



TOWN OF HAYMARKET PLANNING COMMISSION
REGULAR MEETING
~ AGENDA ~

Emily Kyriazi, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Wednesday, February 22, 2023

7:00 PM

Council Chambers

I. Call To Order

II. Pledge of Allegiance

III. Citizens Time

IV. Minute Approval

1. Planning Commission - Regular Meeting - Jan 17, 2023 7:00 PM

V. Agenda Items

1. Site Plan Review - 14750 Jordan Lane
2. Site Plan Review - Masonic Lodge
3. Site Plan Review - Haymarket Town Center

VI. Old Business

VII. New Business

VIII. ARB Updates

IX. Town Council Updates

X. Adjournment



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Kyriazi, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Tuesday, January 17, 2023

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Alexander Beyene called the meeting to order.

I. Call To Order

Councilman Bob Weir: Present, Commissioner Robert Hallet: Present, Chairman Alexander Beyene: Present, Commissioner Robert Chrisman: Present, Commissioner Sandy Freeman: Present.

II. Pledge of Allegiance

Chairman Alexander Beyene invited everyone to stand for the Pledge of Allegiance.

III. Citizens Time

There were no citizens present at this meeting.

IV. Minute Approval

1. Planning Commission - Public Hearing - Oct 17, 2022 7:00 PM

Commissioner Hallet moved to approve the minutes from the October 17, 2022 Planning Commission meeting. Commissioner Chrisman seconded the motion. The motion carried.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Robert Hallet, Commissioner
SECONDER:	Robert Chrisman, Commissioner
AYES:	Weir, Hallet, Beyene, Chrisman, Freeman

V. Agenda Items

1. 2023 Meeting Schedule

Town Clerk Kim Henry presented a draft of the 2023 meeting schedule. She pointed out 2 dates that meeting dates fall on a holiday, February and June. Ms. Henry gave alternate dates for those meetings. The Commission discussed the dates. Because of the February alternative date was also an election day, the Commission decided to hold their February meeting on Wednesday, February 22, 2023. The Commission also decided to hold their June meeting on Tuesday, June 20, 2023. All other meetings would fall on the third Monday of the month.

Commissioner Chrisman moved to adopt the meeting schedule as amended. Commissioner Freeman seconded the motion. The motion carried.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Robert Chrisman, Commissioner
SECONDER:	Sandy Freeman, Commissioner
AYES:	Weir, Hallet, Beyene, Chrisman, Freeman

VI. Old Business

1. Comprehensive Plan Discussion

Town Planner Thomas Britt lead the conversation on the draft of the Comp Plan. He shared some of the updates by stating that there is a 2 month window to work with that Town Manager Emily Kyriazi set as a deadline for the revision of the plan. Mr. Britt stated that he will be working with Commissioner Chrisman and will be starting with checkpoints and other items with

Minutes Acceptance: Minutes of Jan 17, 2023 7:00 PM (Minute Approval)

a plan to have a draft by the February meeting. He also shared that he is planning on meeting with a representative that could provide language on the CBPA (Chesapeake Bay Preservation Act) requirement to incorporate into the Comp Plan. He stated that he will bring forth updates on that section at the February meeting. A discussion followed on the newest census data, soil and water data, the survey results and the long range land use map. A direction was given to provide the survey data to the Commission by the February meeting.

VII. New Business

Town Planner Thomas Britt shared that there was no New Business. There was a question on the progress of the Planet Fitness. Mr. Britt shared that the sign permit was approved at a previous ARB meeting and have filed building permits with the County. He shared that he was not sure whether they have been able to obtain those permits. There was a directive to follow up with the representative from Planet Fitness to see if they have had any problems receiving what they need from the County to proceed.

Mr. Britt shared that the construction of the townhouses at Crossroads Village Center have started. He also shared that there has been several business license applications come in for the multi tenant buildings within Crossroads, as well. He also shared that the last three homes in the Robinson Village are about completion and awaiting occupancy permit letters. Mr. Britt continued to share that he will be meeting with a representative from D.R. Horton on developing a parcel behind the Robinson Paradise development. After a short discussion, it was determined that the parcel was not in the Town. There was also a discussion about an inquiry of a possible townhome development off of Blight Drive prior to Town Manager Emily Kyriazi's maternity leave. Mr. Britt shared that there had not been any additional inquiry on it and there has not been any applications with those particular parcels. There was a short discussion on the Census Bureau population numbers.

VIII. ARB Updates

Commissioner Hallet gave the updates from the Architectural Review Board. He shared that they will be reviewing a sign permit application from Ghosted Concepts and also from Lidl Grocery Store at their next meeting. Mr. Britt shared that Lidl deferred their request. Mr. Hallet shared that the ARB approved the demolition permit application on the Robinson Paradise property. There was also a discussion on an email from a citizen about the new buildings in the Crossroads Village Center not keeping to the character of the Town's historical feel. Mr. Hallet shared that the approval of the buildings were done in a master design plan before he was serving on the Board. Council Member Weir confirmed that the building designs were approved years ago with a previous ARB.

IX. Town Council Updates

Council Member Weir shared that the Town Council will start and work on the FY24 budget within the next few months. He shared that there would be public hearing at the February meeting on the FY23 2nd quarter budget amendment. He shared that the Town Council re-appointed all the liaisons at their January Organizational Meeting. He also shared that the new sidewalk project was being pushed forward and that the Council should have an estimate by the next meeting. He also shared that the Town Council is looking at what to do with the Town Park building. He stated that the Council received a complete report on what has to be done to the building. He continued to state that the Council is waiting on the cost estimate. There was a brief discussion on the recent training they received.

X. Adjournment

With no further business before the Planning Commission, Council Member Weir moved to adjourn with a second by Commissioner Chrisman. The motion carried.

1. Motion to Adjourn

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Bob Weir, Councilman
SECONDER:	Robert Chrisman, Commissioner
AYES:	Weir, Hallet, Beyene, Chrisman, Freeman

Minutes Acceptance: Minutes of Jan 17, 2023 7:00 PM (Minute Approval)

Submitted:

Approved:

Kimberly Henry, Clerk of the Council

Alexander Beyene, Chairman

Minutes Acceptance: Minutes of Jan 17, 2023 7:00 PM (Minute Approval)



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Thomas Britt
Town Planner

MEMORANDUM

TO: Planning Commission
FROM: Thomas Britt, Town Planner
DATE: February 17, 2023
SUBJECT: 14750 Jordan Lane Site Plan Review

The applicant at 14750 Jordan Lane has delivered their second site plan submission for review. The Town Engineer is still waiting on comments from the developer.

Attachment: 01 Jordan Lane Introduction Memo (5983 : Site Plan Review - 14750 Jordan Lane)

IN-LIEU AGREEMENT



COUNTY OF PRINCE WILLIAM

5 County Complex Court, Suite 170
Prince William, Virginia 22192-5308
(703) 792-7070 FAX: (703) 792-6297

DEPARTMENT OF
PUBLIC WORKS



Environmental
Services Division

Thomas Bruun
Director

AGREEMENT IN LIEU OF A STORMWATER MANAGEMENT PLAN FOR CONSTRUCTION OF A SINGLE-FAMILY DETACHED RESIDENTIAL STRUCTURE LOCATED OUTSIDE OF A COMMON PLAN OF DEVELOPMENT (IN-FILL LOTS ONLY)

Landowner:

Name:	READY TO HANG, LLC				
Mailing Address:	10511 GODWIN DRIVE				
City:	MANASSAS	State:	VA	Zip:	20112
Phone 1:		Email 1:			
Phone 2:		Email 2:			

SINGLE-FAMILY DETACHED STRUCTURE LOCATION INFORMATION

GPIN:	7398-10-0562	Approved LGR #:			
Site Address:	14750 JORDAN LANE				
City:	HAYMARKET	State:	VA	Zip:	20169
DISTURBANCE INFORMATION					
Disturbed Area (acres):	0.13	Impervious Area (acres):	0.027		

In place of a Stormwater Management Plan for the construction of this single-family detached residential structure, I agree to comply with the requirements of this "Agreement in Lieu of a Stormwater Management Plan" (or other requirements as established by the Department of Public Works as applicable) to ensure compliance with Section 23.2-32 of the Stormwater Management Code of Prince William County.

REQUIREMENTS

- 1) A copy of this signed and dated "Agreement in Lieu of a Stormwater Management Plan" shall be incorporated on to the lot grading plan.
- 2) Post-construction runoff from the property shall be minimized to the maximum extent practicable and shall be controlled to prevent flooding or erosion damage from occurring on adjacent or downstream properties. In meeting this requirement, I agree to direct:
 - a) runoff from rooftops as non-erosive sheet flow to well-vegetated areas on the property to the maximum extent practicable,
 - b) runoff from on-lot impervious surfaces (e.g., driveways, parking areas, sidewalks) as non-erosive sheet flow to well-vegetated areas on the property to the maximum extent practicable, and
 - c) runoff from lawns as non-erosive sheet flow to undisturbed naturally-vegetated areas on the property to the maximum extent practicable.

I fully understand that not complying with this agreement may result in the revocation of this "Agreement in Lieu of a Stormwater Management Plan" and the County may require submission of a project-specific Stormwater Management Plan in accordance with Section 23.2-32 of the Stormwater Management Code of Prince William County.

This "Agreement in Lieu of a Stormwater Management Plan" shall be binding on the landowner and any other successors of this property. The landowner hereby agrees to provide access to the property for routine inspections by the County to ensure that the terms of this agreement are still in-place and functional. In addition, the County at its discretion, may require proof from landowner at any time to verify compliance with this agreement.

This "Agreement in Lieu of a Stormwater Management Plan" does not authorize land disturbance. Land-disturbing activities cannot begin until a building permit is issued for construction of a detached residential structure.

Landowner's Name: ROGELIO AVILES Title: OWNER

Landowner's Signature: Regelio Aviles Date: DEC. 2022

STORMWATER RUNOFF NOTE:

ALL ROOFWATER SHALL BE ROUTED VIA DOWNSPOUTS THAT DAYLIGHT ONTO SPLASHBLOCKS, DIRECTED AWAY FROM THE BUILDING FOUNDATION. SPLASHBLOCKS SHALL BE PLACED ON FLAT GROUND, AND SHOULD DISCHARGE ONTO SOD, ESTABLISHED GRASS COVER OR INTO MULCH PLANTING BEDS. CONTRACTOR SHALL ENSURE DRAINAGE FLOWS AWAY FROM THE BUILDING FOR A MINIMUM OF 10 FEET, WITH AT LEAST 6 INCHES OF FALL. THE CONTRACTOR MAY OPT TO INSTALL SHEETFLOW TRANSITION AREAS AT THE DOWNSPOUT LOCATIONS, WHERE SITE CONDITIONS PERMIT. SEE DETAILS BELOW.

THE PROPERTY IS AN INFILL RESIDENTIAL LOT LOCATED WITHIN THE BULL RUN (132) WATERSHED, WITH NO MAPPED FLOOD HAZARD OR RESOURCE PROTECTION AREAS.

DRAINAGE FROM THIS PROJECT WILL SHEET FLOW TO THE NORTH, TO AN EXISTING STORM DRAINAGE INLET IN THE PIEDMONT MEWS DEVELOPMENT.

THE CONTRACTOR SHALL INSTALL THE PERIMETER EROSION CONTROL MEASURES AT THE LIMITS OF CLEARING, AND ENSURE NO POLLUTED RUNOFF LEAVES THE PROJECT AREA OR IMPACTS DOWNSTREAM PROPERTIES. ANY EROSION CONTROL MEASURE FOUND TO BE FAILING SHALL BE REPAIRED IMMEDIATELY.

VSMP INFORMATION

PROPERTY IS A RURAL 1.0 ACRE INFILL LOT LOCATED NORTH OF INTERSTATE 66 WITH A PROPOSED DISTURBED AREA OF 5674 SF, OR 0.13 ACRE. PROPOSED NEW IMPERVIOUS AREA = 1215 SF, OR 0.027 AC.

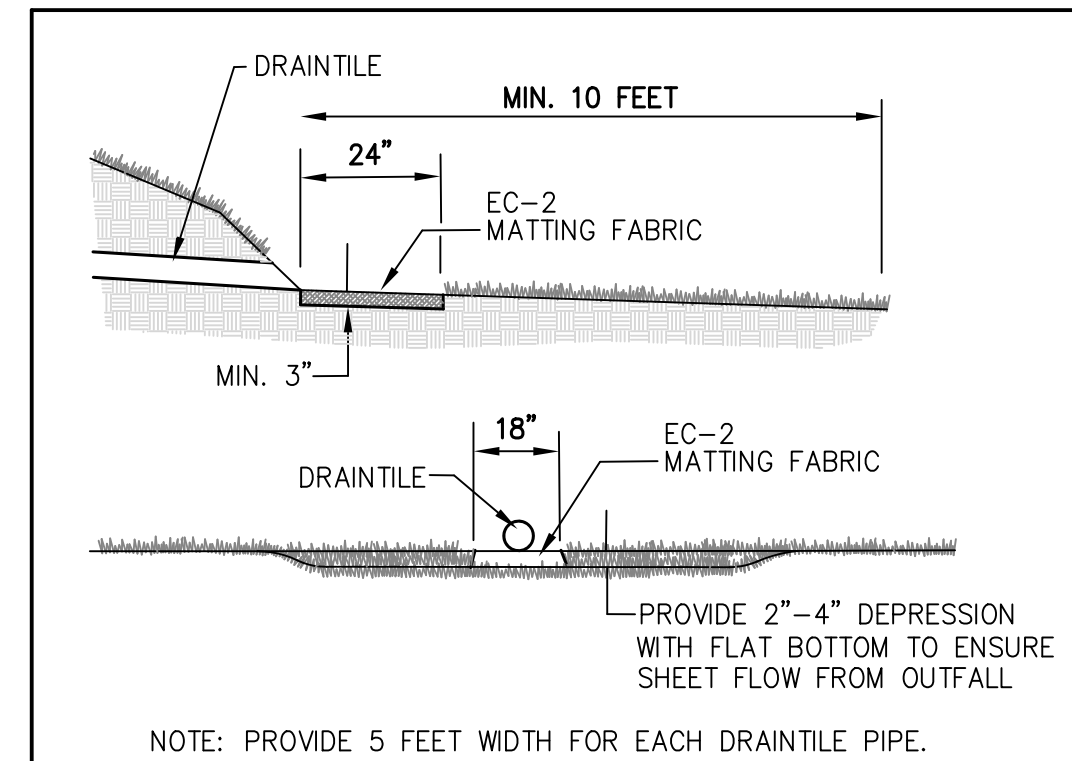
THE \$209.00 VSMP FEE SHALL BE NOT BE REQUIRED

APPLICANT SHALL COMPLY WITH CONDITIONS ON THE ATTACHED AGREEMENT "IN-LIEU" OF ONSITE STORMWATER MANAGEMENT.

NOTES:

1. POST CONSTRUCTION RUNOFF FROM THE PROEPRTY SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND SHALL BE CONTROLLED TO PREVENT FLOODING OR EROSION DAMAGE FROM OCCURING ON ADJACENT OR DOWNSTREAM PROPERTIES.
2. THE PROPERTY OWNER IS RESPONSIBLE TO DIRECT AND MAINTAIN RUNOFF FROM ROOFTOPS, ON-LOT IMPERVIOUS SURFACES AND LAWNS AS NON-EROSIVE SHEET FLOW TO WELL VEGETATED AREAS ON THE PROPERTY.

ALTERNATIVE ROOFWATER TREATMENT



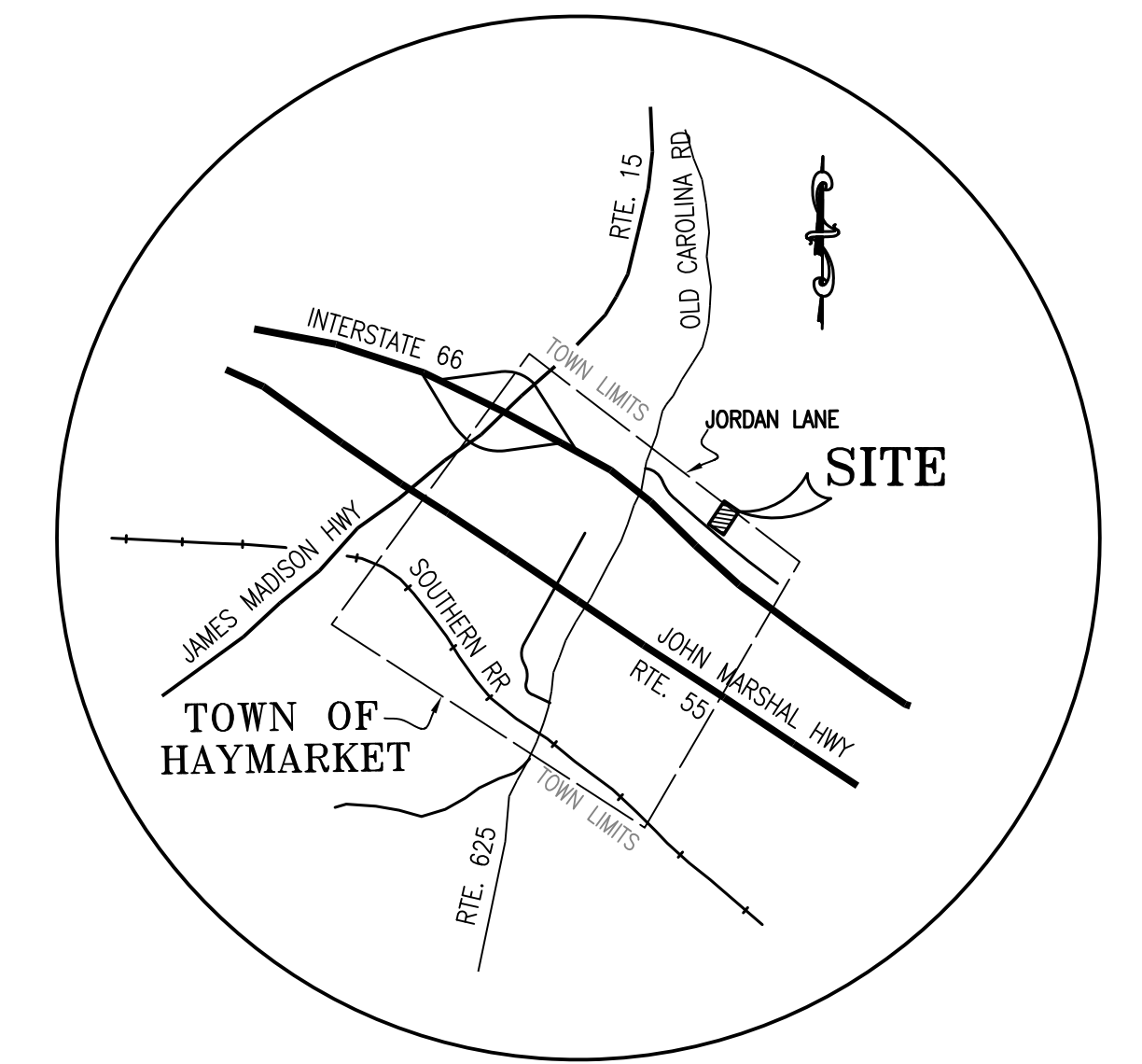
DETAILS - SHEET FLOW TRANSITION AREA (S.T.A.)

CONTRACTOR MAY OPT TO INSTALL THE ABOVE DETAILED SHEET FLOW TRANSITION AREA. DOWNSPOUTS WILL BE ROUTED UNDERGROUND TO DRAINTILE, AND DIRECTED AWAY FROM THE BUILDING FOUNDATION. THE DRAINTILE WILL DAYLIGHT AT A LOCATION WHERE THIS MEASURE CAN BE INSTALLED, PREFERABLY AT WELL VEGETATED AREAS, WITH NO THREAT TO ADJACENT PROPERTIES.

A "RESPONSIBLE LAND DISTURBER" (RLD) SHALL BE NAMED FOR THIS RESIDENTIAL PROJECT, PRIOR TO THE ISSUANCE OF ANY PERMITS OR COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES.

NOTES:

1. BOUNDARY INFORMATION DERIVED FROM DEEDS OF RECORD. TOPOGRAPHY AND DRAINFIELD LOCATIONS SHOWN WERE DERIVED FROM A FIELD RUN SURVEY BY THIS FIRM.
2. NO PORTION OF THIS PROPERTY IS LOCATED WITHIN MAPPED WETLANDS, A FLOOD HAZARD AREA, OR A RESOURCE PROTECTION AREA (RPA). NO CEMETERIES ARE LOCATED ON THIS LOT.
3. PERMANENT SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS NOT SHOWN TO RECEIVE OTHER COVER.
4. SLOPES 3:1 OR GREATER, WHERE PERMITTED, SHALL BE PROVIDED WITH SPECIAL STABILIZATION, SUCH AS WITH REFORESTATION MEASURES AS SPECIFIED IN STANDARD 3.36 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, (STAKED SOD, SOIL STABILIZATION, BLANKETS AND MATTING, ETC.)
5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE APPROVED LOT GRADING PLAN, WHICH MEETS THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VA. EROSION AND SEDIMENT CONTROL HANDBOOK AND THE PWC DESIGN & CONSTRUCTION STANDARDS MANUAL. NO TRADE OR SITE INSPECTIONS WILL BE MADE UNLESS THE REQUIRED EROSION CONTROL PRACTICES ARE IN PLACE.



VICINITY MAP
SCALE 1"=2000'

PROJECT DATA

GPIN: 7297-89-2986
ADDRESS: 14750 JORDAN LANE
ZONING: R-1
ACREAGE: 1.047 ACRES

OWNER/APPLICANT: READY TO HANG, LLC
10511 GODWIN DRIVE
MANASSAS, VA 20112

DEVELOPMENT STANDARDS

MIN. SETBACKS:

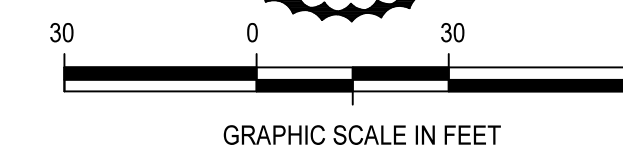
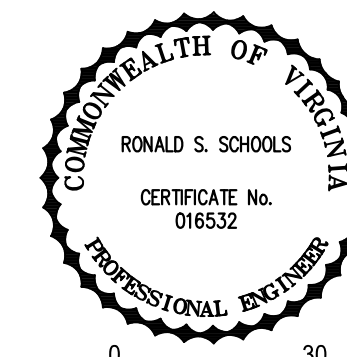
FRONT - 35 FEET FROM ANY STREET
SIDE - 10 FEET MINIMUM, 20' TOTAL
REAR - 25 FEET

HEIGHT - 35 FOOT MAXIMUM, BUILDING NOT TO NBE MORE THAN 3 STORIES ABOVE GRADE

BUILDABLE LOT COVERAGE: 30% OF TOTAL LOT AREA.

