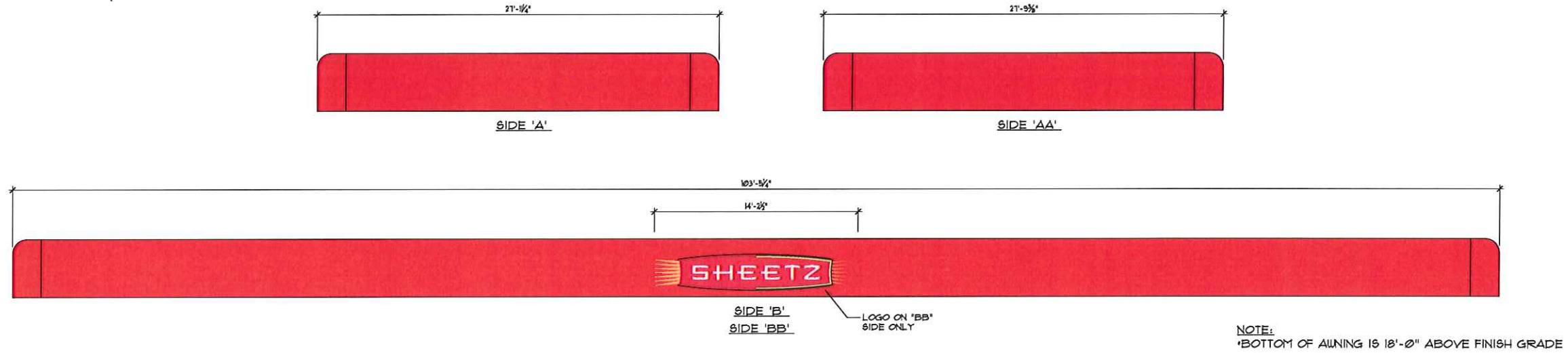
SHEETZ INCORPORATED  
5700 SIXTH AVENUE  
ALTOONA  
PENNSYLVANIA 16602  
(814) 946-3611

GAS PRICE  
POLE SIGN  
DETAILS

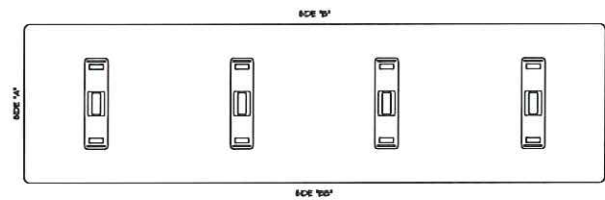
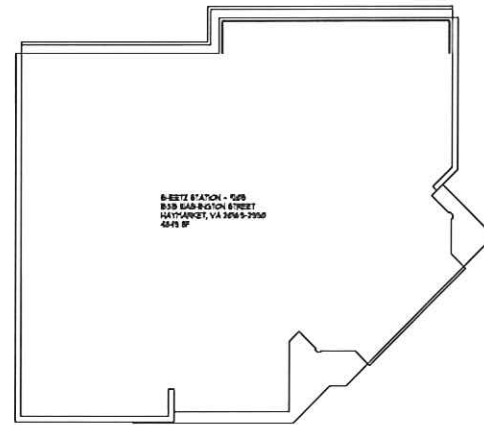
EXISTING SHEETZ STORE  
#205 HAYMARKET  
BUILDING RENOVATIONS  
BYSB JUNCTION STREET  
HAYMARKET, PRINCE WILLIAM COUNTY, VA

SCALE: AS NOTED  
DATE: 07-21-12  
DRAWN BY: ALB  
FILENAME: 225 - PYLEON SIGN

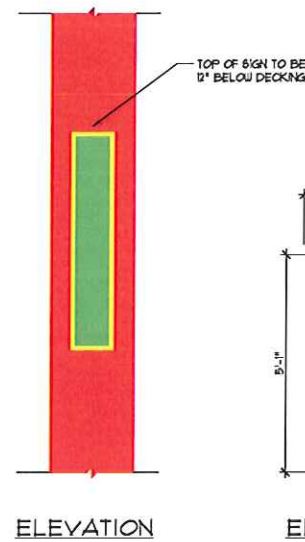
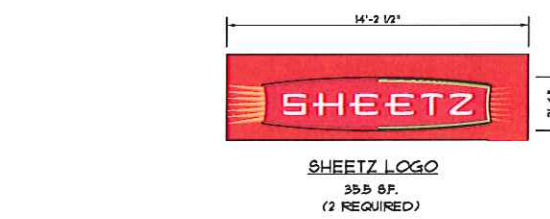
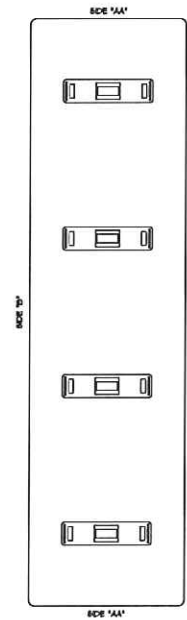
A-11B