ENGINEER CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT ALL THE MINIMUM REQUIREMENTS FOR OVERLOT GRADING PLANS FOR THE TOWN OF HAYMARKET HAVE BEEN MET

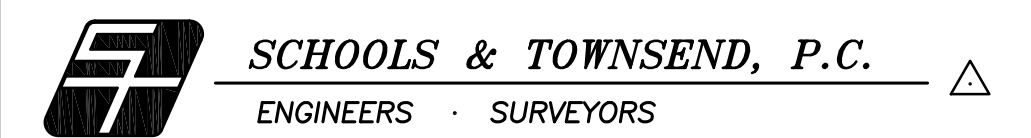


SHEET INDEX

1. OVERLOT GRADING PLAN COVER SHEET
2. OVERLOT GRADING PLAN

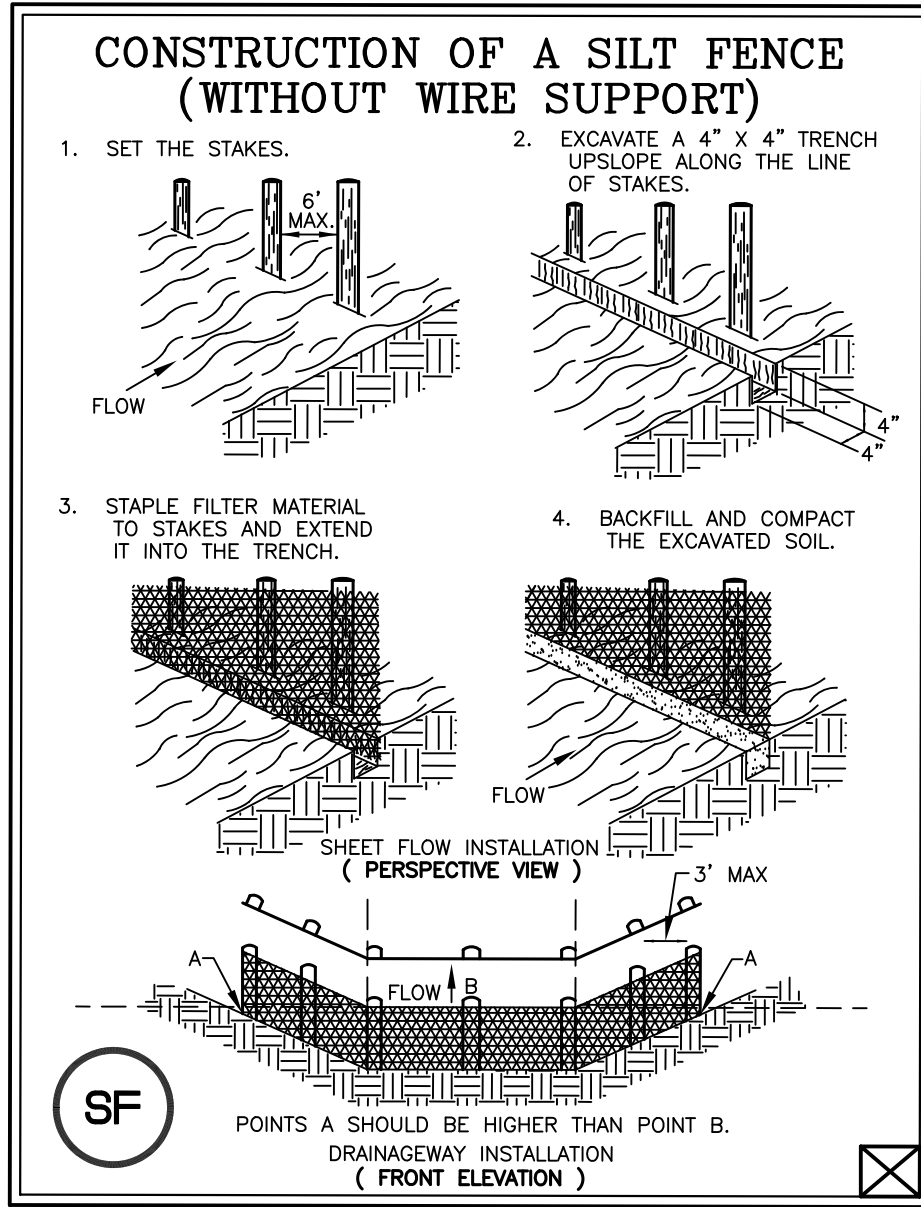
OVERLOT GRADING PLAN COVER SHEET

PROPERTY LOCATED AT
14750 JORDAN LANE
TOWN OF HAYMARKET, VIRGINIA



DATE: DEC. 1, 2022 SCALE: 1" = 30' FILE: OGA
DRAWN BY: TD CHECKED BY: RS SHEET 1 OF 2

Attachment: 02 LOT GRADING PLAN - JORDAN LANE 2.6.2023 (6983 - Site Plan Review - 14750 Jordan Lane)



TS TEMPORARY SEEDING PLANT MATERIALS

PLANTING DATES	SPECIES	RATE (LBS./ACRE)
SEPT. 1 - FEB 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100
FEB 16 - APR 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100
MAY 1 - AUG 31	GERMAN MILLET (SETERIA ITALICA)	60-100

AFTER COMPLETION OF SEEDING, PROVIDE MULCH IN ACCORDANCE WITH THE MULCH SCHEDULE BELOW.

MULCH TYPE: STRAW OR HAY
 APPLICATION RATE:
 - PER ACRE = 1.5 - 2 TONS (MIN. 2 TONS FOR WINTER COVER)
 - PER 1000 SF = 70-90 LBS
 NOTE: FREE FROM WEEDS OR COARSE MATTER. MUST BE ANCHORED SPREAD WITH MULCH BLOWER OR BY HAND.

MULCH TYPE: FIBER MULCH
 APPLICATION RATE:
 - PER ACRE = MINIMUM 1500 LBS
 - PER 1000 SF = 35 LBS
 NOTE: DO NOT USE AS MULCH FOR WINTER COVER OR DURING HOT, DRY PERIODS. APPLY AS SLURRY.

PS PERMANENT SEEDING SPECIFICATIONS

MINIMUM CARE LAWN

-COMMERCIAL OR RESIDENTIAL	175-200 LBS.
- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	95-100%
- IMPROVED PERENNIAL RYEGRASS	0-5%
- KENTUCKY BLUEGRASS	0-5%

HIGH-MAINTENANCE LAWN

- KENTUCKY 31 OR TURF-TYPE TALL FESCUE	200-250 LBS.
	100%

GENERAL SLOPE (3:1 OR LESS)

- KENTUCKY 31 FESCUE	128 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP*	20 LBS.
	150 LBS.

LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)

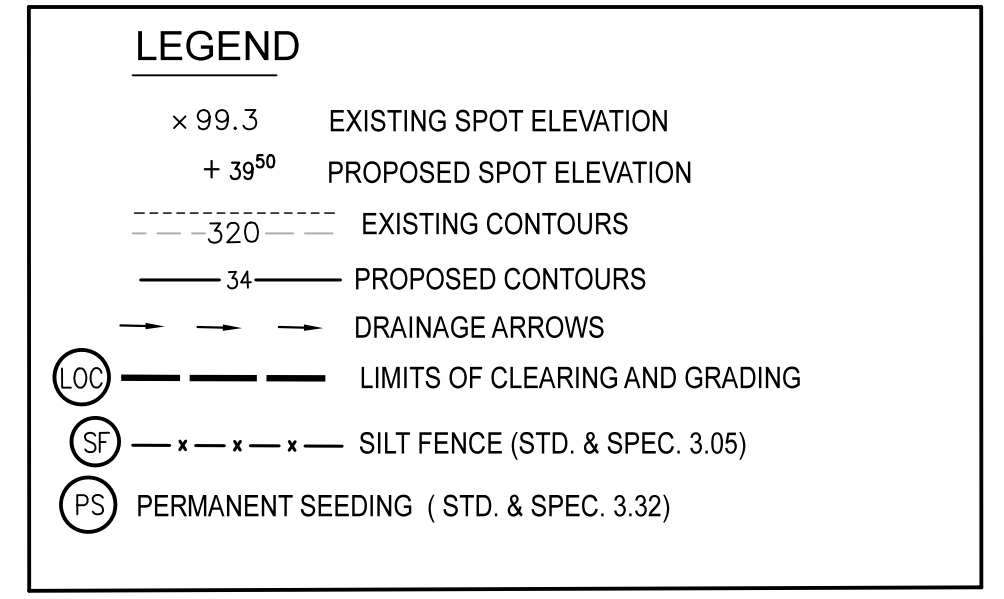
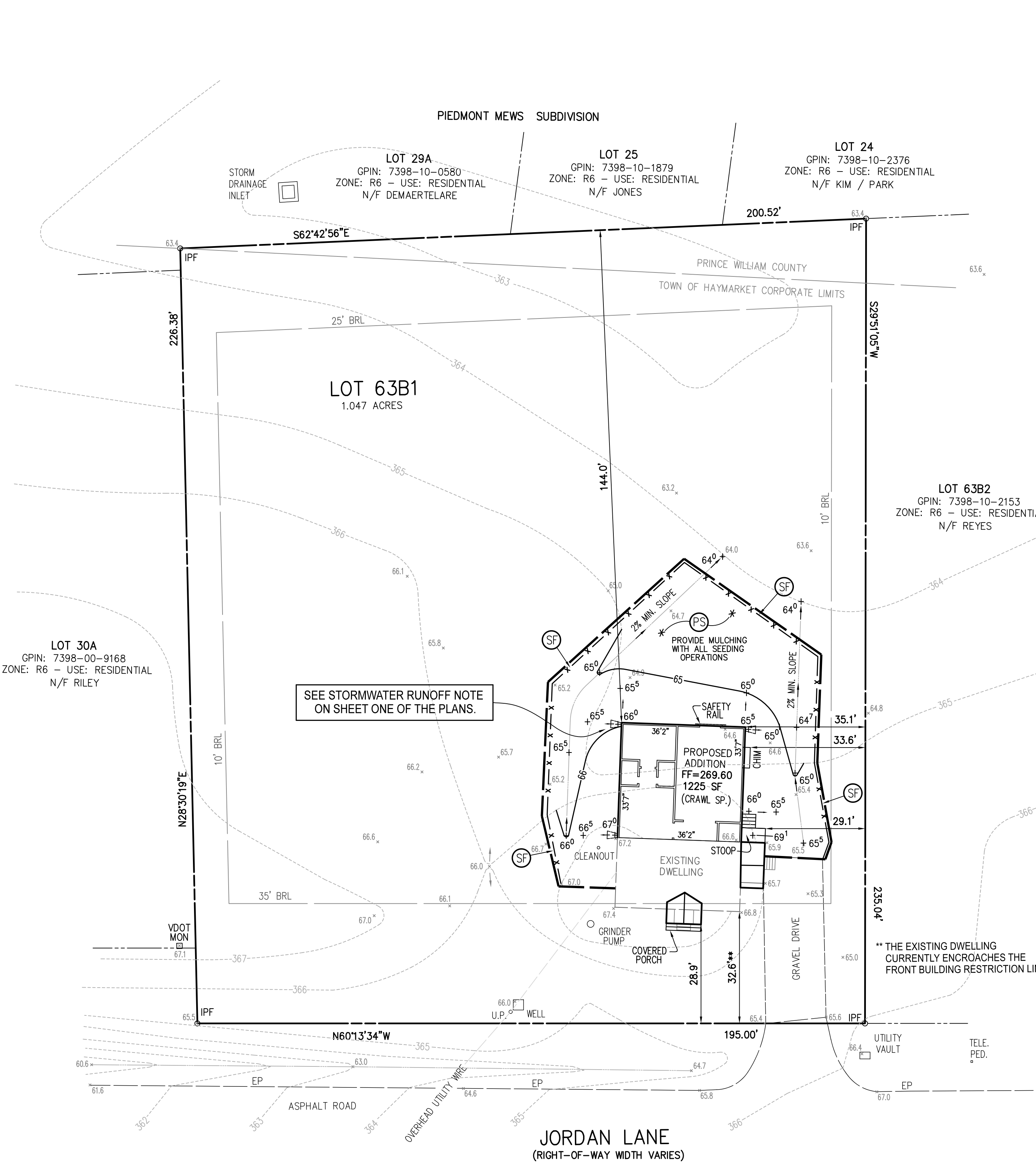
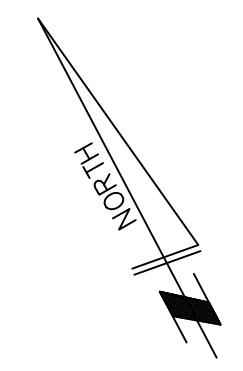
- KENTUCKY 31 FESCUE	108 LBS.
- RED TOP GRASS	2 LBS.
- SEASONAL NURSE CROP*	20 LBS.
- CROWNVETCH**	20 LBS.

* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:

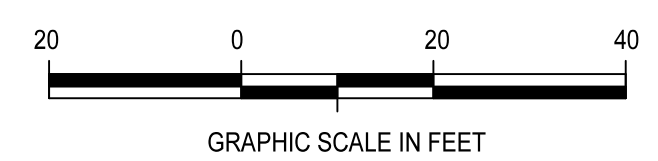
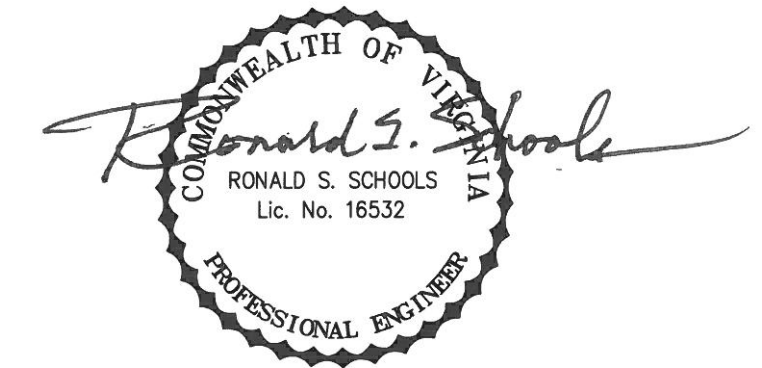
FEBRUARY 16TH THROUGH APRIL	ANNUAL RYE
MAY 1ST THROUGH AUGUST 15TH	FOXTAIL MILLET
AUGUST 16TH THROUGH OCTOBER	ANNUAL RYE
NOVEMBER THROUGH FEBRUARY 15TH	WINTER RYE

**SUBSTITUTE SERICEA LESPEDEZA FOR CROWNVETCH EAST OF FARMVILLE, VA. (MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS, USE UNHULLED SERICEA). IF FLATPEA IS USED IN LIEU OF CROWNVETCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

STD. 3.32-D



- SF** SILT FENCE BARRIER (SF) - 3.05
 SEDIMENT FILTER LOCATED ADJACENT TO THE LIMITS OF CLEARING AND GRADING. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY. SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING. SHOULD FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL NECESSARY, THE FABRIC WILL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO EXISTING GRADE, PREPARED AND SEEDED.
- TS** TEMPORARY SEEDING (TS) - 3.31
 ALL DENUDED AREAS WHICH WILL REMAIN FOR EXTENDED PERIODS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. SEED MIXTURE DEPENDS N THE TIME OF YEAR IT IS APPLIED. FERTILIZER SHALL BE APPLIED AS 600 LBS/ACRE OF 10-20-10 OR EQUIVALENT NUTRIENTS. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE TOP 2 TO 4 INCHES OF THE SOIL, IF POSSIBLE. WHEN AN AREA IS COMPACTED, CRUSHED OR HARDENED, THE SOIL SURFACE SHALL BE LOOSENEED BY DISCING, RAKING, HARROWING OR OTHER ACCEPTABLE MEANS. SEED SHALL BE EVENLY APPLIED WITH A BROADCAST SEEDER, DRILL OR HYDROSEEDER.
- PS** PERMANENT SEEDING (PS) - 3.32
 ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER ON ROUGH GRADED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE OR WHERE PERMANENT, LONG-LIVED VEGETATIVE COVER IS NEEDED ON FINE GRADED AREAS. FOR SEEDBED PREPARATION, THE SOIL ON A DISTURBED SITE MUST BE MODIFIED TO PROVIDE AN OPTIMUM ENVIRONMENT FOR SEED GERMINATION AND SEEDING GROWTH. THE SURFACE SOIL MUST BE LOOSE ENOUGH FOR WATER INFILTRATION AND ROOT PENETRATION. THE pH OF THE SOIL MUST BE SUCH THAT IT IS NOT TOXIC, AND NUTRIENTS ARE AVAILABLE, USUALLY BETWEEN pH6.0-7.0. SUFFICIENT NUTRIENTS (ADDED AS FERTILIZER) MUST BE PRESENT AFTER THE SEED IS IN PLACE. IT MUST BE PROTECTED WITH A MULCH TO HOLD MOISTURE AND MODIFY TEMPERATURE EXTREMES, AND PREVENT EROSION WHILE SEEDLINGS ARE GROWING. THE ADDITION OF LIME IS EQUALLY AS IMPORTANT AS APPLYING FERTILIZER. FOR A LOW MAINTENANCE SLOPE IN THE PIEDMONT AREA, 108 LBS/ACRE OF KENTUCKY 31 FESCUE, 2 LBS/ACRE OF RED TOPP GRASS, 20 LBS/ACRE OF SEASONAL NURSE CROP, AND 20 LBS/ACRE OF CROWNVETCH SHALL BE USED. EROSION CONTROL BLANKETS SHALL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND SEEDED. MULCH (STRAW OF FIBER) SHALL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER AND LIME SHALL BE APPLIED PRIOR TO MULCHING.
- ML** MULCHING (MU) - 3.35
 THE APPLICATION OF PLANT RESIDUES OR OTHER SUITABLE MATERIAL TO THE SOIL SURFACE TO PREVENT EROSION BY PROTECTING THE SOIL SURFACE FROM RAINDROP IMPACT AND REDUCING THE VELOCITY OF OVERLAND FLOWS. TO FOSTER GROWTH OF VEGETATION BY INCREASING AVAILABLE MOISTURE AND PROVIDING INSULATION FROM HEAT AND COLD.



OVERLOT GRADING PLAN

PROPERTY LOCATED AT
14750 JORDAN LANE
 TOWN OF HAYMARKET, VIRGINIA

SCHOOLS & TOWNSEND, P.C.
 ENGINEERS - SURVEYORS
 9252 MOSBY STREET - MANASSAS, VIRGINIA 20110
 703-368-8001 - FAX 703-368-9990

DATE: DEC. 1, 2022 SCALE: 1" = 20' FILE: _OGA_
 DRAWN BY: TD CHECKED BY: RS SHEET 2 OF 2



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Thomas Britt
Town Planner

MEMORANDUM

TO: Planning Commission
FROM: Thomas Britt, Town Planner
DATE: February 17, 2023
SUBJECT: Haymarket Charitable Foundation Parking Lot Site Plan

In 2015, The Haymarket Charitable Foundation had submitted a final site plan for paving and adding lighting to the parking lot on 6710 Madison St. There is no record of approval from those years for the site plan, and covid interfered with the applicant and Town picking up the project again.

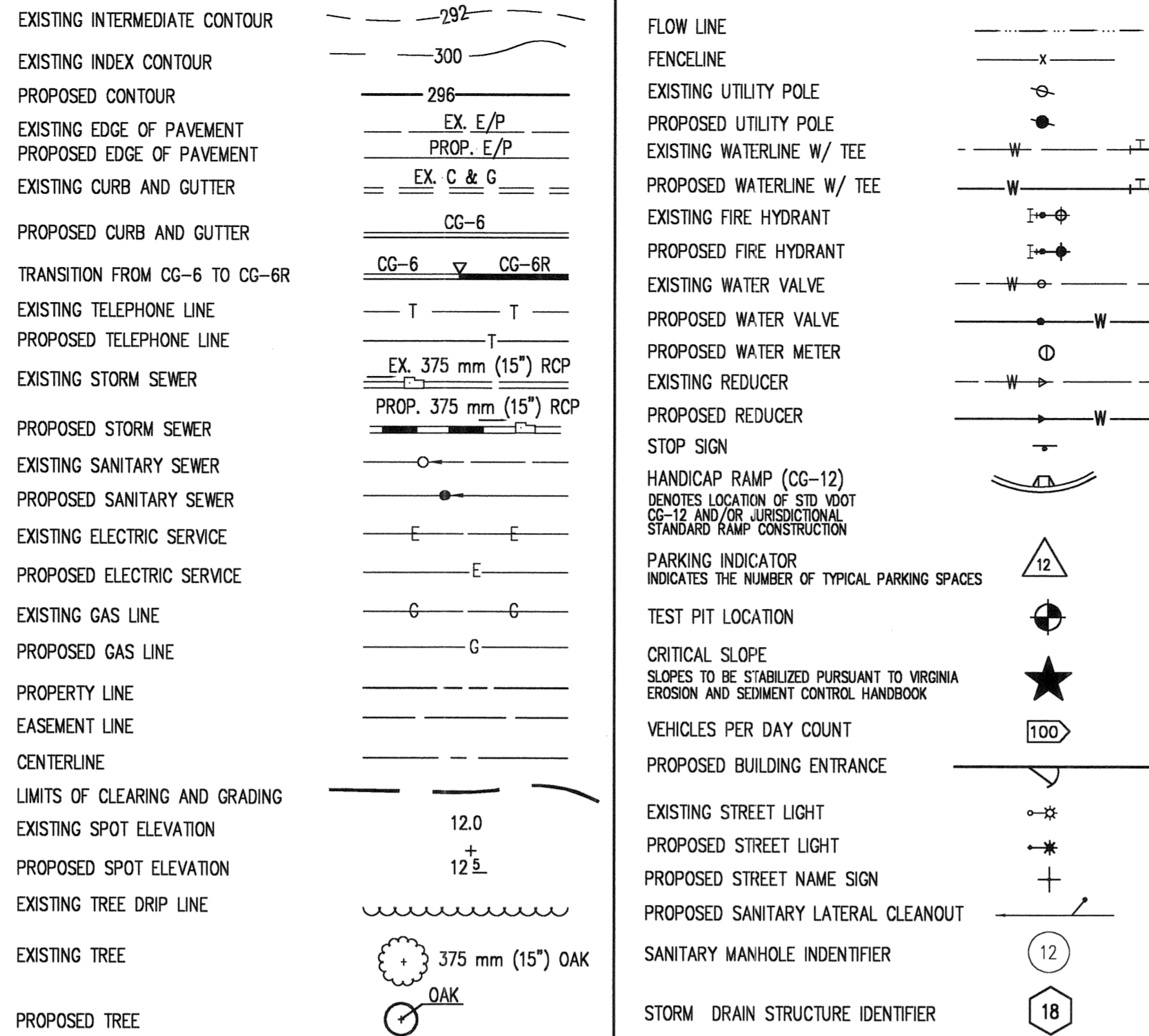
Thomas Britt, the Town Planner, contacted Ron Miner of the Haymarket Masonic lodge to coordinate the last steps for completing the site plan. The Planning Commission will be reviewing the 2015 final site plan that was submitted. The lighting portion of the site plan will be reviewed by the Architectural Review Board in March 2023.

Attachment: 01 Masonic Lodge Parking and Lighting Introduction Memo (5984 : Site Plan Review - Masonic Lodge)

GENERAL NOTES

- 1. This site has been addressed by the Prince William County Mapping Office as: 6710 MADISON STREET HAYMARKET, VA (addresses for subdivision lots shall appear on the approved plat for recordation).
2. Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing.
3. Methods and materials used in the construction of the improvements herein shall conform to the current Town/County construction standards and specifications and/or current VDOT standards and specifications.
4. The contractor or developer is required to notify the Town of Haymarket in writing three (3) days prior to the beginning of the construction and specifically request inspection before beginning -- 792-7070.
5. Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to issuance of the site development permit.
6. A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Prince William County, prior to construction in existing State right-of-way, 366-1900.
7. Approval of this plan does not guarantee issuance of an entrance permit by VDOT when such permit is required under State law.
8. The exact location of all guard rails will be determined by VDOT personnel.
9. An approved set of plans and all applicable permits must be available at the construction site.
10. Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
11. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
12. All pavement sections on the approved plans are based on a minimum CBR value of 10.
13. All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the field inspection.
14. All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet.
15. All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied.
16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be provided at the construction site.
17. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the contractors responsibility to clean streets, alley dust, and to take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
18. * Notification shall be given to the appropriate utility Company (Service Authority, Virginia-American Water Company, or Dale Service Corporation) prior to construction of water and/or sanitary sewer lines.
19. All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of the Town of Haymarket, Prince William County and/or the Service Authority.
20. The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by the Town of Haymarket and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be responsible for honoring these plans and the finished grades in the installation of their utility lines.
21. Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition.
* Washington Gas Light Co.
Virginia Power Co.
Northern Virginia Electric Co-op
Columbia Gas of Virginia
Continental Telephone of VA
Colonial Pipeline Co.
Transcontinental Gas Pipe Line Corp.
Service Authority 335-7900
(After hours-Emergency 335-7990)
Virginia-American Water 491-2136
Dale Service Corporation 494-4161
MISS UTILITY 1-800-257-7777
22. The location of existing utilities shown in these plans are taken from existing records. It shall be the contractors responsibility to verify the exact horizontal and vertical location of all existing utilities as needed prior to construction.
23. The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within or contiguous to the existing right-of-way.
24. All utilities placed under existing streets shall be bored or jacked.
25. When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to the Town of Haymarket prior to issuance of grading and/or site development permits.
26. The developer will be responsible for the relocation of any utilities which is required as a result of his project. The relocation should be done prior to construction.
27. Before burning, blasting, transportation or storage of explosives in the Town of Haymarket, a permit shall be obtained from the Prince William County Fire Marshal's Office, 792-6360.
28. Fire and Rescue Services must be notified immediately (792-6810) in the event that unusual items such as tanks, cylinders, unidentified containers, etc. which could contain potentially hazardous materials are discovered or observed.
29. Sidewalk underdrains shall be installed per the Haymarket Town Code and/or Section 650 of the Prince William County Design and Construction Standards Manual.
30. All walkways outside of the right-of-way limits will be maintained by the homeowners association.
31. Maintenance of the Storm Drainage or Storm Water Management facilities located therein shall be pursuant to the Haymarket Town Code and/or Section 700 of the Prince William County Design and Construction Standards Manual.
32. If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the issuance of any occupancy permits.
33. These plans identify the location of all known gravesites. Gravesites shown on this plan will be protected in accordance with state law.
34. Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.
35. Individual sign permits will be required from the Town of Haymarket Office for all free standing and facade signs prior to erecting the signs.
36. All buffer areas shall be screened according to the Haymarket Town Code.
37. Anticipated sewage flows: 1,820 S.F. x 0.16 GPD/S.F. = 291 GPD PEAK
38. Anticipated fire flows:
39. Distance to nearest existing school or proposed school site: APPROX. 0.85 MILE TO TYLER E.S.

LEGEND



SITE TABULATION

FOR SITE TABULATIONS - SEE SHEET 3

SUPPLEMENTAL GENERAL NOTES:

- 1. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER, THE CONTRACTOR, OR THEIR AGENTS ANY LEGAL RESPONSIBILITY WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY OTHER ORDINANCE ENACTED BY THE TOWN OF HAYMARKET AND/OR PRINCE WILLIAM COUNTY.
2. THIS PLAN COMPLIES WITH THE NEW PRINCE WILLIAM COUNTY SERVICE AUTHORITY UTILITY STANDARDS MANUAL, WHICH WENT INTO EFFECT ON JANUARY 1, 2009. ALL UTILITY PERMITS ISSUED AFTER THIS DATE MUST COMPLY WITH THE CONSTRUCTION CRITERIA IN THE NEW MANUAL, INCLUDING ANY REVISIONS WHICH HAVE BEEN ISSUED.
3. LIGHTING/PHOTOMETRIC PLAN IS INCLUDED IN THE PLANS SET AND HAS BEEN DESIGNED BY OTHERS. THE KDL GROUP, LLC HAS NOT PERFORMED THE LIGHTING DESIGN, AND THEREFORE DOES NOT WARRANT AND IS NOT RESPONSIBLE FOR THE DEGREE AND/OR ADEQUACY OF ILLUMINATION ON THIS PROJECT.
4. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONJUNCTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
5. THE DEVELOPER/BUILDER SHALL CONTACT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY TO DISCUSS UTILITY PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SEWER MAINS AND CERTIFICATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
6. NO CEMETERIES OR HISTORIC SITES ARE KNOWN TO EXIST WITHIN THE PROJECT LIMITS SHOWN ON THIS PLAN.
7. THERE ARE NO RPA'S IDENTIFIED ON THIS SITE.
8. ONSITE BMP/SWM AND STORM DRAINAGE FACILITIES SHALL BE PROVIDED AS INDICATED HEREON AND MAINTAINED BY OWNER.
9. ALL STORM DRAINAGE AND FACILITIES LOCATED WITHIN ROADWAYS SHALL BE MAINTAINED BY VDOT. IN ADDITION, ALL SIDEWALKS TO BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE MAINTAINED BY VDOT.
FOR ADDITIONAL NOTES, SEE SHEET 4.

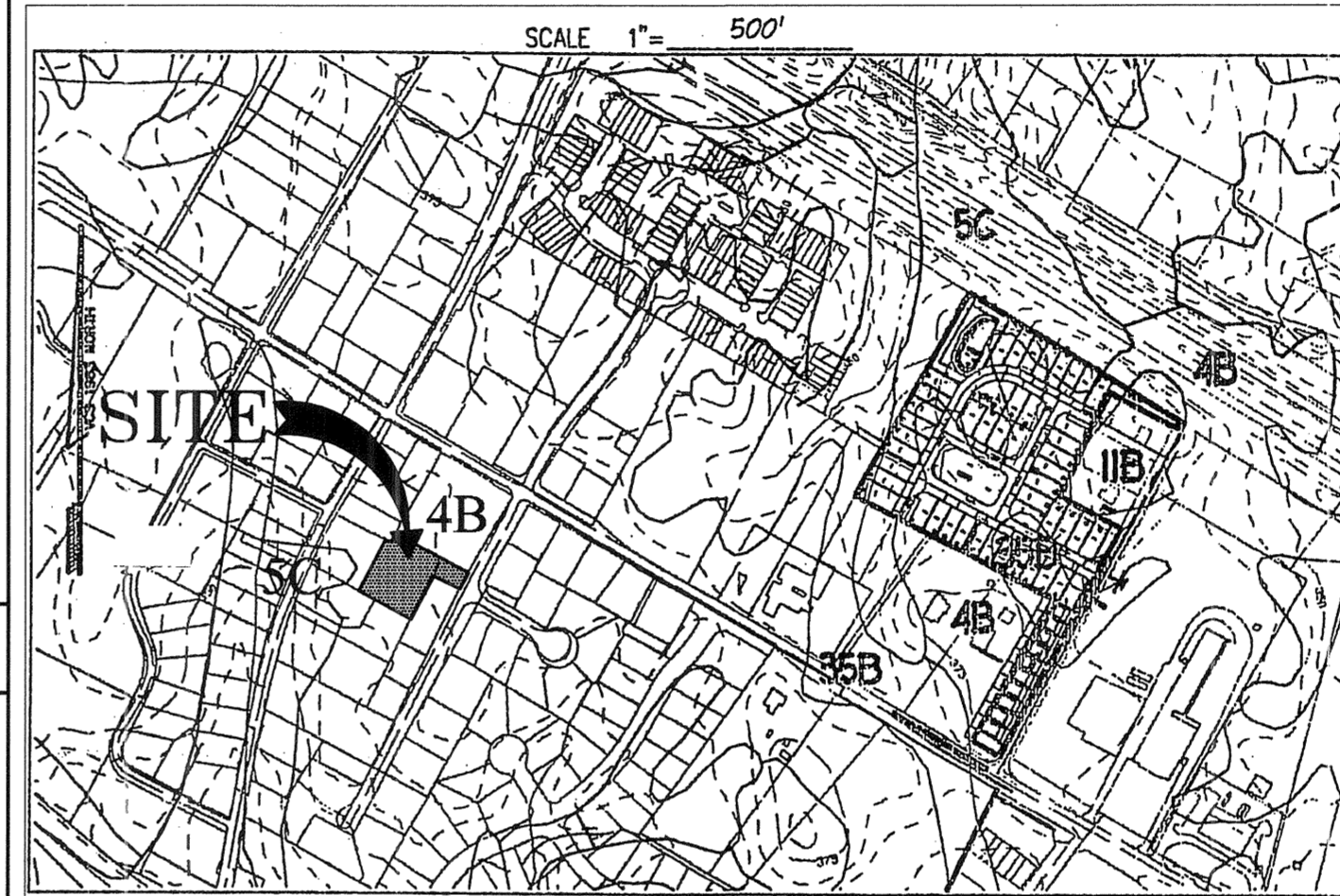
BOND ESTIMATE

Table with 4 columns: ITEM, TOWN BOND, PWCSA BOND, VDOT BOND. Rows include TOTAL CONSTRUCTION COST (\$80,527.50), ADMINISTRATIVE COST (\$8,052.75), INFLATION COST (3.0%) (\$2,415.83), TOTAL PERFORMANCE BOND AMOUNT (\$90,996.08), SILTATION & EROSION CONTROL ESCROW (\$7,576.36), LANDSCAPE ESCROW (\$13,970.00).

SURVEY AND TOPOGRAPHIC INFORMATION

- 1. Horizontal and vertical control surveys were performed by RINKER DESIGN ASSOCIATES, P.C. in JANUARY 2012.
2. All elevations must be referenced to the National Geodetic Vertical Datum of 1929 (NGVD 29).
3. Source of topographic mapping is RINKER DESIGN ASSOCIATES, P.C., dated JANUARY 2012.
4. Boundary survey was performed by RINKER DESIGN ASSOCIATES, P.C., dated JANUARY 2012.
5. The application of the professional's seal and signature as required by Section 1.14 of the STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that: the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one-half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility for the work shown hereon.

SOILS MAP



SOILS DATA

Table with 10 columns: SOIL #, SOIL NAME, SOIL CAT., SURFACE RUNOFF, EROSION HAZARD, DEPTH TO BEDROCK, SHRINK-SWELL, FLOODING, SLOPES. Row 4B: ARCOLA SILT LOAM, MEDIUM, SEVERE, 20"-40" SOFT, LOW, NONE, 2-7.

REVISIONS

Table with 4 columns: DATE, DESIGNER, NO., DESCRIPTION. Rows show revisions from 10-24-16 to 05-06-16.

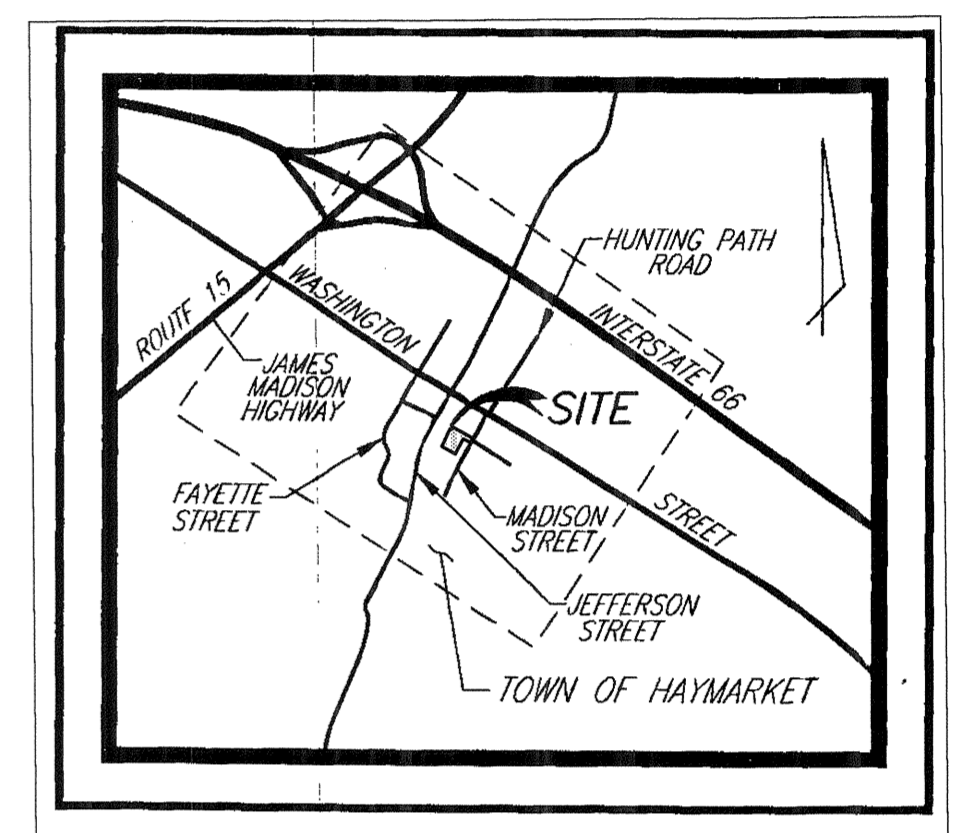
APPROVAL BLOCK

Approval block form with fields for Land Development Application Number, FNSP, Mayor, and Date.

REVIEWED BY: APPROVED BY:

This plan has been reviewed and has been found to be in general conformance with the requirements of the Town of Haymarket. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements.

VICINITY MAP



SCALE: 1"= 2000'

SHEET INDEX

Table with 2 columns: NUMBER, DESCRIPTION. Lists sheets 1 through 16A including Cover Sheet, Existing Conditions, Typical Sections, etc.



PROFESSIONAL SEAL & SIGNATURE. THESE PLANS ARE IN CONFORMANCE WITH TOWN OF HAYMARKET, VA STANDARDS AND ORDINANCES. ANY DEVIATION OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE DIRECTOR OF PLANNING PRIOR TO CONSTRUCTION.

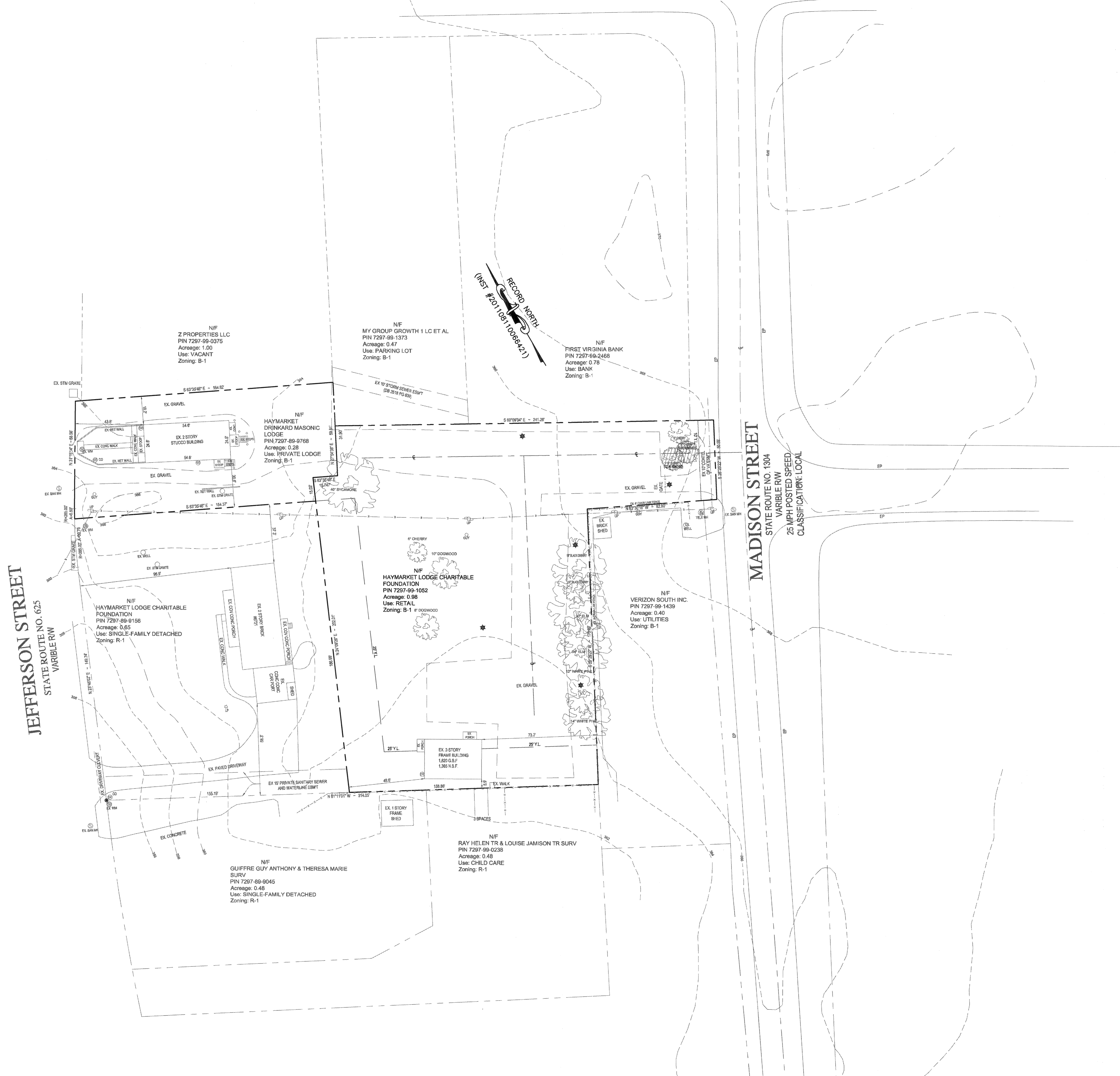


TOWN OF HAYMARKET COVER SHEET form with fields for Project Name (6710 MADISON STREET HAYMARKET, VA), Subdivision or Site Plan Name, Magisterial District, Present Zoning, Owner, Developer, Name, Address & Telephone No. of Engineer, Architect or Surveyor certifying Plan, Parcel Identification Number, Total Area, Project Area, Disturbed Area, Impervious Area, BMP Storage, and Related Plans Tracking Numbers.

Subdivision/Site Plan Name: 6710 MADISON STREET HAYMARKET, VA

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (5984 - Site Plan Review - Masonic Lodge)

DWG PATH: S:\PROJECTS\HAYMARKET MASONIC LODGE\ENG\SITE PLAN\DELIVERABLES\02-OVERALL.dwg

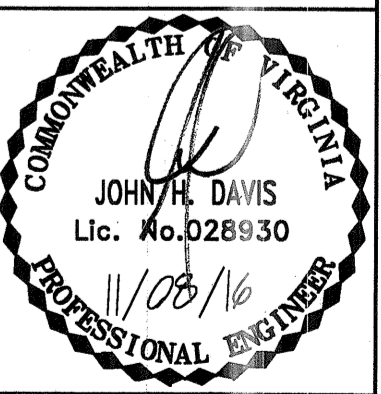


EXISTING CONDITIONS

6710 MADISON STREET HAYMARKET, VA

PRELIMINARY/FINAL SITE PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) 1" = 30'
V) N/A
DATE: MARCH 2015
CHECKED: JHD
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO.
2 OF 18

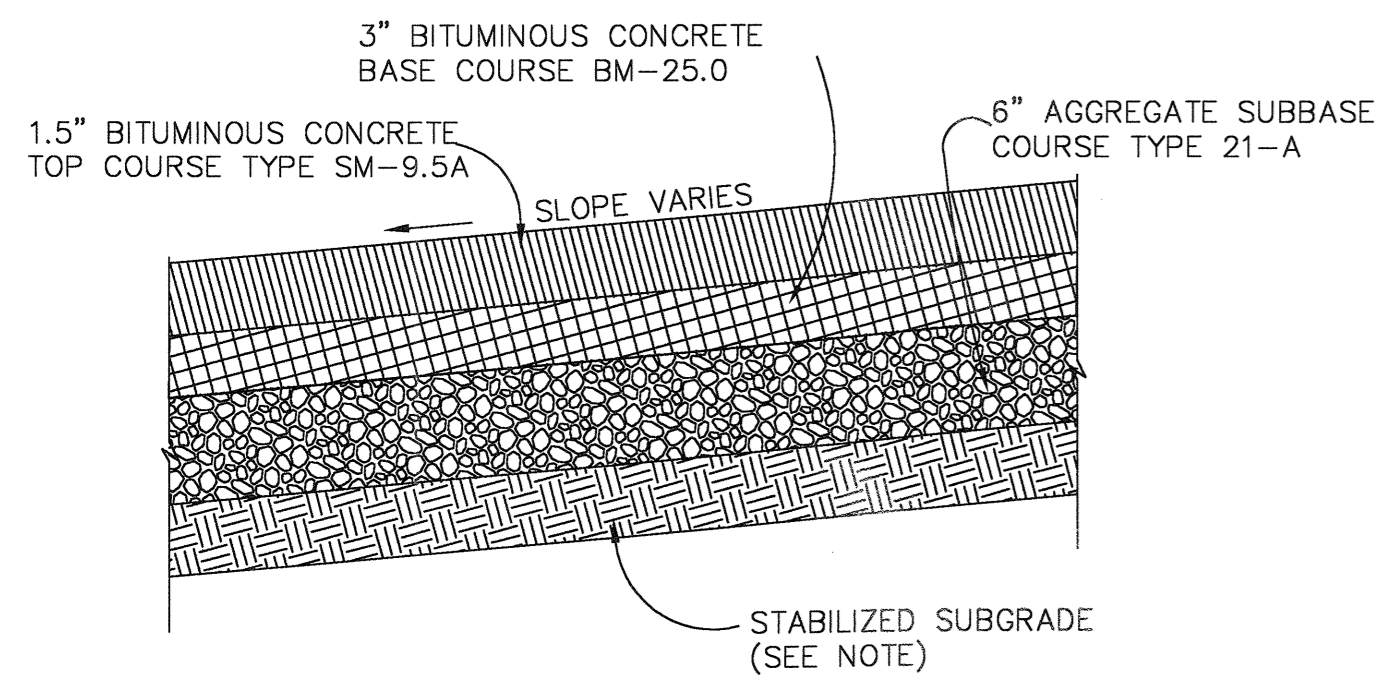
THE KDL GROUP LLC
 P.O. BOX 609
 HAYMARKET, VA 20168
 PHONE 703 763-7692 FAX 703 763-7693
 www.kdlgroup.com

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (5984 - Site Plan Review - Masonic Lodge)

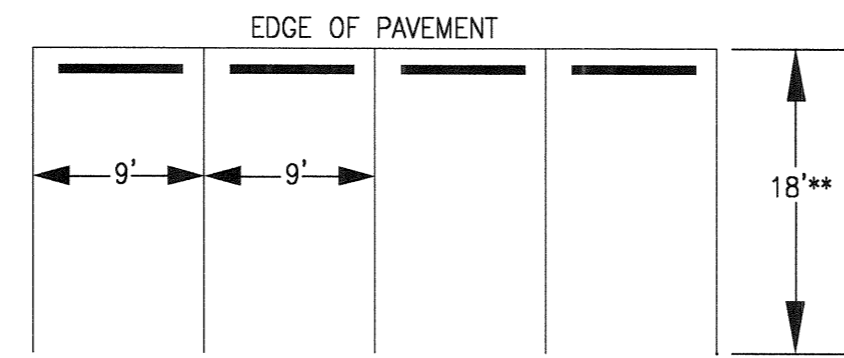
VDOT GENERAL NOTES
Revised 3/28/13

1. These plans were prepared in accordance with the requirements of (select one):
 - VDOT Subdivision Street Requirements (SSR 24VAC-30-51 effective January 1, 2005 and VDOT Road Design Manual Appendix B)
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective March 9, 2009 and VDOT Road Design Manual Appendix B1). Schematic street layout and computations of Connectivity Index are provided with these plans per 24VAC-30-92-60.
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective December 31, 2011 and VDOT Road Design Manual Appendix B1). Schematic street layout with phasing diagram for street acceptance are provided with these plans per 24VAC-30-92-60.
2. Methods and materials used shall conform to current county/town and VDOT standards and specifications.
3. All utilities, including all poles, are to be relocated at the developer's expense, prior to construction.
4. Open cutting of paved or surface treated roads is not permitted. All utilities which will be placed under existing streets are to be bored or jacked. Any exceptions, due to extenuating circumstances, are to be addressed at the permit stage.
5. Any type of reverse curb (split curb, C&R, etc.) and transition to these curbs shall not be used with the public right of way.
6. The developer is responsible for any damage to existing roads and utilities which occur as a result of project construction within or contiguous to existing right of way.
7. A smooth grade shall be maintained from the centerline of the existing road to the proposed edge of pavement to preclude the forming of false gutters and/or the ponding of any water in the roadway.
8. Standard guardrails and/or handrails shall be installed at hazardous locations as designated during field review by the county/town inspector or VDOT.
9. The developer is responsible for all traffic control. The developer shall submit a signing, striping and/or signalization plan to the VDOT Land Development Section a minimum of thirty days prior to permit application. The developer shall not commence construction of any pavement course without an approved striping plan.
10. Pavement design is based on an assumed CBR value of 10 (use CBR value of 6 in Loudoun Co). Soil tests of subgrade must be submitted for actual determination of required thickness of the pavement including layers of asphalt and subbase prior to subbase placement.
11. All untreated aggregate used in base or subbase courses shall be 21B, except on roads with ADT of 1000 vpd or less, where 21A aggregate may be used. When 21B aggregate is used, UD-4 underdrains must be provided.
12. A 4" (min.) layer of stone is required beneath curb and gutter (may be shown on typical section in lieu of a note).
13. Additional ditch linings or siltation and erosion control measures shall be provided, at the developer's expense, as determined necessary by VDOT and/or the county/town during field review. All costs shall be assumed by the developer.
14. The entire surface of the roadway (old and new portions) shall be overlaid and re-striped as required by VDOT personnel. Overlay of existing pavement shall be minimum of 1.25" depth; any costs associated with pavement overlay, or the milling of existing pavement to obtain required depth, shall be assumed by the developer.
15. Developer is responsible for design and construction of any traffic signal installation or modification which will be necessary as a result of development of this site.

16. All right of way dedicated to public use shall be clear and unencumbered.
17. The county/town shall obtain a permit for all sidewalks within the right of way that do not qualify for VDOT maintenance.
18. Traffic control devices or advisory signs, such as multway stops, speed limits, Watch for Children, Pedestrian Traffic, etc., shall not be installed unless specifically shown on these plans or a VDOT approved plan revision. Speed study certified by professional engineer should be submitted for VDOT approval prior to the street acceptance for any road to be posted other than the statutory speed limit. Should unapproved signs be noted at the time of VDOT inspection, the road acceptance process shall be terminated immediately and not recommenced until a determination is made regarding the approval of any additional signs. Immediate removal of such signs shall not negate the need for the submission of a revision.
19. Landscaping and irrigation systems shall not be installed within the public right of way except as shown on these plans or a VDOT approved revision.
20. Beginning July 1, 2009 all Land Use Permit applications are required to provide at least one (1) person who, at minimum, is verified by VDOT in Basic Work Zone Traffic Control for all permitted activities within state maintained right of way which involves installing, maintaining, or removing work zone traffic control devices. This person shall be responsible for the placement, maintenance and removal of all work zone traffic control devices.