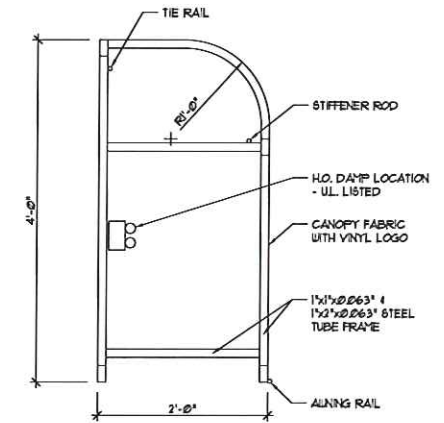
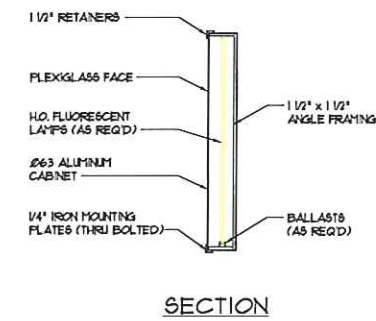
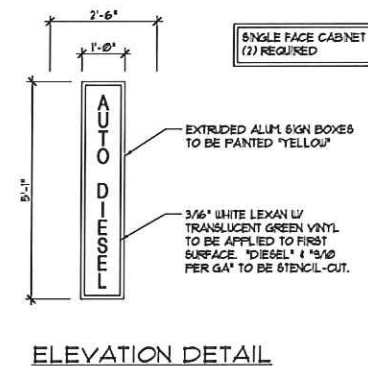
**GAS CANOPY ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**GAS CANOPY - PLAN VIEW**  
SCALE: NO SCALE



**DIESEL SIGN**  
SCALE: 1/2" = 1'-0"



**GAS CANOPY SECTION**  
SCALE: 1" = 1'-0"

NO.	DATE	BY	DESCRIPTION

**SHEETZ**  
Store Design

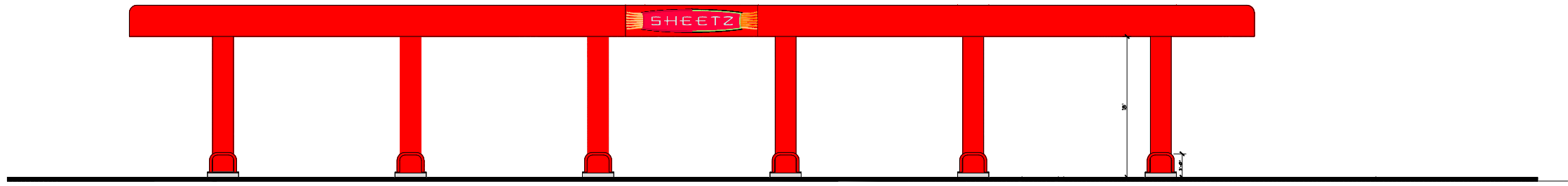
SHEETZ INCORPORATED  
5700 SIXTH AVENUE  
ALTOONA  
PENNSYLVANIA 16602  
(814) 946-3511

**GAS CANOPY  
AWNING DETAILS**

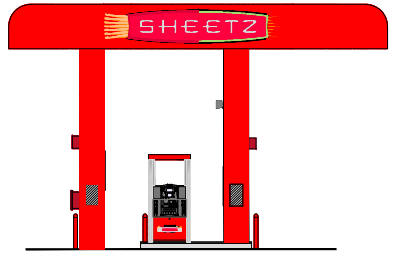
EXISTING SHEETZ STORE  
#205 HAYMARKET  
BUILDING RENOVATIONS  
1315 WASHINGTON STREET  
HAYMARKET, PRINCE WILLIAM COUNTY, VA