TYPICAL PAVEMENT SECTION
N.T.S.

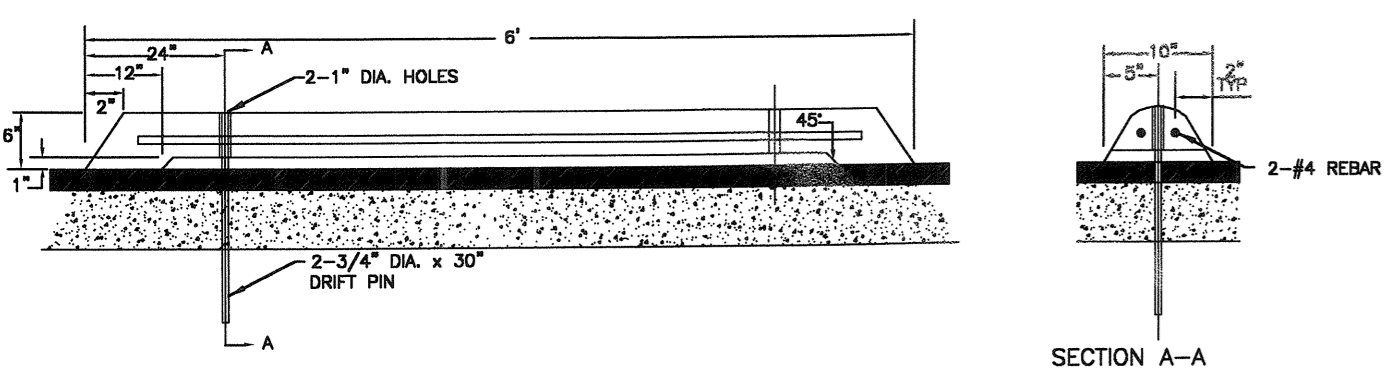


TYPICAL PARKING BAY DETAILS
N.T.S.

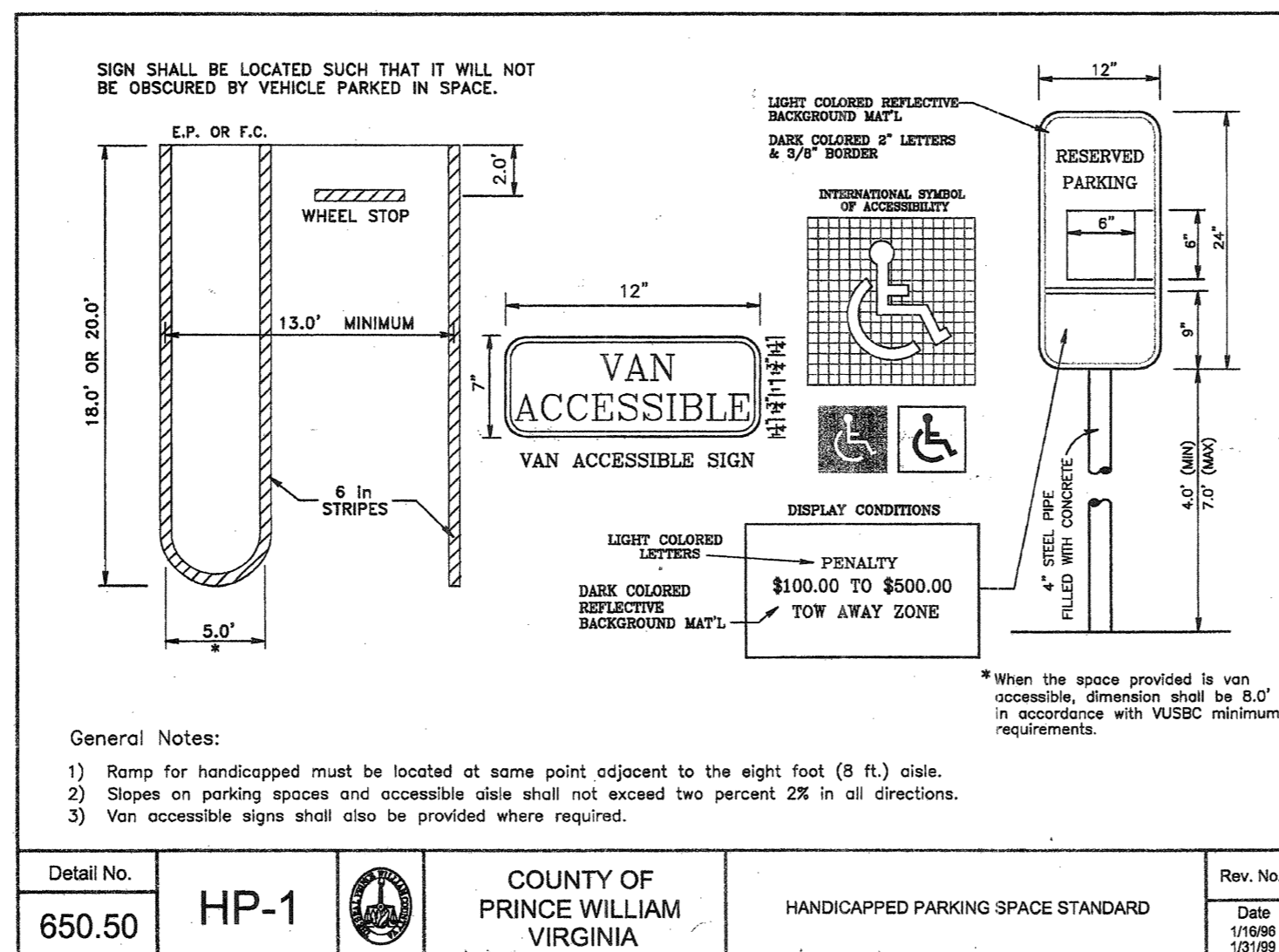
**WHERE WHEEL STOPS OR CURBING ARE PROVIDED FOR PARKING SPACES, A 1 FOOT REDUCTION IN THE STALL LENGTH WILL BE ALLOWED, PROVIDING THE RESULTING OVERHANG DOES NOT ENCROACH ON THE REQUIRED OPEN SPACE AREAS, AND/OR THE PEDESTRIAN ACCESS SYSTEM.

1. * SUBBASE NOTE: SUBBASE DEPTH IS BASED ON A CBR VALUE OF 6. SOILS TEST OF SUBGRADE WILL BE PERFORMED FOR ACTUAL DETERMINATION OF REQUIRED SUBBASE THICKNESS PRIOR TO THE PLACEMENT OF SUBBASE
2. ALL FINAL PAVEMENT AND BASE COURSE THICKNESS SHALL BE DESIGNED IN ACCORDANCE WITH THE "DESIGN GUIDE FOR SUBDIVISION ROAD PAVEMENTS IN VIRGINIA", BY N.K. VASWANI, AND SHALL BE BASED ON A SUFFICIENT NUMBER OF CBR TEST TO DETERMINE THE TRUE SUPPORT VALUES OF THE VARIOUS SOILS IN THE SUBGRADE.
3. A SMOOTHING GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED ENTRANCE FLOWLINE, TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR PONDING OF ANY WATER ON THE ROADWAY.

"STANDARD GUARDRAIL AND HANDRAIL SHALL BE INSTALLED AT HAZARDOUS LOCATIONS AS DESIGNATED DURING FINAL FIELD INSPECTIONS BY LOUDOUN COUNTY OR V.D.O.T."



PRECAST CONCRETE WHEEL STOP (OR APPROVED EQUAL)

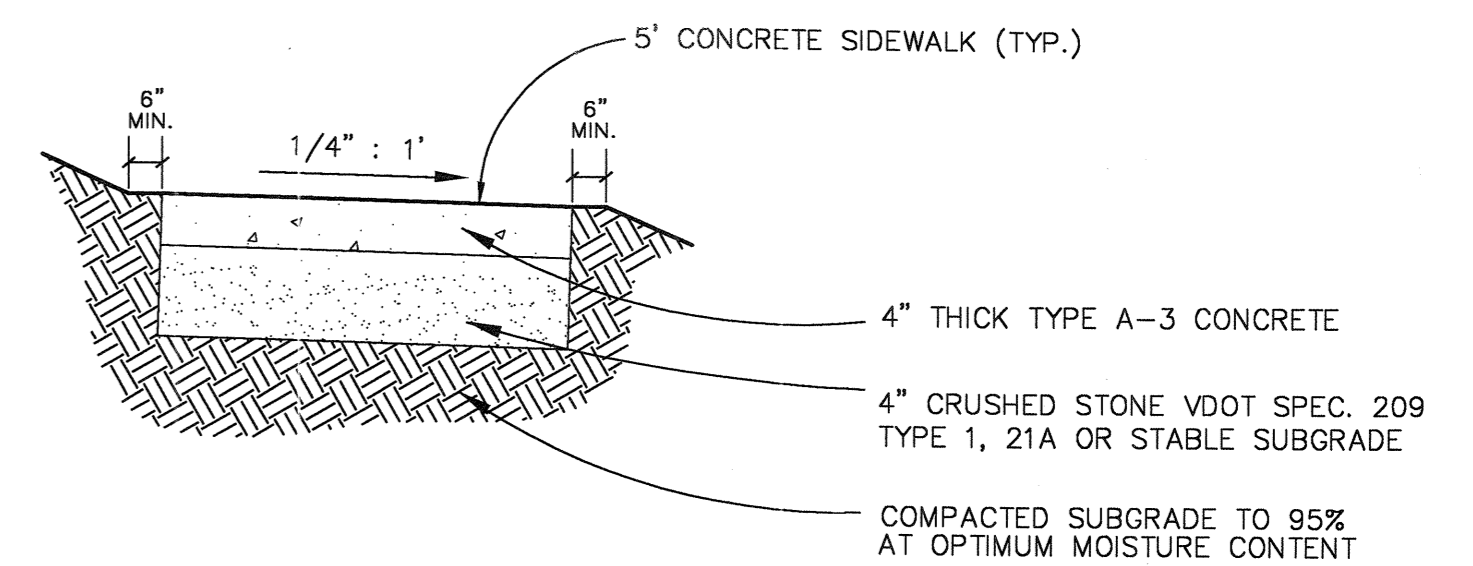


Detail No.	650.50	HP-1	COUNTY OF PRINCE WILLIAM VIRGINIA	HANDICAPPED PARKING SPACE STANDARD	Rev. No.
Date	1/6/98	12/99			

TYPICAL SECTION CONCRETE SIDEWALK
NOT TO SCALE

NOTE:

SUBGRADE FOR ALL SIDEWALKS SHALL BE COMPACTED TO MINIMUM 95% DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE WITH AASHTO T99-61.
SIDEWALK UNDERDRAINS ARE TO BE USED WHEN THE SIDEWALK LONGITUDINAL GRADIENT IS 3% OR MORE AND WHEN THE UNDERLYING SOIL HAS 34% OR MORE PASSING THE NO. 200 SIEVE AND HAS A PI OF 13 OR LESS.

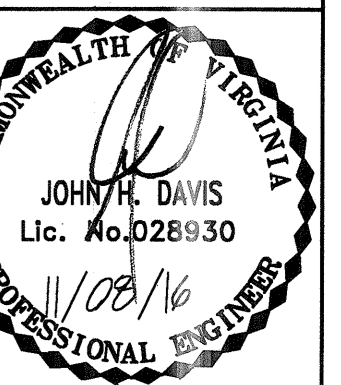


6710 MADISON STREET HAYMARKET, VA			
SITE TABULATIONS			
ZONING	B-1		
PARCEL PIN 7297-99-1052			
GROSS SITE AREA	0.9829 AC. (42,814 S.F.)		
USE	MIXED-USE COMMERCIAL/RETAIL (1,820 G.S.F.)		
	REQUIRED	PROVIDED	
BUILDABLE LOT COVERAGE	85% (MAX.)	38.01%	
BUILDING HEIGHT	3 STORES BUT NOT OVER 35'	35' (MAX.)	
FLOOR AREA RATIO	NO MAXIMUM	N/A	
YARD REQUIREMENTS			
FRONT YARD	10'	73.2'	
SIDE YARD	25' ABUTTING A RESIDENTIAL DISTRICT 0' ABUTTING SIMILAR COMMERCIAL USES	5.9' (EX. BUILDING)	
REAR YARD	25' ABUTTING A RESIDENTIAL DISTRICT 0' ABUTTING SIMILAR COMMERCIAL USES	48.6'	
PARKING TABULATIONS			
PROPOSED USE	PARKING REQUIREMENTS	REQUIRED PARKING	PROPOSED PARKING
1,820 S.F. COMMERCIAL/RETAIL	1 SPACE PER 250 S.F.	8	27 ASPHALT SPACES 7 GRAVEL SPACES
TOTAL		8	34

TYPICAL SECTIONS AND SITE TABULATIONS
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN

THE KDL GROUP LLC
P.O. BOX 609
HAYMARKET, VA 20188
PHONE 703 763-7562 FAX 703 763-7693
www.kdlgroup.com

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) N/A V) N/A
DATE: MARCH 2015
CHECKED:
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO.

GENERAL NOTES:

1. THE PROPERTY SHOWN HEREON IS LOCATED ON PIN 7297-99-1052 AND IS NOW IN THE NAME OF HAYMARKET LODGE CHARTABLE FOUNDATION AS DOCUMENTED IN INSTRUMENT 201208090076039 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
2. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY RINKER DESIGN ASSOCIATES, P.C., DATED JANUARY 2012. THE PLAT OF AS SUCH, THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (VCS 1983) AS COMPUTED FROM A FIELD SURVEY WHICH TIES THIS SUBDIVISION TO PWC MONUMENT #012 (JEFFERSON). THE GRID FACTOR (ELEVATION FACTOR X SCALE FACTOR) WHICH HAS BEEN APPLIED TO THE FIELD DISTANCE TO DERIVE THE REFERENCE COORDINATES IS 0.999933518. UNLESS OTHERWISE STATED, THE PLAT DISTANCES SHOWN ARE INTENDED TO BE HORIZONTAL DISTANCES MEASURED AT THE MEAN ELEVATION OF THIS SUBDIVISION. THE BEARINGS SHOWN ARE REFERENCED TO THE VCS 1983 GRID NORTH. THE FOOT DEFINITION USED FOR THE CONVERSION OF THE MONUMENT IS THE U.S. SURVEY FOOT OR 1' = 0.3048006096 METER. THE BOUNDARY INFORMATION SHOWN ON THIS PLAT REPRESENTS AN ACTUAL BOUNDARY SURVEY WITH METES AND BOUNDS AS SHOWN AND REFERENCED TO THE MERIDIAN USED AND THE TRAVERSE ERROR OF CLOSURE IS NOT LESS THAN 1:10,000. ADJACENT DEPARTING LOT LINES TAKEN FROM AVAILABLE PRINCE WILLIAM COUNTY MAPPING INFORMATION.
3. THIS PROPERTY IS CURRENTLY ZONED B-1 IN ACCORDANCE WITH THE TOWN OF HAYMARKET, VA ZONING ORDINANCE.
4. THE SUBJECT SITE AREA IS APPROXIMATELY 0.98 ACRES.
5. THERE ARE NO KNOWN CEMETERIES WITHIN THE PROJECT CONSTRUCTION LIMITS. FURTHER, THERE ARE NO KNOWN NATURAL, CULTURAL, OR HISTORIC RESOURCES, RPA'S, OR 100-YEAR FLOOD AREAS IDENTIFIED WITHIN THE CONSTRUCTION LIMITS.
6. THIS IS NOT A PREFERRED PROJECT.
7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HAYMARKET, PWCSA USM, AND/OR VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
8. ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
9. THE EXISTING COMMERCIAL USE BUILDING IS SERVED BY PUBLIC WATER AND SEWER FACILITIES OWNED BY PWCSA. THE ANTICIPATED SEWAGE FLOWS GENERATED BY THE PROPOSED COMMERCIAL USES IS 291 GPD.
10. STORMWATER MANAGEMENT WILL BE PROVIDED FOR THIS DEVELOPMENT THROUGH THE EXISTENCE OF AN ADEQUATE OUTFALL AS SHOWN. BEST MANAGEMENT PURPOSES WILL BE PROVIDED FOR THIS DEVELOPMENT THROUGH THE PURCHASE OF NUTRIENT CREDITS FROM AN APPROVED VIRGINIA NUTRIENT OFFSET CREDIT FACILITY.
11. EXISTING WELLS AND SEPTIC SYSTEMS THAT WILL NOT BE USED SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT PRINCE WILLIAM COUNTY HEALTH DEPARTMENT STANDARDS.
12. THE PRIVATE TRAVELWAYS AND PARKING PROPOSED WITH THIS DEVELOPMENT ARE NOT INTENDED FOR ACCEPTANCE INTO THE VDOT SECONDARY ROADS MAINTENANCE SYSTEM.
13. SITE LIGHTING SHALL BE LOCATED PRIMARY BUILDING ENTRANCES AND PARKING AREAS OF BUILDINGS WHICH ARE OCCUPIED BY BUSINESSES WHICH PROVIDE CUSTOMER SERVICE FOR THE PUBLIC AFTER 5:00 P.M., TO ESTABLISH THE MOUNTING HEIGHT, LUMINANCE AND SPACING TO PROVIDE A MINIMUM AVERAGE HORIZONTAL ILLUMINATION OF 0.6 FOOT-CANDLES (SECTION 58-719(c)). LIGHTING SHALL BE LOCATED AT PUBLIC AND PRIVATE INTERSECTIONS TO ESTABLISH THE MOUNTING HEIGHT, LUMINANCE AND SPACING TO PROVIDE A MINIMUM HORIZONTAL ILLUMINATION OF 0.6 FOOT-CANDLES ON THE ROADWAY (SECTION 58-719(b)).
14. A MINIMUM 25' BUFFER YARD AND OPAQUE SCREEN (SC) SHALL BE PROVIDED BETWEEN B-1 AND R-1 ZONING DISTRICTS (SECTION 58-702) AS SHOWN.
15. THE PROPOSED COMMERCIAL USES WILL GENERATE APPROXIMATELY 50 TRIPS PER DAY AT THE PROPOSED COMMERCIAL ENTRANCE ALONG EX. MADISON STREET.
16. CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND NOTIFY THE KDL GROUP, LLC AT (703) 753-7592 IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE APPROVED PLAN.
17. EXISTING UNDERGROUND UTILITY INFORMATION TAKEN FROM AVAILABLE RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND FOR ANY DAMAGES THAT MAY OCCUR DUE TO CONTRACTOR FAILURE TO LOCATE AND PROTECT THESE UNDERGROUND UTILITIES.
18. DENOTES TEST HOLE REQUIRED TO DETERMINE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIGGING OF ALL TEST HOLES PRIOR TO BEGINNING ANY CONSTRUCTION ON THE PROJECT. IF CONFLICTS ARE DISCOVERED AS A RESULT OF THE TEST HOLE FINDINGS, NOTIFY THE KDL GROUP, LLC AT (703) 753-7592.
19. ALL UTILITIES ARE TO BE RELOCATED OR REMOVED AT THE DEVELOPER'S EXPENSE, INCLUDING ALL POLES AND UNDERGROUND LINES, WHEN REQUIRED TO BE RELOCATED.
20. ALL UTILITIES WHICH WILL BE PLACED UNDER EXISTING PUBLIC STREETS WILL BE BORED OR JACKED.
21. UTILITY POLES, IF ANY, ARE TO BE RELOCATED PRIOR TO CONSTRUCTION.
22. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF THEIR CONSTRUCTION PROJECT WITHIN OR CONTIGUOUS TO EXISTING RIGHT-OF-WAY.
23. CONTROLLED FILLS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY METHOD "A" PER STANDARD PROCTOR AASHTO-199, ASTM-D698, OR VTM-1 AS APPLICABLE DENSITY SHALL BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
24. ALL SUBGRADE MATERIAL SHALL BE COMPACTED AT OPTIMUM MOISTURE CONTENT, WITHIN A TOLERANCE OF +/- 2.0% OF OPTIMUM. PAVEMENT REDESIGN SUBMITTALS ARE REQUIRED.
25. ALL FINISHED GRADING, SEEDING, SODDING OR PAVING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF WATER ON THE SITE AND ROADWAY PARTICULARLY ADJACENT TO SWALES AND STORM INLETS.
26. EXCAVATION SUPPORT SYSTEMS SHALL CONFORM TO THE PROVISIONS OF OSHA CONSTRUCTION STANDARD 29 CFR PART 1926 SUBPART P.
27. EXISTING MANHOLE FRAMES AND COVERS, AND VALVE BOXES AND COVERS SHALL BE ADJUSTED OR RECONSTRUCTED, IF NECESSARY, TO MATCH FINISHED GRADES.
28. ALL UTILITY RELOCATIONS AND PERMANENT UTILITY EASEMENTS SHALL BE PERFORMED AND RECORDED PER THE APPROPRIATE UTILITY COMPANY.
29. PERMANENT SEEDING AND GROUND COVERS SHALL ALSO BE PROVIDED AS DIRECTED BY THESE PLANS AND/OR COUNTY AND STATE STANDARDS.
30. REFER TO THE GEOTECHNICAL ENGINEER FOR SUBGRADE INSPECTIONS, CBR TESTS, POND EMBANKMENT DESIGN OR OTHER INSPECTIONS.
31. THE APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF FUTURE WORK.

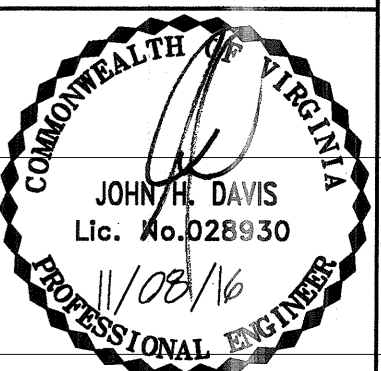
GENERAL NOTES (CONT'D):

32. A PERMIT MUST BE OBTAINED FROM THE VDOT RESIDENT ENGINEER PRIOR TO ANY CONSTRUCTION WITHIN ANY EXISTING STATE RIGHT-OF-WAY. IN ADDITION, A PAVEMENT MARKING AND SIGNAGE PLAN SHALL BE SEPARATELY APPROVED PRIOR TO PERMIT SUBMITTAL.
33. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. ALSO, A REPRESENTATIVE OF THE DEVELOPER MUST BE AVAILABLE AT ALL TIMES.
34. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN SHOULD BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
35. CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE (1) LITTER RECEPTACLE SHALL BE PROVIDED AT THE CONSTRUCTION SITE.
36. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS SCHEDULES OR FAILURE TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
37. THE OWNER SHALL BE RESPONSIBLE FOR SECURING ANY AND ALL WETLAND, LAND DISTURBANCE AND STORM WATER DISCHARGE PERMITS PRIOR TO CONSTRUCTION.
38. WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE PROPER AUTHORITY, THE TOWN OF HAYMARKET AND/OR THE ARCHITECT/ENGINEER.
39. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER, THE CONTRACTOR, OR THEIR AGENTS OF ANY LEGAL RESPONSIBILITY WHICH MAY BE REQUIRED OR IMPLIED BY THE CODE OF VIRGINIA OR ANY OTHER ORDINANCE ENACTED BY THE TOWN OF HAYMARKET OR OTHER GOVERNING BODY.
40. ANY SPRING, WELL OR OTHER WATER SOURCE DISCOVERED DURING CONSTRUCTION SHALL BE ABANDONED OR CAPPED IN PLACE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS. OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND INSPECTIONS.
41. NO PERMANENT STRUCTURES OR UNAUTHORIZED OBSTRUCTIONS SUCH AS FENCES OR TREES SHALL BE LOCATED WITHIN STORM DRAINAGE OR OTHER EASEMENTS WITHOUT PRIOR AUTHORIZATION OF THE MAINTAINING AUTHORITY.
42. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, UPKEEP AND REPAIR OF ALL STORM WATER MANAGEMENT FACILITIES AND STORM DRAINAGE FACILITIES LOCATED OUTSIDE OF PUBLIC RIGHTS OF WAY.
43. THE PROPOSED COMMERCIAL USE WILL BE SERVED BY EXISTING WATER AND SANITARY SEWER FACILITIES. ACCORDINGLY, NO NEW WATER AND/OR SANITARY SEWER FACILITIES ARE ANTICIPATED WITH THE PROPOSED SITE DEVELOPMENT.
44. THE SUBJECT PROPERTY IS WITHIN THE OLD AND HISTORIC HAYMARKET OVERLAY DISTRICT. ANY EXTERIOR BUILDING IMPROVEMENTS WILL BE SUBJECT TO THE DISTRICT ARCHITECTURAL STANDARDS AND WILL REQUIRE SUBMISSION AND APPROVAL OF A CERTIFICATE OF APPROPRIATENESS.
45. THIS USE GENERATES VERY LITTLE REFUSE AND CURB SIDE PICK-UP WILL BE UTILIZED AS THE METHOD OF REFUSE COLLECTION. A DUMPSTER WILL NOT BE REQUIRED/USED. TRASH CAN STORAGE AREA SHALL BE LOCATED INSIDE THE BUILDING. FREQUENCY OF CURB SIDE TRASH PICK-UP SHALL BE TWO (2) TIMES PER WEEK.