SCALE: SEE PLAN  
DATE: 02-21-12  
DRAWN BY: ALB  
FILENAME: 205 - GAS CANOPY

A-11A



COMPOSITE FRONT ELEVATION  
 SCALE: 1/8" = 1'-0"



COMPOSITE SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"

**SHEETZ**  
 Store Design

SHEETZ INCORPORATED  
 5700 SIXTH AVENUE  
 ALTOONA  
 PENNSYLVANIA 16602  
 (814) 946-3611

COMPOSITE  
 ELEVATION

NEW SHEETZ SITE  
 "ZIONS CROSSROADS"  
 INT. OF CAMP CREEK PARKWAY  
 AND MARKET STREET  
 ZIONS CROSSROADS, VIRGINIA

SCALE: 1/8" = 1'-0"  
 DATE: 12-20-10  
 DRAWN BY: NPI  
 FILENAME: elevation-dives

NO.	DATE	BY	DESCRIPTION



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TO: Architectural Review Board

SUBJECT: Task List Update

DATE: 12/19/12

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Attached update list of current tasks.

**ATTACHMENTS:**

- ARB Tasking 12-2012 (PDF)



## November ARB Tasking Status

Task Description	Owner	Date Started	Status	Chronologic Detail
By-Laws	Luersen/Schneider	Aug. 2012	Open	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled 'til next meeting</p> <p><b>Sep. 2012</b> – Ken to meet with Marchant and lay out next steps to move forward</p> <p><b>Oct. 2012</b> – Ken to use Fairfax Co. And Roanoke by laws as base document. From ARB workshop recommendation, Ken to add CIOA to by-laws. Marchant to review and vet for board review in Dec. 2012</p> <p><b>Nov. 2012</b> – ARB By-Laws written and passed to Marchant to vet. Marchant said he should be able to complete by the December ARB meeting.</p>
Caboose Enhancement Project	Luersen/Preli	Aug. 2012	On-Hold	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled 'til next meeting</p> <p><b>Sep. 2012</b> – Ken to meet with Jennifer and lay out next steps to move forward</p> <p><b>Oct. 2012</b> – Ken and Jennifer met and concluded this task needed to be put on hold. Ken to reassess with Jennifer Apr. 2013</p>
Welcome Signs at Town entrance	Luersen	Aug. 2012	Open	<p>???? – Task Created</p> <p><b>Aug. 2012</b> – Tabled 'til next meeting</p> <p><b>Sep. 2012</b> – Board to review other towns signs via internet and prepare for Oct. 2012 concept discussion.</p> <p><b>Oct. 2012</b> – Concept Created. Ken to create formal ARB request package for town council. ARB review set for Nov. 2012. Packet submission to town council set for Dec. 2012 town meeting</p> <p><b>Nov. 2012</b> – ARB requested that town properties be included in package. ARB moved to submit document to Town council at the December TC meeting after changes are made.</p>

Attachment: ARB Tasking 12-2012 (1243 : Task List Update)

## November ARB Tasking Status

Task Description	Owner	Date Started	Status	Chronologic Detail
TC/ARB Liaison Protocol Rules	Harnest	Oct. 2012	Closed	<p><b>Oct. 2012</b> – Task Created. Kat to create protocol rules for ARB/TC requesting/tasking/communicating.</p> <p><b>Nov. 2012</b> – Rule communicated to the Town Council. Task is closed.</p>
Certified Local Government Communique	Harnest	Oct. 2012	On-Hold	<p><b>Oct. 2012</b> – Task Created. Kat to question TC if they are aware of CLG and what their stance is with regard to participating in the program.</p> <p><b>Nov. 2012</b> – CLG presented to Town Council at Nov. TC meeting. Town Council to review and make a decision. Table task and readdress Jan. 2013 to give TC time to review.</p>
PC Training Communique	Schneider	Oct. 2012	Open	<p><b>Oct. 2012</b> – Task Created. Ellie to communicate to PC that Plan Virginia intends to hold training in Jan. 2013 at Leesburg.</p> <p><b>Nov. 2012</b> – Marchant tasked to communicate to PC since Ellie is no longer on the board.</p>

Attachment: ARB Tasking 12-2012 (1243 : Task List Update)