THE KDL GROUP LLC
 P.O. BOX 609
 HAYMARKET, VA 20186
 PHONE 703 753-7592 FAX 703 753-7593
 www.kdlgroup.com



GENERAL NOTES AND MISCELLANEOUS DETAILS
6710 MADISON STREET HAYMARKET, VA
 PRELIMINARY/FINAL SITE PLAN
 TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) N/A
 V) N/A
 DATE: MARCH 2015
 CHECKED:
 DRAWN: JHD
 FILE NO: SP-033-HW
 SHEET NO.
 4 OF 18



Tobaccology LLC
6710 Madison St
Haymarket, VA 20169

To Whom It May Concern,

The shop located in Haymarket has gotten less than 15 customers per day since we have opened. Once growth happens we are expecting no more than 25 to 30 customers per day average as that is what our other locations garner and they have been in business for almost a decade.

If there are any questions, please feel free to call me:

Brett J. Fry (Sole Owner)
703.795.3330

Thank you,

Brett J. Fry

1

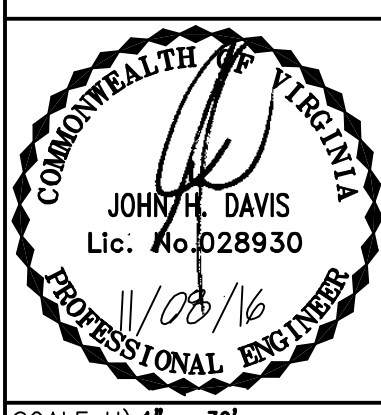


LEGEND

	Existing Contour		Existing Water Line		CG-6
	Proposed Contour		Proposed Water Line		CG-6R
	Limits of Clearing & Grading		Existing Tree Line		CG-6/BR Transition
	Existing Storm Sewer		Face of Curb		Stop Sign
	Proposed Storm Sewer		Existing Edge of Pavement		Street Sign
	Existing Sanitary Sewer		Proposed Edge of Pavement		Existing Light
	Proposed Sanitary Sewer		Existing Spot Elevation		Water Meter
	Fire Lane Sign		Proposed Spot Elevation		Fire Lane Sign
	Test Pit		Drainage Flow Arrows		Curb Cut Ramp
			Existing Stream Line		

SITE PLAN
6710 MADISON STREET HAYMARKET, VA
 PRELIMINARY/FINAL SITE PLAN

THE KDL GROUP LLC
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 HAYMARKET, VA 20169
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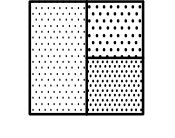


SCALE: H) 1" = 30'
 V) N/A
 DATE: MARCH 2015
 CHECKED:
 DRAWN: JHD
 FILE NO: SP-033-HAY
 SHEET NO.
 5 OF 18

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA
 Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (984 - Site Plan Review - Masonic Lodge)

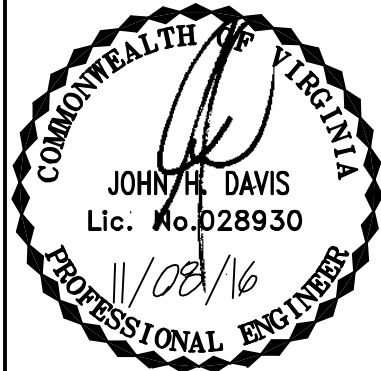
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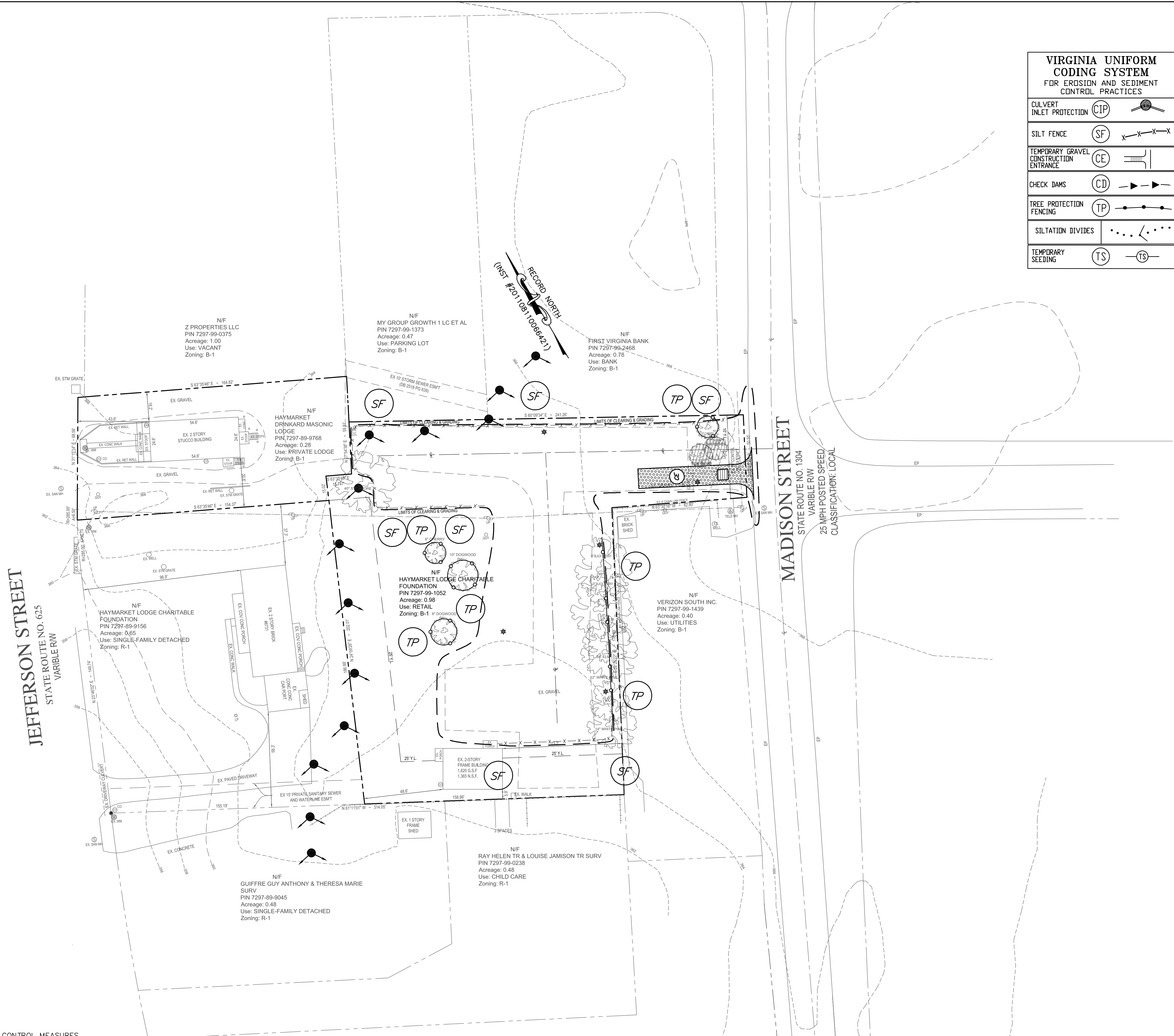
PHASE 1 - EROSION AND SEDIMENT CONTROLS PLAN
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN
TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (5984 - Site Plan Review - Masonic Lodge)



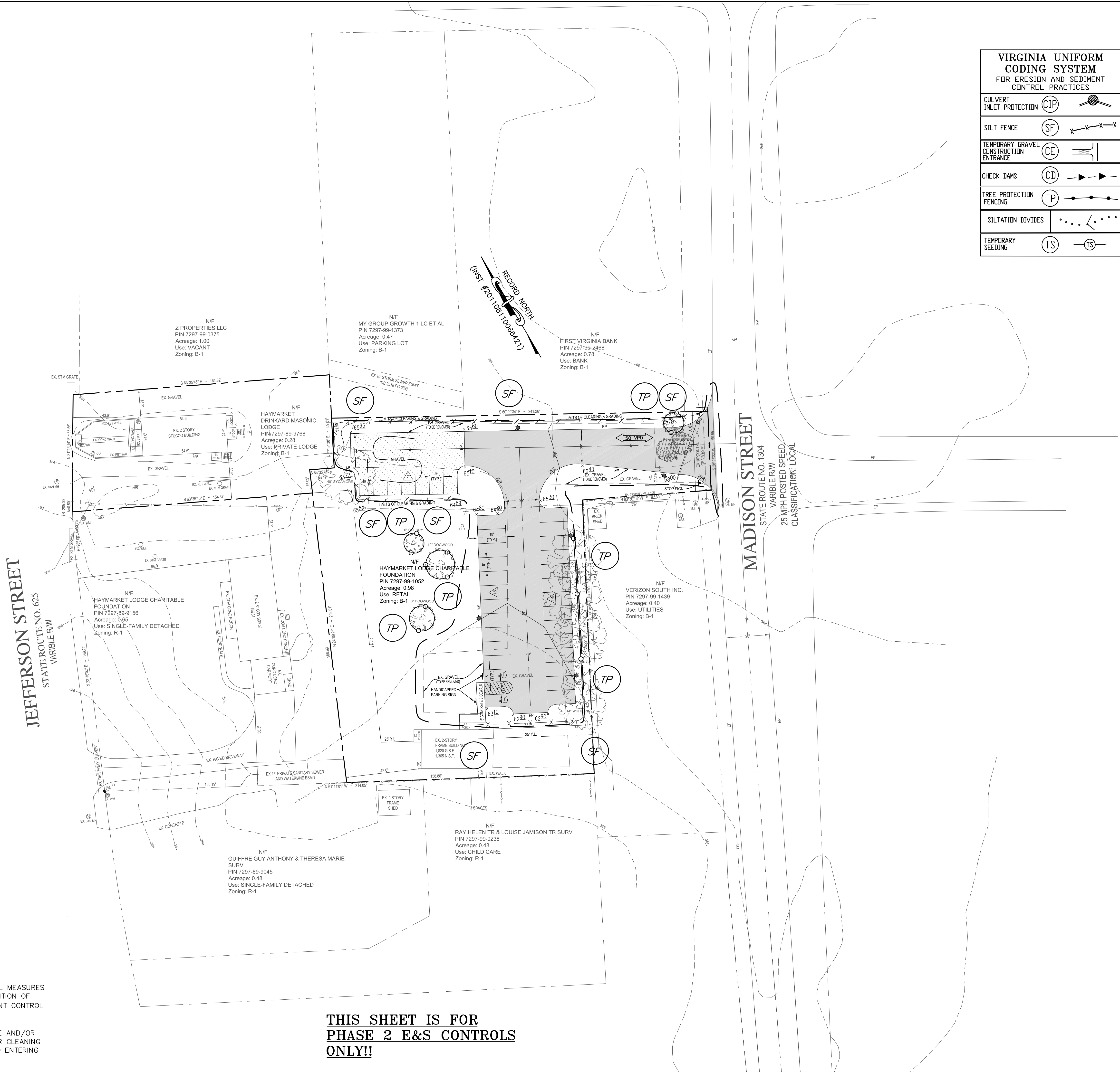
SCALE: H) 1" = 30'
V) N/A
DATE: MARCH 2015
CHECKED:
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO.
6 OF 18

VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES	
CULVERT INLET PROTECTION (CIP)	
SILT FENCE (SF)	
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE (CE)	
CHECK DAMS (CD)	
TREE PROTECTION FENCING (TP)	
SILTATION DIVIDES	
TEMPORARY SEEDING (TS)	



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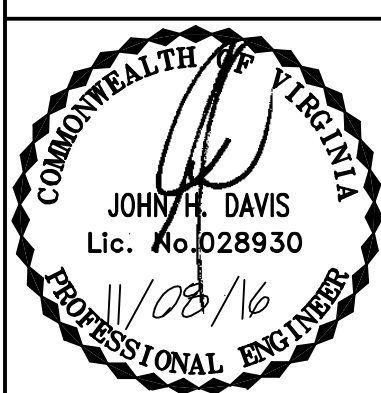
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VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES	
CULVERT INLET PROTECTION (CIP)	
SILT FENCE (SF)	
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE (CE)	
CHECK DAMS (CD)	
TREE PROTECTION FENCING (TP)	
SILTATION DIVIDES	
TEMPORARY SEEDING (TS)	

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PHASE 2 - EROSION AND SEDIMENT CONTROLS PLAN
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN
TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) 1" = 30'
V) N/A
DATE: MARCH 2015
CHECKED:
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO. 7 OF 18

EROSION/SILTATION CONTROL NARRATIVE

PROJECT DESCRIPTION:

The subject development consist of constructing a commercial entrance and private travelway and associated parking to serve the existing commercial building located at 6710 Madison Street Haymarket, VA on approximately 0.98 acres. The amount of disturbed area is approximately 0.56 acres.

EXISTING CONDITIONS:

The subject site consists of maintained open grass area with a few mature trees along the site perimeter. The existing topography varies from 0%–5% along the entire portion of the site.

The subject site has one (1) point of roadway access – Existing Madison Street.

ADJACENT AREAS:

- To the north – existing commercial.
- To the south – existing pre-school (home based).
- To the east – existing commercial.
- To the west – existing single-family residential.

OFFSITE AREAS:

This plan proposes no offsite roadway improvements.

SOILS:

See the "Cover Sheet" for soils types within this site.

CRITICAL AREA:

The critical areas associated with this construction focus around installing and maintaining the perimeter erosion and sediment controls. The existing adjacent residential properties shall be protected from sediment runoff.

LAND CONSERVATION PROGRAM

- No disturbed area shall be denuded for more than 14 days.
- Cut and fill slopes shall be grade at a maximum slope of 2:1 (3:1 desired).
- No more than 500 feet of trench will be open at any one time.
- Where stream crossings are required for equipment, temporary culverts will be provided.
- Siltation control will be exercised through the installation of a temporary construction entrance, temporary silt fence, and temporary inlet protection.
- Where consistent with job safety requirements, all excavated material is to be placed on the uphill side of trenches. No material is to be placed in the stream beds. Where spoil is placed on the downhill sides of the trench, it is to be back sloped to drain toward the trench. When necessary to dewater the trench, the pump discharge hose must outlet in a stabilized area or a sediment trap.
- Denuded areas will be stabilized within seven (7) days after final grade.
- Denuded areas will be stabilized within seven (7) days if they are to be left idle for more than fourteen (14) days.

EROSION/SILTATION CONTROL MEASURES:

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices shall be constructed and maintained according to minimum standards and specifications of the latest Virginia Erosion and Sediment Control Handbook (VESCH). The minimum standards of the VESCH shall be adhered to unless otherwise waived or approved by a variance.

STRUCTURAL PRACTICES

- TEMPORARY CONSTRUCTION ENTRANCE – 3.02**
One (1) temporary construction entrance with a wash rack shall be installed along Ex. Bleight Drive. During muddy conditions, driver of construction vehicles will be required to wash their wheels before entering the highway.
- SILT FENCE BARRIER – 3.05**
Silt fence sediment barriers will be installed downslope of areas with minimal grades to filter sediment-laden runoff from sheet flow.
- TREE PRESERVATION AND PROTECTION – 3.38**
Tree protection fence shall be installed around existing desirable trees in order to protect the trees from mechanical and other injury during land disturbing and construction activity.

SEQUENCE OF CONSTRUCTION CONSTRUCTION

The Phase 1 Erosion/Siltation Controls shall be installed followed by the Phase 2 Erosion/Siltation Controls.

PHASE 1

The first phase of construction shall be the placement of the construction entrance and perimeter controls as shown on the Phase 1 Erosion/Siltation Controls Plan. These controls include the proposed construction entrance and silt fencing. The minimum amount of disturbance possible to properly construct these measures is to be done at this time.

All vehicles entering and leaving this site must do so via the proposed construction entrance shown on the Phase 1 Erosion/Siltation Controls Plan. A wash rack is to be installed within the construction entrance and water is to be provided so that the contractor can wash mud and debris from vehicles prior to leaving the site. All wash water shall be directed toward the onsite control devices.

Once the construction entrance and perimeter controls have been constructed and approval of these devices has been obtained from the Town Inspector, clearing and rough grading of the remainder of the site may proceed. The grading operations shall initially focus on the areas of the subject site on which fills are required.

PHASE 2

The site may be final graded and the utilities may be installed while maintaining the sediment trapping devices. During grading, stormwater must remain directed toward the existing Phase 1 sediment trapping devices until the latest possible time. The Phase 2 erosion control measures (as shown on the Phase 2 Erosion/Siltation Controls Plan) should be installed as the grading and utility construction proceeds.

Only after the Town Inspector has granted approval for such, may the sediment trapping devices be removed. Once construction is complete and grass is established throughout, all erosion control measures may be removed (as permitted by the Town Inspector) and those areas final graded, seeded and mulched. Any trapped silt shall be disposed of in accordance with Town of Haymarket, Virginia and Federal regulations.

MAINTENANCE PROGRAM

All measures are to be inspected daily by the site superintendent or his representative. Any damaged structures are to be repaired by the close of the day. Any trapped silt shall be disposed of in accordance with Town of Haymarket, Virginia and Federal regulations. If ponding occurs at any filtering device, the device should be drained in such a way as to prevent accidental discharge of trapped sediments.

Any stabilized area is to be reseeded as required to ensure a full, uniform ground cover. In addition, the seeded areas are to be mowed, limed and fertilized as recommended for the specific type of cover provided.

All culverts will be cleared of silt and debris. Downstream receiving channels and swales will be inspected weekly for erosion and sediments and repaired as necessary.

Silt fence to be cleaned when trapped silt reaches half the height of silt fence.

Mud tracked onto the existing roadways will be removed daily. The contractor is to sweep clean the road surfaces and follow up with a flush if necessary.

The removal of any erosion and sediment control measure will only be done at the direction of the Town Inspector.

TEMPORARY STABILIZATION

Temporary stabilization is to be applied to denuded areas within seven days to denuded areas that may not be at final grade but will remain dormant (unused) for longer than 14 days. Temporary stabilization shall consist of seeding in accordance with specification 3.31 of the Virginia Erosion and Sediment Control Handbook. Prior to the application of the temporary seeding, all slopes are to be "roughened" in accordance with Specification 3.29 of the Virginia Erosion and Sediment Control Handbook. This specification requires that shallow grooves or steps be cut into the slope in order that the permanent stabilization will be better able to become established.

PERMANENT STABILIZATION

Once the site has been graded out as shown on the grading plan, the entire disturbed area is to be permanently seeded in accordance with Specification 3.32 of the Virginia Erosion and Sediment Control Handbook. Prior to the application of the permanent seeding, all slopes are to be "roughened" in accordance with Specification 3.29 of the Virginia Erosion and Sediment Control Handbook. This specification requires that shallow grooves or steps be cut into the slope in order that the permanent stabilization will be better able to become established.

STORMWATER MANAGEMENT

Stormwater Management and BMP's for the subject site are provided with the existence of an adequate outfall and the purchase of nutrient credits from an approved Nutrient Credit Bank to satisfy the phosphorus removal requirements generated by the subject development.

ADEQUATE OUTFALL

The subject site generally drains from north to south in a sheet flow condition. Additionally, the existing and post-developed surface runoff exit the subject site as sheet flow. As seen in the WRRM Spreadsheets calculations found on sheet 12, the proposed impervious cover (0.37 ac) is less than the existing impervious cover (0.39 ac). Since the surface runoff follows a similar time of concentration flow path in both the existing and post-developed conditions, the proposed development actually generates less surface runoff in the post-developed condition. Therefore, an adequate outfall is said to exist for the subject site.

NOTES

- The Town Inspector shall have the authority to add or delete erosion and sediment controls as needed in the field, as site conditions warrant. In addition, no sediment traps may be removed without prior approval from the Town Inspector.
- Stabilization measures will be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- During construction of the project, soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site.
- Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume, or slope drain structure.
- Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - No more than 500 linear feet of trench may be opened at one time.
 - Excavated material shall be placed on the uphill side of trenches.
 - Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or offsite property.
 - Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - Restabilization shall be accomplished in accordance with these regulations.
 - Applicable safety regulations shall be complied with.

9VAC25-840-40. Minimum standards.

A VESCP must be consistent with the following criteria, techniques and methods:

- Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- During construction of the project, soil stock piles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site.
- A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive and will inhibit erosion.
- Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-disturbing activity and shall be made functional before upslope land disturbance takes place.
- Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- Sediment traps and sediment basins shall be designed and constructed based upon the total drainage area to be served by the trap or basin.
 - The minimum storage capacity of a sediment trap shall be 134 cubic yards per acre of drainage area and the trap shall only control drainage areas less than three acres.
 - Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The minimum storage capacity of a sediment basin shall be 134 cubic yards per acre of drainage area. The outfall system shall, at a minimum, maintain the structural integrity of the basin during a 25-year storm of 24-hour duration. Runoff coefficients used in runoff calculations shall correspond to a bare earth condition or those conditions expected to exist while the sediment basin is utilized.
- Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
- Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
- All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.

relocation projects that incorporate natural channel design concepts are not man-made channels and shall be exempt from any flow rate capacity and velocity requirements for natural or man-made channels:

- Concentrated stormwater runoff leaving a development site shall be discharged directly into an adequate natural or man-made receiving channel, pipe or storm sewer system. For those sites where runoff is discharged into a pipe or pipe system, downstream stability analyses at the outfall of the pipe or pipe system shall be performed.
- Adequacy of all channels and pipes shall be verified in the following manner:
 - The applicant shall demonstrate that the total drainage area to the point of analysis within the channel is one hundred times greater than the contributing drainage area of the project in question; or
 - (a) Natural channels shall be analyzed by the use of a two-year storm to verify that stormwater will not overtop channel banks nor cause erosion of channel bed or banks.
 - (b) All previously constructed man-made channels shall be analyzed by the use of a 10-year storm to verify that stormwater will not overtop its banks and by the use of a two-year storm to demonstrate that stormwater will not cause erosion of channel bed or banks; and
 - (c) Pipes and storm sewer systems shall be analyzed by the use of a 10-year storm to verify that stormwater will be contained within the pipe or system.
- If existing natural receiving channels or previously constructed man-made channels or pipes are not adequate, the applicant shall:
 - Improve the channels to a condition where a 10-year storm will not overtop the banks and a two-year storm will not cause erosion to the channel, the bed, or the banks; or
 - Improve the pipe or pipe system to a condition where the 10-year storm is contained within the appurtenances;
 - Develop a site design that will not cause the pre-development peak runoff rate from a two-year storm to increase when runoff outfalls into a natural channel or will not cause the pre-development peak runoff rate from a 10-year storm to increase when runoff outfalls into a man-made channel; or
 - Provide a combination of channel improvement, stormwater detention or other measures which is satisfactory to the VESCP authority to prevent downstream erosion.
- The applicant shall provide evidence of permission to make the improvements.
- All hydrologic analyses shall be based on the existing watershed characteristics and the ultimate development condition of the subject project.
- If the applicant chooses an option that includes stormwater detention, he shall obtain approval from the VESCP of a plan for maintenance of the detention facilities. The plan shall set forth the maintenance requirements of the facility and the person responsible for performing the maintenance.
- Outfall from a detention facility shall be discharged to a receiving channel, and energy dissipators shall be placed at the outfall of all detention facilities as necessary to provide a stabilized transition from the facility to the receiving channel.
- All on-site channels must be verified to be adequate.

- Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
- When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.
- When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular stream crossing constructed of nonerodible material shall be provided.
- All applicable federal, state and local requirements pertaining to working in or crossing live watercourses shall be met.
- The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - No more than 500 linear feet of trench may be opened at one time.
 - Excavated material shall be placed on the uphill side of trenches.
 - Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
 - Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - Restabilization shall be accomplished in accordance with this chapter.
 - Applicable safety requirements shall be complied with.
- Where construction vehicle access routes intersect paved or public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking onto the paved surface. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual development lots as well as to larger land-disturbing activities.
- All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the VESCP authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.
- Properties and waterways downstream from development sites shall be protected from sediment deposition, erosion and damage due to increases in volume, velocity and peak flow rate of stormwater runoff for the stated frequency storm of 24-hour duration in accordance with the following standards and criteria. Stream restoration and

- Increased volumes of sheet flows that may cause erosion or sedimentation on adjacent property shall be diverted to a stable outlet, adequate channel, pipe or pipe system, or to a detention facility.
- In applying these stormwater management criteria, individual lots or parcels in a residential, commercial or industrial development shall not be considered to be separate development projects. Instead, the development, as a whole, shall be considered to be a single development project. Hydrologic parameters that reflect the ultimate development condition shall be used in all engineering calculations.
- All measures used to protect properties and waterways shall be employed in a manner which minimizes impacts on the physical, chemical and biological integrity of rivers, streams and other waters of the state.
- Any plan approved prior to July 1, 2014, that provides for stormwater management that addresses any flow rate capacity and velocity requirements for natural or man-made channels shall satisfy the flow rate capacity and velocity requirements for natural or man-made channels if the practices are designed to (i) detain the water quality volume and to release it over 48 hours; (ii) detain and release over a 24-hour period the expected rainfall resulting from the one year, 24-hour storm; and (iii) reduce the allowable peak flow rate resulting from the 1.5, 2, and 10-year, 24-hour storms to a level that is less than or equal to the peak flow rate from the site assuming it was in a good forested condition, achieved through multiplication of the forested peak flow rate by a reduction factor that is equal to the runoff volume from the site when it was in a good forested condition divided by the runoff volume from the site in its proposed condition, and shall be exempt from any flow rate capacity and velocity requirements for natural or man-made channels as defined in any regulations promulgated pursuant to § 62.1-44.15-24 or 62.1-44.15-65 of the Act.
- For plans approved on and after July 1, 2014, the flow rate capacity and velocity requirements of § 62.1-44.15-32 A of the Act and this subsection shall be satisfied by compliance with water quantity requirements in the Stormwater Management Act (§ 62.1-44.15-24 et seq. of the Code of Virginia) and attendant regulations, unless such land-disturbing activities are in accordance with 9VAC25-870-48 of the Virginia Stormwater Management Program (VSMP) Regulation or are exempt pursuant to subdivision C 7 of § 62.1-44.15-34 of the Act.
- Compliance with the water quantity minimum standards set out in 9VAC25-870-66 of the Virginia Stormwater Management Program (VSMP) Regulation shall be deemed to satisfy the requirements of this subdivision 19.

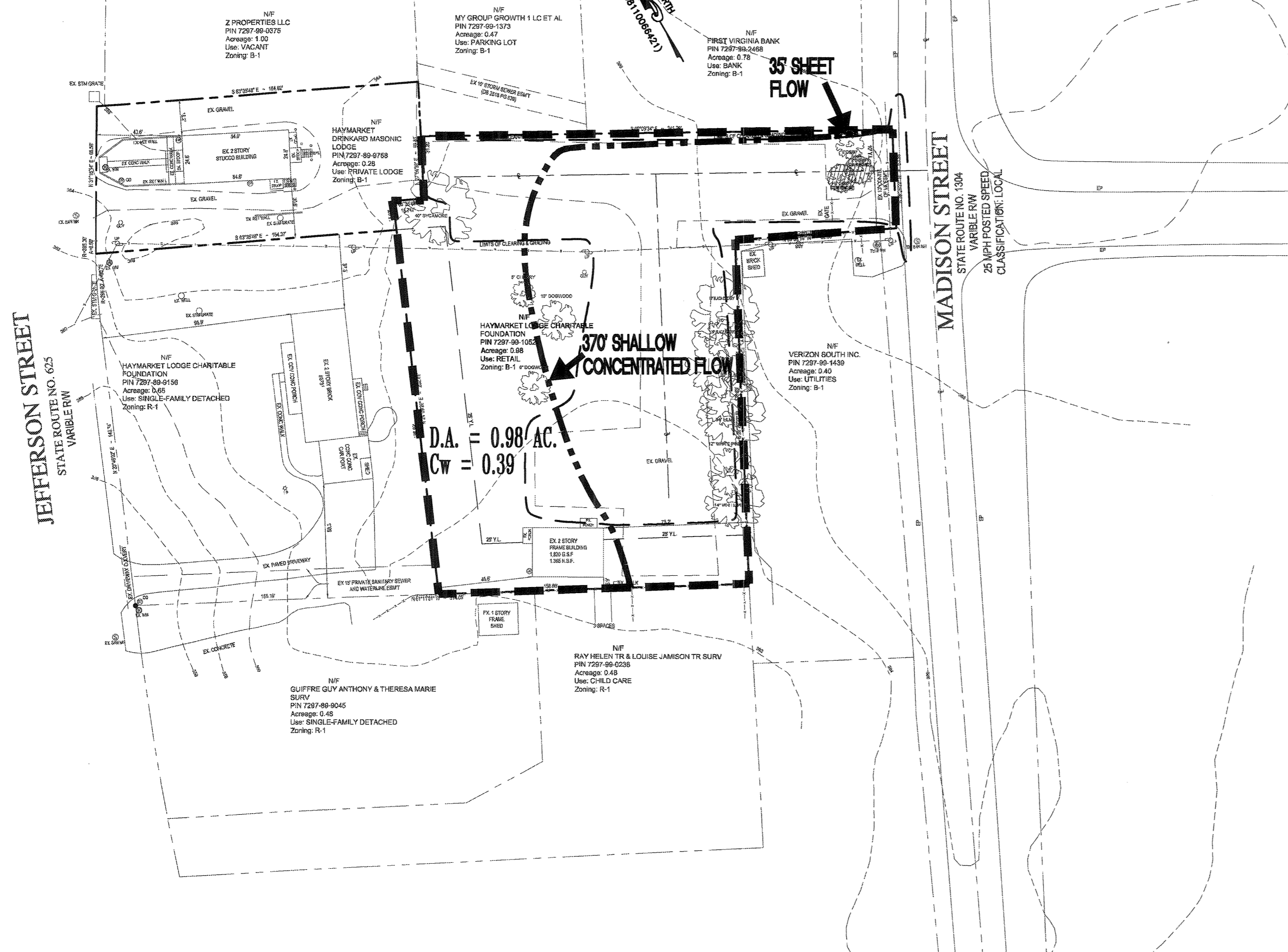
THE KDL GROUP LLC
 P.O. BOX 609
 HAYMARKET, VA 20188
 PHONE 703 763-7692 FAX 703 763-7693
 www.kdlgroup.com

EROSION AND SEDIMENT CONTROLS NARRATIVE
6710 MADISON STREET HAYMARKET, VA
 PRELIMINARY/FINAL SITE PLAN
 TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

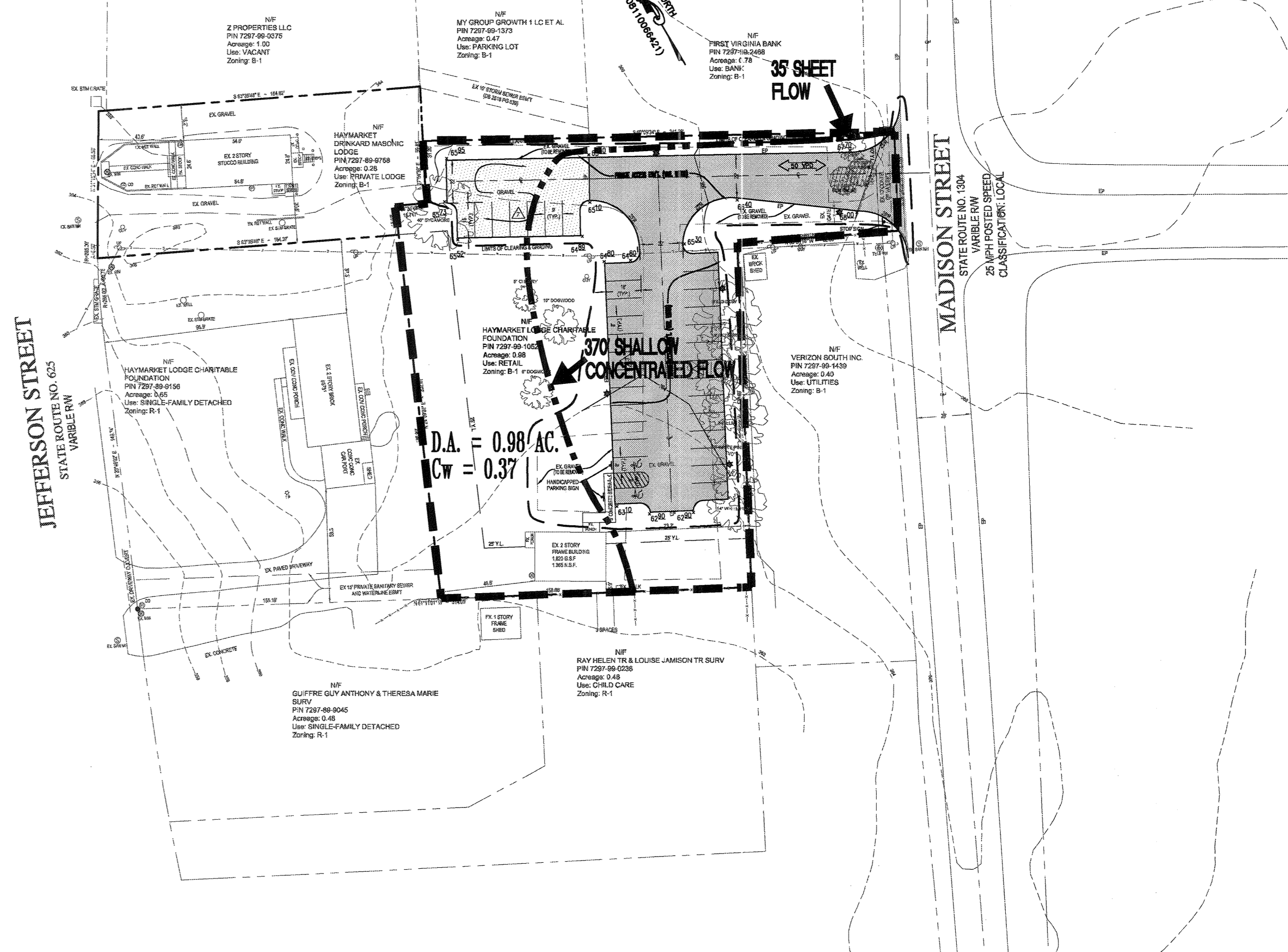
SCALE: H) N/A
V) N/A
DATE: MARCH 2015
CHECKED:
DRAWN: JHD
FILE NO: SP-033-HW
SHEET NO.
8 OF 18

DWG PATH: S:\PROJECTS\HAYMARKET MASONIC LODGE\ENG\SITE PLAN\DELIVERABLES\08-ES NARRATIVE.dwg

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (9884 - Site Plan Review - Masonic Lodge)



SWM EXISTING DIVIDES MAP
SCALE: 1" = 50'



SWM DEVELOPED DIVIDES MAP
SCALE: 1" = 50'

**6710 MADISON STREET HAYMARKET, VA
SWM NARRATIVE**

The proposed development consists of constructing a commercial entrance and private travelway and associated parking to serve the existing commercial building located at 6710 Madison Street Haymarket, VA on approximately 0.98 acres.

The pre-developed and post-developed drainage sheds have been analyzed using the TR-20 routing method to determine the runoff rates leaving the site during the 2-year and 10-year storm events (see routing output - sheet 11). As can be seen in the TR-20 routing output and the summary results below, the proposed flows from the subject site are less than the corresponding flows in the existing condition. This is primarily due to the removal of portions of the existing impervious areas in the developed condition resulting in a reduction of the weighted runoff coefficient.

A summary of the pre-developed and post-developed flows are as follows:

Pre-developed discharges leaving the site:

2-year	1.31 cfs
10-year	1.66 cfs

Developed discharges leaving the site:

2-year	1.29 cfs
10-year	1.63 cfs

As can be seen above, the total developed discharge rates leaving the site in the post-developed condition are less than the corresponding pre-developed runoff rates. Therefore, adequate storm water management has been provided and an adequate outfall exists for this project.

SWM COMPUTATIONS

IMPERVIOUS AREA SUMMARY

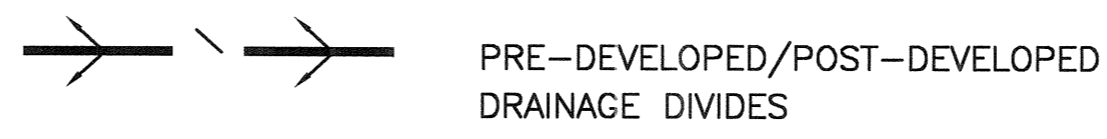
EXISTING DRAINAGE AREA = 42,815 SF = 0.9829 AC		PROPOSED DRAINAGE AREA = 42,815 SF = 0.9829 AC	
EXISTING CONDITION			
EX. BUILDING	992 SF		
EX. GRAVEL	16,120 SF		
EX. TOTAL IMP. AREA	17,112 SF (0.3928 AC)		
PROPOSED CONDITION			
EX. BUILDING	992 SF	992 SF	
PROPOSED GRAVEL	2,733 SF	2,733 SF	
PROPOSED ASPHALT	12,292 SF	12,292 SF	
PROP. CONC. WALK	190 SF	190 SF	
PROP. TOTAL IMP. AREA	16,207 SF (0.3721 AC)	16,207 SF (0.3721 AC)	

'C' RUNOFF COEFFICIENT

PRE-DEVELOPMENT
 $C_{PRE} = \frac{(0.90)(0.3928) + (0.30)(0.5901)}{0.9829}$
 = 0.54

POST-DEVELOPMENT
 $C_{POST} = \frac{(0.90)(0.3721) + (0.30)(0.6108)}{0.9829}$
 = 0.53

LEGEND



THE KDL GROUP LLC
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STORMWATER MANAGEMENT COMPUTATIONS
6710 MADISON STREET HAYMARKET, VA
 PRELIMINARY/FINAL SITE PLAN
 TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

Attachment: 02 - Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (5984 - Site Plan Review - Masonic Lodge)

SCALE: H) N/A
 V) N/A
 DATE: MARCH 2015
 CHECKED:
 DRAWN: JHD
 FILE NO: SP-033-HAY
 SHEET NO.
 10 OF 18

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6710 MADISON STREET HAYMARKET VA (EXIST) Rainfall Duration=5 min, Inten=5.75 in/hr
Prepared by Microsoft Printed 4/29/2016
HydroCAD® 9.10 s/n 09515 © 2010 HydroCAD Software Solutions LLC

Summary for Subcatchment 4S: EXISTING

Runoff = 1.31 cfs @ 0.08 hrs, Volume= 0.009 af, Depth= 0.11"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=5 min, Inten=5.75 in/hr

Area (ac)	C	Description			
0.983	0.54	Weighted C			
0.983		100.00% Pervious Area			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	35	0.0255	0.15		Sheet Flow, Sheet Flow Grass: Short n= 0.150 P2= 3.10"
7.4	370	0.0141	0.83		Shallow Concentrated Flow, Shallow Concentrated Flow Short Grass Pasture Kv= 7.0 fps
11.3	405				Total

6710 MADISON STREET HAYMARKET VA (EXIST) Rainfall Duration=5 min, Inten=7.27 in/hr
Prepared by Microsoft Printed 4/29/2016
HydroCAD® 9.10 s/n 09515 © 2010 HydroCAD Software Solutions LLC

Summary for Subcatchment 4S: EXISTING

Runoff = 1.69 cfs @ 0.08 hrs, Volume= 0.012 af, Depth= 0.14"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=5 min, Inten=7.27 in/hr

Area (ac)	C	Description			
0.983	0.54	Weighted C			
0.983		100.00% Pervious Area			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	35	0.0255	0.15		Sheet Flow, Sheet Flow Grass: Short n= 0.150 P2= 3.10"
7.4	370	0.0141	0.83		Shallow Concentrated Flow, Shallow Concentrated Flow Short Grass Pasture Kv= 7.0 fps
11.3	405				Total

6710 MADISON STREET HAYMARKET VA (DEVEL) Rainfall Duration=5 min, Inten=5.75 in/hr
Prepared by Microsoft Printed 4/29/2016
HydroCAD® 9.10 s/n 09515 © 2010 HydroCAD Software Solutions LLC

Summary for Subcatchment 4S: PROPOSED - DEVELOPED

Runoff = 1.29 cfs @ 0.08 hrs, Volume= 0.009 af, Depth= 0.11"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=5 min, Inten=5.75 in/hr

Area (ac)	C	Description			
0.983	0.53	Weighted C			
0.983		100.00% Pervious Area			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	35	0.0255	0.15		Sheet Flow, Sheet Flow Grass: Short n= 0.150 P2= 3.10"
7.4	370	0.0141	0.83		Shallow Concentrated Flow, Shallow Concentrated Flow Short Grass Pasture Kv= 7.0 fps
11.3	405				Total

6710 MADISON STREET HAYMARKET VA (DEVEL) Rainfall Duration=5 min, Inten=7.27 in/hr
Prepared by Microsoft Printed 4/29/2016
HydroCAD® 9.10 s/n 09515 © 2010 HydroCAD Software Solutions LLC

Summary for Subcatchment 4S: PROPOSED - DEVELOPED

Runoff = 1.63 cfs @ 0.08 hrs, Volume= 0.012 af, Depth= 0.14"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Rainfall Duration=5 min, Inten=7.27 in/hr

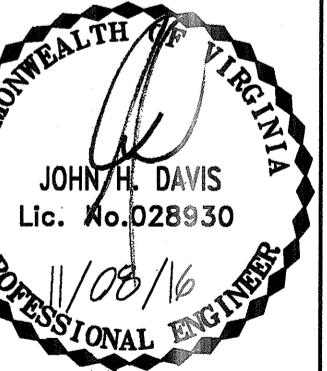
Area (ac)	C	Description			
0.983	0.53	Weighted C			
0.983		100.00% Pervious Area			
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.9	35	0.0255	0.15		Sheet Flow, Sheet Flow Grass: Short n= 0.150 P2= 3.10"
7.4	370	0.0141	0.83		Shallow Concentrated Flow, Shallow Concentrated Flow Short Grass Pasture Kv= 7.0 fps
11.3	405				Total

DWG PATH: S:\PROJECTS\HAYMARKET MASONIC LODGE\ANG\SITE PLAN\DELIVERABLES\11-SHW2.dwg

STORMWATER MANAGEMENT COMPUTATIONS
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

THE KDL GROUP LLC
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SCALE: H) N/A
V) N/A
DATE: MARCH 2015
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FILE NO: SP-033-HAY
SHEET NO.

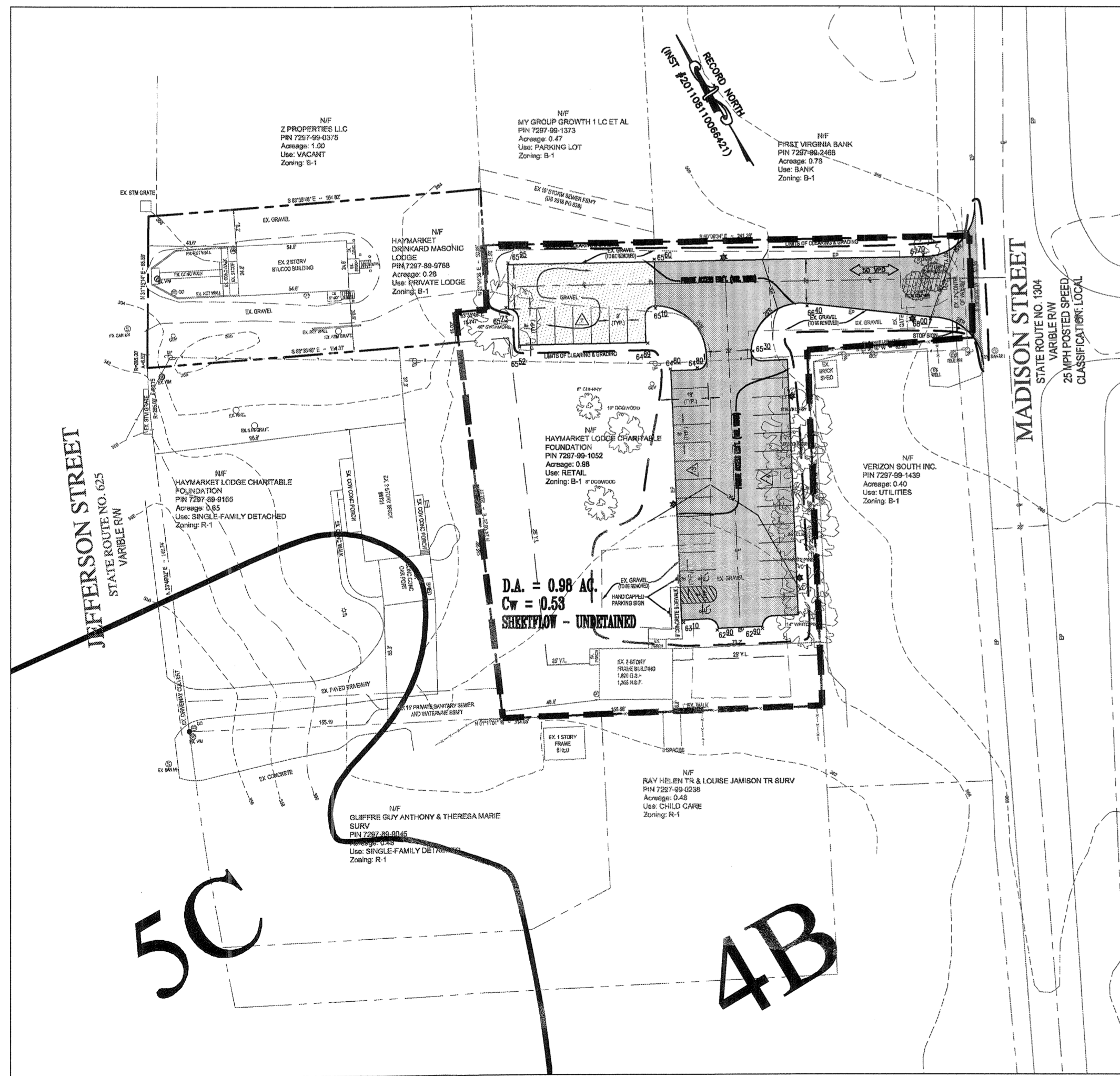
11 OF 18

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (9984 - Site Plan Review - Masonic Lodge)

BMP COMPUTATIONS

IMPERVIOUS AREA SUMMARY

EXISTING DRAINAGE AREA = 42,815 SF = 0.9829 AC		PROPOSED DRAINAGE AREA = 42,815 SF = 0.9829 AC	
EXISTING CONDITION		PROPOSED CONDITION	
EX BUILDING	992 SF	EX. BUILDING	992 SF
EX. GRAVEL	16,120 SF	PROPOSED GRAVEL	2,733 SF
EX. TOTAL IMP. AREA	17,112 SF (0.3928 AC)	PROPOSED ASPHALT	12,292 SF
		PROP. CONC. WALK	190 SF
		PROP. TOTAL IMP. AREA	16,207 SF (0.3721 AC)



BMP DIVIDES MAP

SCALE: 1" = 50'

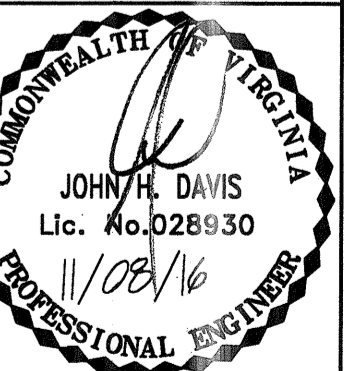
Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014
To be used w/ 2011 BMP Standards and Specifications

Site Data		Project Name: 6710 MADISON STREET HAYMARKET, VA		Date: APRIL 28, 2015							
	data input cells	calculation cells	constant values								
Post-ReDevelopment Project & Land Cover Information		Total Disturbed Acreage		0.53							
Constants											
Annual Rainfall (inches)	43										
Target Rainfall Event (inches)	1.00										
Phosphorus EMC (mg/L)	0.26	Nitrogen EMC (mg/L)	1.86								
Target Phosphorus Target Load (lb/acre/yr)	0.41										
P	0.90										
Pre-ReDevelopment Land Cover (acres)											
	A soils	B Soils	C Soils	D Soils	Totals						
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00						
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.59	0.00	0.00	0.59						
Impervious Cover (acres)	0.00	0.38	0.00	0.00	0.38						
	Total				0.97						
Post-ReDevelopment Land Cover (acres)											
	A soils	B Soils	C Soils	D Soils	Totals						
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00						
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.61	0.00	0.00	0.61						
Impervious Cover (acres)	0.00	0.37	0.00	0.00	0.37						
	Total				0.98						
Area Check	Okay	Okay	Okay	Okay							
Rv Coefficients											
	A soils	B Soils	C Soils	D Soils							
Forest/Open Space	0.02	0.03	0.04	0.05							
Managed Turf	0.15	0.20	0.22	0.25							
Impervious Cover	0.95	0.95	0.95	0.95							
Land Cover Summary											
	Listed	Adjusted ¹									
Pre-ReDevelopment			Post-ReDevelopment								
Forest/Open Space Cover (acres)	0.00	0.00	Forest/Open Space Cover (acres)	0.00							
Composite Rv(forest)	0.00	0.00	Composite Rv(forest)	0.00							
% Forest	0%	0%	% Forest	0%							
Managed Turf Cover (acres)	0.59	0.59	Managed Turf Cover (acres)	0.61							
Composite Rv(turf)	0.20	0.20	Composite Rv(turf)	0.20							
% Managed Turf	60%	60%	% Managed Turf	62%							
Impervious Cover (acres)	0.39	0.39	ReDev Impervious Cover (acres)	0.37							
Rv(impervious)	0.95	0.95	Rv(impervious)	0.95							
% Impervious	40%	40%	% Impervious	38%							
Total Site Area (acres)	0.98	0.98	Total ReDev. Site Area (acres)	0.98							
Site Rv	0.50	0.50	ReDev. Site Rv	0.48							
Pre-Development Treatment Volume (acre-ft)			Post-Development Treatment Volume (acre-ft)								
	0.0407	0.0407		0.0000							
Pre-Development Treatment Volume (cubic feet)			Post-Development Treatment Volume (cubic feet)								
	1,773	1,773		0							
Pre-Development Load (TP) (lb/yr)			Post-Development Load (TP) (lb/yr)								
	1.11	1.11		0.00							
<table border="1"> <tr> <td>Maximum % Reduction Required Below Pre-ReDevelopment Load</td> <td>10%</td> </tr> <tr> <td>TP Load Reduction Required for ReDeveloped Area (lb/yr)</td> <td>0.08</td> </tr> <tr> <td>Total Load Reduction Required (lb/yr)</td> <td>0.08</td> </tr> </table>						Maximum % Reduction Required Below Pre-ReDevelopment Load	10%	TP Load Reduction Required for ReDeveloped Area (lb/yr)	0.08	Total Load Reduction Required (lb/yr)	0.08
Maximum % Reduction Required Below Pre-ReDevelopment Load	10%										
TP Load Reduction Required for ReDeveloped Area (lb/yr)	0.08										
Total Load Reduction Required (lb/yr)	0.08										
Pre-Development Load (TN) (lb/yr)			Post-Development Load (TN) (lb/yr)								
	7.97			7.73							

¹Adjusted Land Cover Summary reflects the pre redevelopment land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post Redevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column I.

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BEST MANAGEMENT PRACTICES COMPUTATIONS
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN
TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) N/A
V) N/A
DATE: MARCH 2015
CHECKED:
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FILE NO: SP-033-HAY
SHEET NO.
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Site Results	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
IMPERVIOUS COVER	0.00	0.00	0.00	0.00	0.00	OK
IMPERVIOUS COVER TREATED	0.00	0.00	0.00	0.00	0.00	OK
TURF AREA	0.00	0.00	0.00	0.00	0.00	OK
TURF AREA TREATED	0.00	0.00	0.00	0.00	0.00	OK
AREA CHECK	OK	OK	OK	OK	OK	
Phosphorous						
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.08					
RUNOFF REDUCTION (cf)	0					
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	0.00					
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	1.08					
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	0.08					
Nitrogen (for information purposes)						
RUNOFF REDUCTION (cf)	0					
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR)	0.00					
ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TP) (lb/yr)	7.73					

**6710 Madison Street Haymarket, VA
BMP Narrative**

Overall water quality (BMP) for the 6710 Madison Street Haymarket, VA site has been calculated using the Virginia Runoff Reduction Method ReDevelopment Worksheet – v2.8 – June 2014 and based on the 2011 Virginia BMP Standards and Specifications. The on-site impervious calculations found on sheets 11 and 14 have been computed for the existing and proposed impervious areas as shown on the BMP Divides Plan (see sheet 14). Using this information, the required rate of phosphorous removal has been computed using the Virginia Runoff Reduction Method ReDevelopment Worksheet – v2.8 – June 2014 as provided on sheets 14 and 15.

Based on the results of the Virginia Runoff Reduction Method ReDevelopment Worksheet – v2.8 – June 2014 calculations for the 6710 Madison Street Haymarket, VA site, the applicant will purchase nutrient credits from an approved Virginia Nutrient Offset Credit Facility in lieu of satisfying the required phosphorous removal requirements (0.08 lbs/yr) on-site through BMP structural measures. Upon completion of the purchase of the required nutrient credits, the overall water quality (BMP) requirements for this site will have been met.

Although credit has not been taken, the proposed site design incorporates sheetflow to conservation area techniques across the preserved turf areas and proposed landscape buffers located along the downstream perimeter of the subject property.

Red Hill Farm Nutrient Bank
909 Fairway Drive, NE
Vienna, Va. 22180

Date: July 25, 2016

To: James Kraut
Haymarket Lodge Charitable Foundation
P.O. Box 313
Haymarket, Va. 20168-0313

From: Gary M. Callen
Authorized Nutrient Offset Broker


Subject: Potomac Watershed- Nutrient Credit Availability

Project Reference: 6710 Madison Street, Haymarket, Va.

This letter is to confirm that Gary and Debra Callen own the Red Hill Farm Nutrient Bank and that the authorized representative and broker is Gary M. Callen. In addition, the Red Hill Farm Nutrient bank is operating in compliance with applicable federal and state permits, laws, and regulations and is in good regulatory standing.

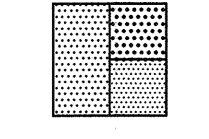
This also confirms that the Red Hill Farm Nutrient Bank has met all authorizations and approvals by DEC as well as all other regulatory agencies and nothing more is required. Please accept this as confirmation of the availability of 0.08 authorized nutrient credits ("Nutrient Credits") from Red Hill Farm Nutrient Bank facility for use by permit applicants within the Potomac watershed, including HUC 02070008, to compensate for nutrient loadings in excess of state or local regulations, as per Virginia Code § 62.1-44.15:35 and § 62.1-44.19:14 and Virginia Administrative Code 9 VAC 25-820-10 et seq. These Nutrient Credits are generated and managed under the terms of the Banking Instruments known as the Red Hill Farm Nutrient Bank Nutrient Reduction Implementation Plan ("NRIIP").

Please feel free to contact me if you have any questions.

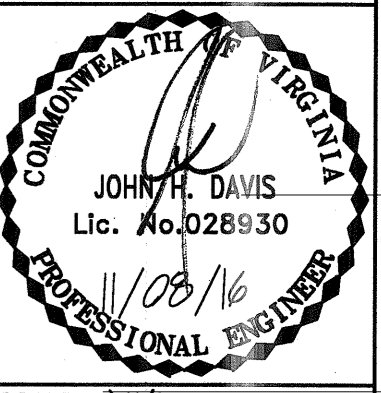
Sincerely,

Gary M. Callen
Authorized Nutrient Offset Broker
gary.callen@dashon.com
703 346 8206

NOTE:
DOCUMENTATION OF THE PURCHASE OF REQUIRED NUTRIENT CREDITS SHALL BE PROVIDED BY THE APPLICANT WHEN POSTING BONDS FOR CONSTRUCTION.

THE KDL GROUP LLC
P.O. BOX 809
HAYMARKET, VA 20168
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www.kdlgroup.com

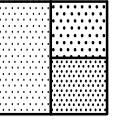


6710 MADISON STREET HAYMARKET, VA
 PRELIMINARY/FINAL SITE PLAN
 BEST MANAGEMENT PRACTICES COMPUTATIONS
 TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) N/A
V) N/A
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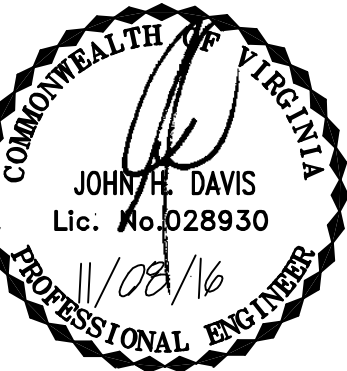
LANDSCAPE PLAN

6710 MADISON STREET HAYMARKET, VA

PRELIMINARY/FINAL SITE PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (5984 - Site Plan Review - Masonic Lodge)



SCALE: H) 1" = 30'
V) N/A
DATE: MARCH 2015
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FILE NO: SP-033-HAY
SHEET NO.
14 OF 18



THIS SHEET FOR LANDSCAPE PURPOSES ONLY! NOT FOR CONSTRUCTION!

NOTE:
PROPOSED LANDSCAPE PLANTINGS TO BE MAINTAINED BY THE OWNER.

LANDSCAPE CALCULATIONS

BUFFER CALCULATIONS

TYPE SC SCREEN (25' WIDE BUFFER YARD)

ALONG SIDE PROPERTY LINE WITH PIN 7297-99-0238 AND PIN 7297-89-9045

TYPE OF PLANTING	ALT. 2	AREA (S.F.)	REQ'D PLANTINGS	PROV. PLANTINGS
CANOPY	1/500 S.F.	3,972	7.9	8
ORNAMENTAL	1/500 S.F.	3,972	7.9	8
EVERGREEN	1/500 S.F.	3,972	7.9	8
SHRUB	1/100 S.F.	3,972	39.7	40

TYPE SC SCREEN (25' WIDE BUFFER YARD)

ALONG SIDE PROPERTY LINE WITH PIN 7297-89-9156

TYPE OF PLANTING	ALT. 2	AREA (S.F.)	REQ'D PLANTINGS	PROV. PLANTINGS (1/2 BUFFER)
CANOPY	1/500 S.F.	4,113	8.2	9
ORNAMENTAL	1/500 S.F.	4,113	8.2	9
EVERGREEN	1/500 S.F.	4,113	8.2	9
SHRUB	1/100 S.F.	4,113	41.1	42

INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS

PLANT TYPE	NUMBER REQUIRED	TOTAL NUMBER REQUIRED	EXISTING PLANTS TO REMAIN	PLANTS PROPOSED	TOTAL PLANTS PROPOSED
UNDERSTORY TREES	1 PER 10 SPACES	2	3	0	3
SHRUBS	3 PER 10 SPACES	6	0	6	26

PERIMETER PARKING LOT LANDSCAPING REQUIREMENTS (PARKING LOTS ADJACENT TO OTHER PARKING LOTS)

ADJACENT TO GPIN 7297-99-2468 AND GPIN 7297-99-1373
LENGTH: 227 L.F.

PLANT TYPE	NUMBER REQUIRED	TOTAL NUMBER REQUIRED	EXISTING PLANTS TO REMAIN	PLANTS PROPOSED	TOTAL PLANTS PROPOSED
UNDERSTORY TREES	2 PER 30 L.F.	15.1	1	15	16
SHRUBS	6 PER 30 L.F.	45.4	0	46	46

PERIMETER PARKING LOT LANDSCAPING REQUIREMENTS (PARKING LOTS ADJACENT TO OTHER PARKING LOTS)

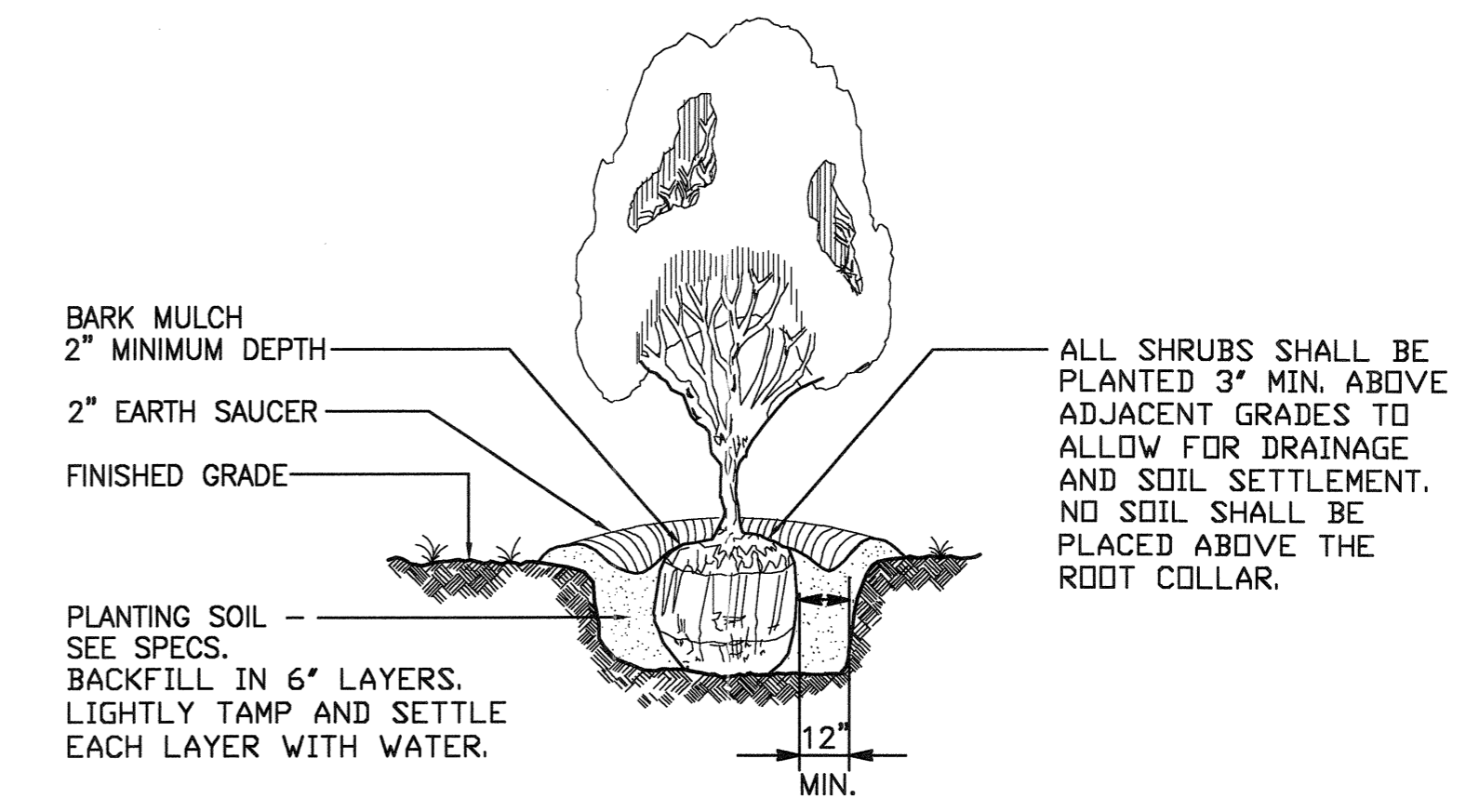
ADJACENT TO GPIN 7297-99-1439
LENGTH: 126 L.F.

PLANT TYPE	NUMBER REQUIRED	TOTAL NUMBER REQUIRED	EXISTING PLANTS TO REMAIN	PLANTS PROPOSED	TOTAL PLANTS PROPOSED
UNDERSTORY TREES	2 PER 30 L.F.	8.4	6	3	9
SHRUBS	6 PER 30 L.F.	25.2	0	26	26

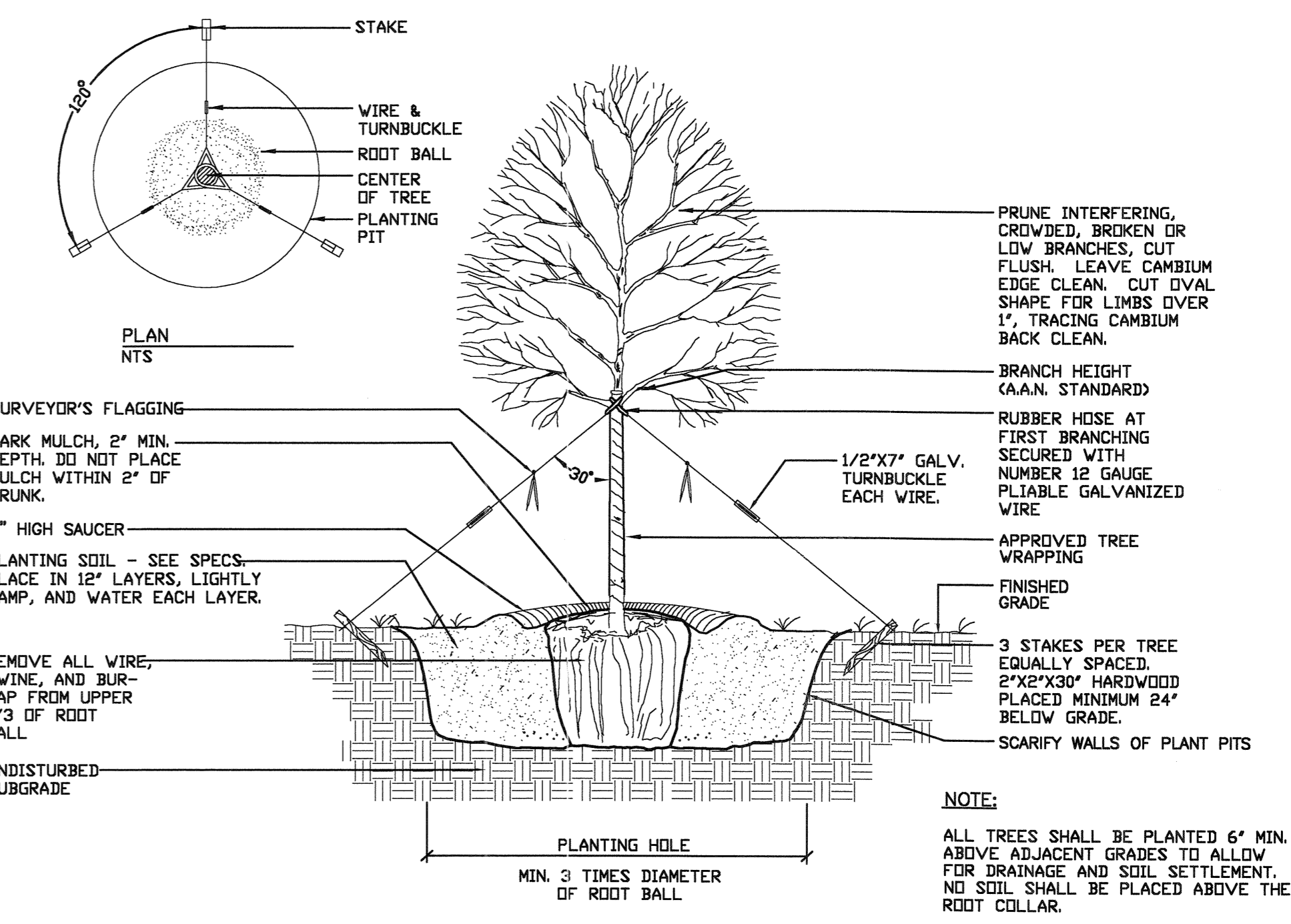
PLANT SCHEDULE

LOCATION/REQUIREMENT	KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	10-YR. CANOPY (SF)	SIZE	REMARKS
BUFFER PLANTINGS - CANOPY TREES:							
GREEN ASH	FP	7	FRAXINUS PENNSYLVANIA	GREEN ASH	1,400	2.5" CAL.	B&B
LONDON PLANE TREE	PA	6	PLATANUS ACERIFOLIA	LONDON PLANE TREE	1,200	2.5" CAL.	B&B
SILVER LINDEN	TT	4	TILIA TOMENTOSA	SILVER LINDEN	800	2.5" CAL.	B&B
TOTAL		17			3,400		
BUFFER PLANTINGS - ORNAMENTAL TREES:							
DOGWOOD	CF	7	CORNUS FLORIDA	DOGWOOD	525	5'-6" HGT	B&B
RED BUD	CC	6	CERCUS CANADENSIS	RED BUD	450	5'-6" HGT	B&B
FLOWERING CHERRY	PR	4	PRUNUS	FLOWERING CHERRY	300	5'-6" HGT	B&B
TOTAL		17			1,275		
BUFFER PLANTINGS - EVERGREEN TREES:							
WHITE PINE	PS	3	PINUS STROBUS	WHITE PINE	600	6'-8" HGT	B&B
EASTERN RED CEDAR	JV	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	300	6'-8" HGT	B&B
AMERICAN HOLLY	IO	8	ILEX OPACA	AMERICAN HOLLY	400	6'-8" HGT	B&B
TOTAL		17			1,300		
BUFFER PLANTINGS - SHRUBS:							
AZALEA	AZ	42	--	--	--	1'-2' HGT	B&B
JAPANESE HOLLY	IC	26	ILEX CRENATA	JAPANESE HOLLY	--	1'-2' HGT	B&B
VIBURNUM	VB	14	--	--	--	1'-2' HGT	B&B
TOTAL		82					
INTERIOR PARKING LOT LANDSCAPING PLANTINGS:							
AZALEA	AZ	6	--	--	--	1'-2' HGT	B&B
TOTAL		6					
PERIMETER PARKING LOT LANDSCAPING PLANTINGS:							
FLOWERING CHERRY	PR	10	PRUNUS	FLOWERING CHERRY	750	5'-6" HGT	B&B
JAPANESE HOLLY	IC	46	ILEX CRENATA	JAPANESE HOLLY	--	1'-2' HGT	B&B
AZALEA	AZ	26	--	--	--	1'-2' HGT	B&B
TOTAL		82			750		

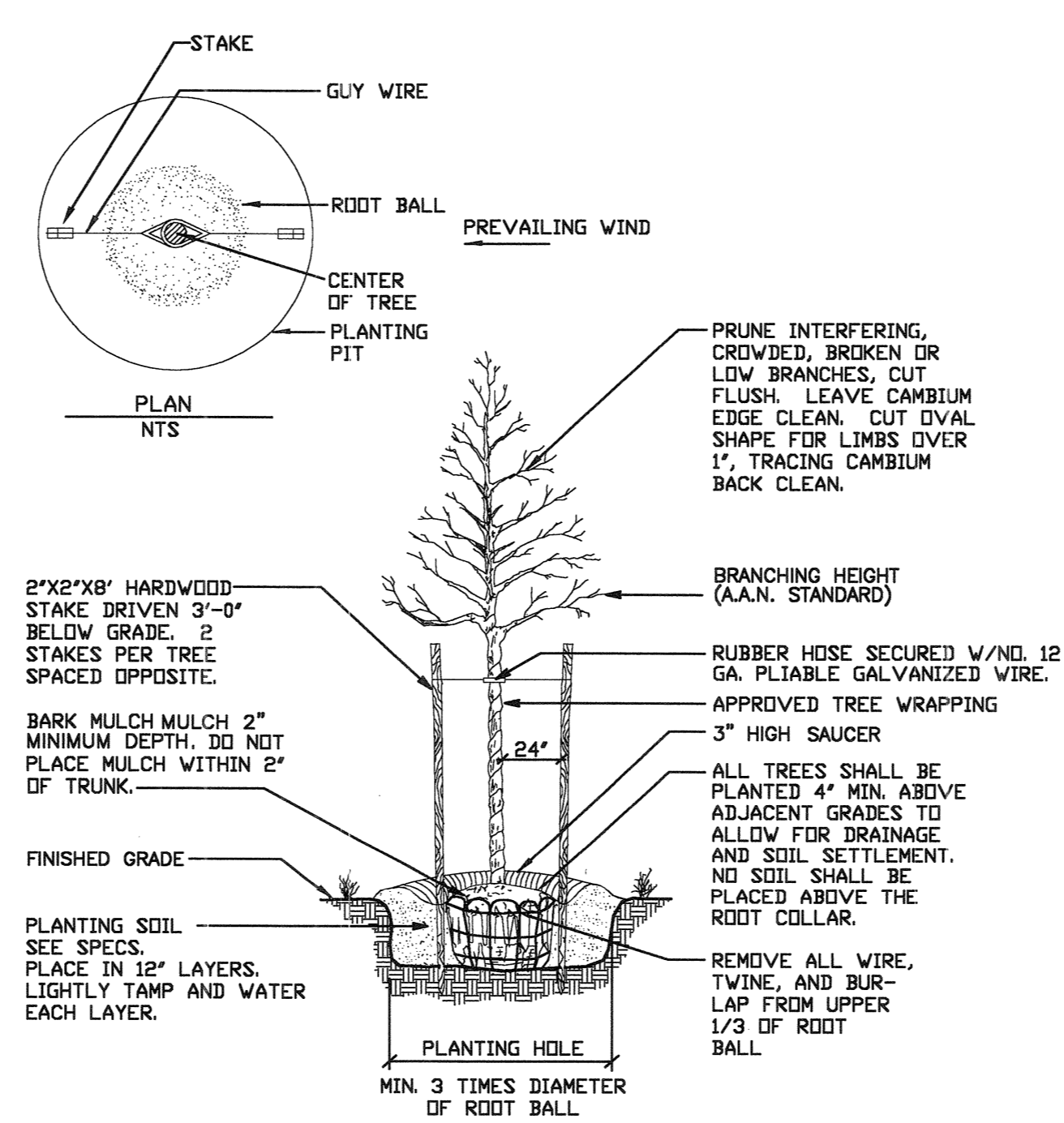
PLANTINGS NOT SPECIFICALLY CALLED OUT ABOVE ARE TO BE FROM THE TOWN OF HAYMARKET APPROVED PLANTING LIST (OR APPROVED EQUAL).



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL LARGE TREE PLANTING DETAIL
(2-1/2" CALIPER AND LARGER)
NOT TO SCALE



TYPICAL SMALL TREE PLANTING DETAIL
(2" CALIPER OR LESS)
NOT TO SCALE

TREE CONSERVATION NARRATIVE:

- CONTRACTOR SHALL PERFORM ROOT PRUNING TO A DEPTH OF 18"-24" ALONG THE CLEARING LIMITS IN THE AREA OF EXISTING TREES USING A TRENCHER OR VIBRATORY FLOW PRIOR TO INITIATING ANY LAND DISTURBANCE ACTIVITIES.
- CONTRACTOR TO INSTALL 2"-3" DEPTH OF MULCH FOR A DISTANCE OF APPROX. 10' BEYOND THE CLEARING LIMITS INSIDE THE TREE SAVE AREAS PRIOR TO INSTALLATION OF TREE PROTECTION FENCING.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROPOSED LANDSCAPE PLANTINGS.

FOR PURPOSES OF CALCULATING BUFFER YARD AND SCREENING REQUIREMENTS, NO CREDIT HAS BEEN TAKEN FOR EXISTING TREE SAVE AREAS.

THE KDL GROUP LLC
P.O. BOX 609
HAYMARKET, VA 20168
PHONE 703 753-7592 FAX 703 753-7593
www.kdlgroup.com

LANDSCAPE SCHEDULE AND DETAILS
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN
TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

COMMONWEALTH OF VIRGINIA
JOHN H. DAVIS
Lic. No. D28930
11/08/16
PROFESSIONAL ENGINEER

SCALE: H) N/A
V) N/A
DATE: MARCH 2015
CHECKED:
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO.

DWG PATH: S:\PROJECTS\HAYMARKET MASONIC LODGE\ENG\SITE PLAN\DELIVERABLES\15-LAND SCHEDULE.dwg

PRINCE WILLIAM COUNTY
 Department of Development Services - Land Development Division
 UNIT PRICE LIST
 (Performance Bonds, Landscaping Escrow, and Siltation & Erosion Control Escrow)
 Revised: November 17, 2011
 Effective: September 15, 2010

Project Name: **6710 MADISON STREET HAYMARKET, VA**
 PWC File #: **N/A** Date Prepared: **MAY 4, 2015**

NOTE: This form is to be used to estimate performance bond, landscaping escrow and siltation/erosion control escrow prices posted with Prince William County. These prices do not include items that are to be bonded separately with the Virginia Department of Transportation.

1. MOBILIZATION/DEMobilIZATION OF CONSTRUCTION EQUIPMENT

Quantity	Item	Price	Cost
	Mobilization/DEMobilization	@ Lump Sum	\$10,000.00 (min.)
			\$10,000.00

2. STORM DRAINAGE

A. Structures

Quantity	Item	Price	Cost
	D1-1	@ \$1,500 EA	
	D1-3	@ \$1,500 EA	
	D1-4	@ \$5,000 EA	
	MH-1	@ \$2,500 EA	
	MH-2	@ \$1,000 EA	
	IB-1	@ \$5,000 EA	
	IB-2	@ \$3,500 EA	
	DI-12	@ \$2,500 EA	
			Subtotal: N/A

B. Concrete Pipe

Quantity	Item	Price	Cost
	12"	@ \$40 LF	
	15"	@ \$40 LF	
	18"	@ \$45 LF	
	21"	@ \$50 LF	
	24"	@ \$55 LF	
	27"	@ \$60 LF	
	30"	@ \$65 LF	
	33"	@ \$70 LF	
	36"	@ \$75 LF	
	42"	@ \$85 LF	
	48"	@ \$95 LF	
	54"	@ \$105 LF	
	60"	@ \$115 LF	
	66"	@ \$125 LF	
	72"	@ \$135 LF	
			Subtotal: N/A

Subtotal for this page: **\$10,000.00**

3. CONSTRUCTION WITHIN THE RIGHT-OF-WAY AND/OR EASEMENTS

A. Site Work

Quantity	Item	Price	Cost
	Clear & Grub	@ \$10,000 AC	\$5,600.00
	Excavation	@ \$25.00 CY	
	Embankment**	@ \$55.00 CY	
	Rock Excavation	@ \$85.00 CY	
	Slope Stabilization - Hydroseeding (1:1 or flatter) \$1,000 Min.	@ \$75.00 LF	
	Slope Stab. - Jute Mesh, Netting, Blankets, etc.	@ \$15.00 LF	
	Slope Stab. - Seed (between 2:1 to 1:1) \$200 Min.	@ \$7.00 SY	
	Slope Stab. - Seed (between 2:1 to 1:1) \$200 Min.	@ \$7.00 SY	
	Slope Slopes (Grading and Stabilization with Jute Mesh, Netting, Blankets, etc.)	@ \$15.00 SY	
			Subtotal: \$5,600.00

Subtotal for this page: **\$5,600.00**

4. SANITARY SEWER & WATER LINE CONSTRUCTION

Water Main (Exclusive of Fire Hydrants)

Quantity	Item	Price	Cost
	4" DIP	@ \$48 LF	
	6" DIP	@ \$60 LF	
	8" DIP	@ \$72 LF	
	12" DIP	@ \$96 LF	
	16" DIP	@ \$120 LF	
	18" DIP	@ \$135 LF	
	4" or 6" RW Valve (with accessories)	@ \$80 EA	
	6" or 12" RW Valve (with accessories)	@ \$200 EA	
	10" or 24" RW Valve (with accessories)	@ \$500 EA	
	Fire Hydrant Assembly	@ \$1,700 EA	
	Standard Meter Check & Appurtenances (Angle valve, backflow preventer, jets, trim & cover, and service hole)	@ \$1,500 EA	
	Meter Vault & Appurtenances (3' meters & larger)	@ \$10,500 EA	
	Water Main Blow-off Assembly	@ \$2,500 EA	
	Air Release Assembly	@ \$3,500 EA	
	Dead End Anchor System	@ \$7,500 EA	
			Subtotal: N/A

Sanitary Sewer Pipe Line (Exclusive of Manhole Structures)

Quantity	Item	Price	Cost
	1.5" thru 4" LPPM (Low Pressure Force Main System)	@ \$ 75 LF	
	8" DIP	@ \$85 LF	
	10" DIP	@ \$90 LF	
	12" DIP	@ \$95 LF	
	14" DIP	@ \$100 LF	
	16" DIP	@ \$105 LF	
	18" DIP	@ \$110 LF	
	4" Dia. Sanitary Sewer Manhole	@ \$600 VF	
	5" Dia. Sanitary Sewer Manhole	@ \$850 VF	
	Street Manhole Frame & Cover Assembly (Including rain bowl & chimney seal)	@ \$800 EA	
	Easement Manhole Frame & Cover Assembly (Including chimney seal)	@ \$7,000 VF	
	Abandonment of Manhole	@ \$250 VF	
	4" DIP Lateral (including clean-out stack)	@ \$115 LF	
	6" DIP Lateral (including clean-out stack)	@ \$145 LF	
	8" DIP Lateral (including clean-out stack)	@ \$175 LF	
	10" DIP Lateral (including clean-out stack)	@ \$205 LF	
	LPPM Flushing Station	@ \$1,500 EA	
	Sewerage Air Release/Vacuum Breaker Assembly	@ \$3,500 EA	
	Street Casting	@ \$300 LF	
	Cross Tee (500 gal. minimum)	@ \$4,500 EA	
			Subtotal: N/A

For sizes larger than 15", add \$4.00 per inch increase in diameter.

Subtotal for this page: **N/A**

TOTAL CONSTRUCTION COST: (Pages 1 through 7) \$80,527.50

NOTES:

- The revised prices are indicated.
- For items identified with ** the quantity for the embankment material is the net difference of total fill material needed and cut material available at the project site. If excavated or cut material is available for embankment.
- The excavation and embankment costs include the necessary grading, spreading and/or compaction of soil in accordance with County and State Standards and Specifications.
- For some of the items on pages 3 and 4 of this form, the unit prices are not provided. Please refer to the appropriate section of this form to determine the applicable unit prices for those items, if necessary.
- The unit cost for each of the items in the Unit Price Lists is the installation cost which includes factors such as excavation, bedding, backfilling, compaction, form work, etc.
- Inflation has been calculated based on Northern Virginia Consumer Price Index of the Washington, D.C., area provided by the Bureau of Labor and Statistics.
- Whoever certifies the site development plans must also certify the total cost of the bonded items, landscaping escrow and siltation and erosion control escrow and must sign on "Preparer's Signature" on page 9 of this form.

C. End Walls

Quantity	Item	Price	Cost
	12"	@ \$700 EA	
	15"	@ \$850 EA	
	18"	@ \$900 EA	
	21"	@ \$1,000 EA	
	24"	@ \$1,400 EA	
	27"	@ \$1,600 EA	
	30"	@ \$1,700 EA	
	33"	@ \$1,900 EA	
	36"	@ \$2,100 EA	
	42"	@ \$2,300 EA	
	48"	@ \$2,600 EA	
	54"	@ \$2,900 EA	
	60"	@ \$3,200 EA	
	66"	@ \$3,600 EA	
	72"	@ \$4,000 EA	
			Subtotal: N/A

D. End Sections (ES-1)

Quantity	Item	Price	Cost
	12"	@ \$600 EA	
	15"	@ \$650 EA	
	18"	@ \$700 EA	
	21"	@ \$750 EA	
	24"	@ \$800 EA	
	27"	@ \$850 EA	
	30"	@ \$900 EA	
	33"	@ \$950 EA	
	36"	@ \$1,000 EA	
			Subtotal: N/A

E. Corrugated Metal Pipe

Quantity	Item	Price	Cost
	12"	@ \$10 LF	
	15"	@ \$13 LF	
	18"	@ \$15 LF	
	21"	@ \$17 LF	
	24"	@ \$19 LF	
	27"	@ \$21 LF	
	30"	@ \$23 LF	
	33"	@ \$25 LF	
	36"	@ \$27 LF	
	42"	@ \$31 LF	
	48"	@ \$35 LF	
	54"	@ \$39 LF	
	60"	@ \$43 LF	
			Subtotal: N/A

Subtotal for this page: **N/A**

B. Subgrade, Subbase and Base Course Items

Quantity	Item	Price	Cost
	Subgrade preparation	@ \$2.50 SY	
	Subbase & Base Course	@ \$2.00 SY per inch Depth	
	Aggregate (2 1/2" 21B)	@ \$3.00 SY per inch Depth	
	Bimimous Concrete	@ \$15.00 SY per inch Depth	
	Reinforced Concrete Pavement	@ \$15.00 SY per inch Depth	
	Gravel Shoulders (2" Depth)	@ \$8.00 SY	
			Subtotal: N/A

C. Subbase and Base Course Items

Quantity	Item	Price	Cost
	Subgrade preparation	@ \$2.50 SY per inch Depth	\$20,040.00
	Subbase & Base Course	@ \$2.00 SY per inch Depth	\$30,712.50
	Aggregate (2 1/2" 21B)	@ \$3.00 SY per inch Depth	
	Bimimous Concrete	@ \$15.00 SY per inch Depth	
	Reinforced Concrete Pavement	@ \$15.00 SY per inch Depth	
	Gravel Shoulders (2" Depth)	@ \$8.00 SY per inch Depth	
	Concrete Stabilization (4%)	@ \$20.00 SY (6" Depth)	
	Lime Stabilization (10%)	@ \$15.00 SY (6" Depth)	
	Cement Treated Aggregate	@ \$4.00 SY per inch Depth	
			Subtotal: \$50,752.50

D. Entrances and Pipe Stems

Quantity	Item	Price	Cost
	DE-1	@ \$2,000 EA	
	DE-2	@ \$2,800 EA	
	DE-3	@ \$1,800 EA	
	SE-1 (1' dia)	@ \$1,800 EA	\$1,800.00
	SE-2 (2' - 5' dia)	@ \$2,000 EA	
	SE-3 (1' dia)	@ \$1,200 EA	
	SE-4 (2' - 5' dia)	@ \$1,500 EA	
	CG-9D or equal: 30" Width	@ \$5,000 EA	
	CG-9D or equal: 40" Width	@ \$6,500 EA	
	CG-10A or equal: 30" Width	@ \$4,000 EA	
	CG-10A or equal: 40" Width	@ \$5,000 EA	
	CG-11 Concrete Entrance	@ \$2,500 EA	
	Valve Outlet	@ \$55 SY	
	Pipetom Driveway - 10' (1' dia)	@ \$55 LF	
	Pipetom Driveway - 18' (2-5' dia)	@ \$65 LF	
			Subtotal: \$1,800.00

Subtotal for this page: **\$52,552.50**

5. MISCELLANEOUS COSTS

	A. Administrative Cost - 10% of the total construction cost, not to exceed \$50,000	\$8,052.75
	B. Inflation Cost - Compounded annually at 3.0% per year of the total Construction Cost	\$7,415.83
		Total Performance Bond Amount: \$15,468.58

6. LANDSCAPING ESCROW

A. Deciduous Trees

Quantity	Item	Price	Cost
	4" - 5"	@ \$80 EA	
	5" - 6"	@ \$165 EA	\$2,805.00
	1" - 1 1/2" or 1 1/2" - 2"	@ \$165 EA	
	2" - 2 1/2" or 2 1/2" - 3"	@ \$250 EA	\$4,500.00
	3" - 3 1/2" or 3 1/2" - 4"	@ \$450 EA	
			Subtotal: \$7,305.00

B. Evergreen Trees

Quantity	Item	Price	Cost
	4" - 5"	@ \$100 EA	
	5" - 6"	@ \$125 EA	
	6" - 7"	@ \$175 EA	\$2,975.00
	7" - 8"	@ \$300 EA	
	8" - 10"	@ \$400 EA	
			Subtotal: \$2,975.00

C. Shrubs

Quantity	Item	Price	Cost
	18" - 24"	@ \$45 EA	\$3,690.00
	24" - 30"	@ \$55 EA	
			Subtotal: \$3,690.00

D. Reforestation

Quantity	Item	Price	Cost
	# of Acres	@ \$11,700 AC	
			Subtotal: \$11,700.00

Subtotal for this page: **\$15,468.58**

REPLACEMENT / REPAIR ITEMS
 (To be used only for performance bond reduction / extension requests)

Quantity	Item	Price	Cost
	Redeem utility poles	@ \$6,500 (min.)	
	Remove basketball pole(s) from the right-of-way	@ \$20 EA	
	Remove fence from the right-of-way	@ \$5 LF	
	Remove trees, shrubs, landscaping from the right-of-way	@ Lump Sum	
	Cut out and patch pavement and base	@ \$15 SY	
	Replace curb and gutter	@ \$25 LF	
	Replace sidewalk - 4" width	@ \$20 LF	
	Re-establish ditch line	@ \$5 LF (min. \$500)	
	Place additional stone on shoulders	@ \$1.50 SY/in. depth	
	Redeem / reset manholes	@ \$10 EA	
	Straighten out bent ends of driveway entrance pipes	@ \$100 EA Pipe	
	Remove and replace entrance pipe	@ \$35 LF	
	Lower / raise entrance pipe within the right-of-way	@ \$300 EA	
	Clean out driveway entrance pipes (min. \$200)	@ \$100 EA Pipe	
	Redeem manhole tops	@ \$300 EA	
	Remove form material	@ \$100 (min)	
	Install missing steps in storm drainage structures	@ \$100 EA	
	Paint metal parts	@ \$50 EA	
	Place additional rip-rap	@ \$7 SF	
	Place additional gravel rip-rap	@ \$9 SF	
	Place additional guard rail not shown on the plans	@ \$35 LF	
	Place additional paved ditch not shown on the plans	@ \$8 SF	
	Place additional signs within the right-of-way	@ \$200 EA	
	Mow grass within the right-of-way and storm drainage easements	@ Lump Sum	
	Remove construction debris from the project site	@	
	Other items	@	
	Other items	@	

Subtotal for this page: **N/A**

F. End Section (ES-2)

Quantity	Item	Price	Cost
	15"	@ \$500 EA	
	18"	@ \$550 EA	
	24"	@ \$600 EA	
	30"	@ \$650 EA	
	36"	@ \$700 EA	
	42"	@ \$750 EA	
	48"	@ \$800 EA	
			Subtotal: N/A

G. AD N-12 (HDPE)

Quantity	Item	Price	Cost
	12"	@ \$30 LF	
	15"	@ \$35 LF	
	18"	@ \$40 LF	
	24"	@ \$50 LF	
	30"	@ \$60 LF	
	36"	@ \$70 LF	
	42"	@ \$80 LF	
	48"	@ \$90 LF	
	60"	@ \$110 LF	
	End Section	EA	
			Subtotal: N/A

H. Stormwater Management/BMP Facilities (See note 5)

Quantity	Item	Price	Cost
	Excavation	@ \$25.00 CY	
	Embankment (Fill Material)**	@ \$55.00 CY	
	Sediment Removal/Regrading for Bond Release	@	
	Storm Drainage Pipe (RCP, CMP, PVC, Res.)	@ LF	
	Storm Drainage Structures (DI-7, MI-1, MI-2, etc.)	@ EA	
	Gravel Filter System	@ EA	
	Drainage Blanket	@ EA	
	Cut-off Wall	@ EA	
	Concrete Cribble	@ LF	
	End Wall	@ EA	
	End Section	@ EA	
	Track Rack (\$300 per 12'0" increments)	@ EA	
	Stormlog	@ EA	
	Monitoring Well	@ EA	
	BMP Debris Protection Device	@ EA	
	Bio-retention (itemized cost)	@ EA	
	Infiltration Trench (itemized cost)	@ EA	
	Sand Filter (itemized cost)	@ EA	
			Subtotal: N/A

Subtotal for this page: **N/A**

E. Misc Construction Items

Quantity	Item	Price	Cost
	Sidewalk (5' Width)	@ \$25 LF	\$925.00
	Header Curb (CG-2/CG-3)	@ \$20 LF	
	Curb & Gutter	@ \$25 LF	
	CG-1 (Exposed Aggregate)	@ \$1,500 EA	
	Bicycle Trail Walkway	@ \$7.00 SY	
	Raised Concrete Median (MS-1A)	@ \$65 SY	
	Trail (Wood Chip)	@ \$18 SY	
	Trail (Stone Dust)	@ \$18 SY	
	Retaining Walls:		
	Timber	@ \$25 SF	
	Crib	@ \$35 SF	
	Reinforced Earth	@ \$40 SF	
	Reinforced Concrete	@ \$60 SF	
	Excavation for setbacks in walls in cut areas	@ \$25 CY	
	Anti-graffiti treatment/sealant	@ \$15 SF (Min. \$2,500)	
			Subtotal: \$925.00

Quantity	Item	Price	Cost
	Guardrail	@ \$25 LF	
	GR-NCHRE 350	@ \$2,500 EA	
	GR-1	@ \$3,500 EA	
	Address Sign (Entrance to Pipetoms)	@ \$50 EA	
	Street Name Sign	@ \$350 EA	
	Traffic Control Sign	@ \$300 EA	\$300.00
	Bus Stop Sign	@ \$50 EA	
	Bus Shelter	@ \$12,500 EA	
	Traffic Sign	@ (Lump Sum)	
	HC Parking Space Sign	@ \$300 EA	\$1,000.00
	Fluke Rack	@ \$300 EA	
	Roadside Delineator (GD-1)	@ \$55 EA	
	Hand Rail (HR-1)	@ \$80 LF	
	Pavement Marking (Paint)	@ \$1.50 SF	\$150.00
	Pavement Marking (Thermoplastic)	@ \$3.50 SF	
	Traffic Barricade (TB-1)	@ \$1,500 EA	
	Street Lighting	@ \$5,000 EA	
	Utilities Relocations	(Min. \$40,000 Lump Sum or provide an estimate from utility company)	
	P.E. Certified "As-Built" Plans	@ \$10,000 EA	\$10,000.00
			Subtotal: \$11,250.00

Subtotal for this page: **\$12,375.00**

7. SILTATION AND EROSION CONTROL ESCROWS

Quantity	Item	Price	Cost
	Diversion Dike	@ \$5 LF	
	Cleaning out SWM Facilities, Silt Traps, and Silt Basins	@ \$400/HR. Lump Sum (Min. \$30,000 or estimate provided by engineer to the satisfaction of the plan reviewer)	
	Silt Fence	@ \$7.50 LF	\$3,210.00
	Super Silt Fence	@ \$20 LF	

NOTES

- 1. Methods and materials used in the construction of water mains, sanitary sewers and appurtenances shall be in conformance with the current Prince William County Service Utility Standards Manual (USM) and the Virginia Department of Health Regulations.
2. Approval of these plans by the Service Authority will in no way relieve the owner from complying with the methods, policies or requirements stated in the Service Authority's Utility Standards Manual (USM).
3. No trees, fences or other permanent structures will be located on any waterline or sanitary sewer easement without written permission from the Prince William County Service Authority.
4. Contractor to notify the Service Authority at least two (2) working days, but not more than ten (10) working days prior to commencement of demolition, excavation or blasting in areas with underground water and sewer lines.
5. a) Water Service Level HAYMARKET
b) Sewer Shed LITTLE BULL RUN
6. All subdivisions will require an address listing approved by the Prince William County Mapping Office. The address listing must be presented to the Service Authority at the time the utility permit is issued. Forms are available at the Service Authority. (Fax copies are not acceptable.)
7. All grinder pumps will be privately owned and maintained, unless otherwise noted.
8. Low pressure sewer systems are subject to the review of the State Health Department and requires DEQ approval.
9. The developer is responsible for all costs associated with damages to or relocation of water or sanitary sewer mains or service lines caused by the construction of this project.
10. The contractor shall coordinate all relocation of water or sanitary sewer facilities with the Service Authority's Inspector. No shut offs shall be done without the prior approval of the Service Authority's Inspector. The Inspector may require the contractor to submit a relocation work plan for approval prior to the commencement of the relocation work. The work plan will detail how the work will be done and the manpower, materials, and equipment that will be at the site to perform the work.
11. Existing unused water service lines shall be exposed at the corporation stop on the main and shall be cut and crimped per the direction of the PWCSA Inspector.
12. Existing unused laterals are to be cut and capped at the main per the direction of the PWCSA Inspector.
13. When an existing water service or sanitary sewer lateral lateral will be reused as part of a new development, the Service Authority shall inspect the existing service line or lateral to insure that they are serviceable and meet current PWCSA material specifications. Any defects or out-of-date materials shall be repaired or replaced to the satisfaction of the Service Authority before the existing water service or sanitary sewer lateral is placed back in service.

PWCSA WATER & SEWER MAIN INSPECTION FEES

Table with 5 columns: Original Qty. (Project Total), Rev 1 Qty. (Project Total), Rev 2 Qty. (Project Total), Net Increase, and Fee. Rows for WATER MAIN, SEWER MAIN, TV SEWER MAIN, and TOTAL.

NOTE: Minimum fee of \$350 is required for water inspection service if water main is less than 100 L.F. Minimum fee of \$545 is required for sewer inspection service if sewer main is less than 100 L.F.

PWCSA AS BUILT FEES

Table with 5 columns: Original Qty. (Project Total), Rev 1 Qty. (Project Total), Rev 2 Qty. (Project Total), Net Increase, and Fee. Rows for WATER MAIN, SEWER MAIN, and TOTAL.

NOTE: Minimum fee of \$1000 is required for all plans connecting to utilities or installing main. Fees shall be computed on a linear footage base for plan revisions that propose additional main as part of an actively developing project for which PWCSA has not yet executed its as-built.

AS BUILT RELEASE OF PLANS

THE UNDERSIGNED ENGINEER/ FIRM AGREES THAT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY SHALL HAVE THE RIGHT TO USE THESE PLANS FOR THE PREPARATION OF AS-BUILT RECORDS, AS NECESSARY. THE ENGINEER/ FIRM FURTHER AGREES THAT THE RIGHT TO USE THE PLANS SHALL BE PROVIDED WITHOUT COST TO THE SERVICE AUTHORITY.

NAME: JOHN H. DAVIS (TYPE OR PRINT)
TITLE: MANAGING MEMBER
FIRM: THE KDL GROUP, LLC
SIGNATURE: [Signature]
DATE: MAY 6, 2016

LOCAL REVIEW AUTHORITY INFORMATION

PLAN TITLE: 6710 MADISON STREET HAYMARKET, VA
PWC PLAN NO.: N/A
ENGINEER: THE KDL GROUP, LLC
MAP NO.:

SEWER

PROJECTED POPULATION: N/A
SEWER MAIN SIZE AND LENGTH: 8" - 0 L.F., 10" - 0 L.F., 12" - 0 L.F. (Note: lines larger than 24" must be submitted to VDH for approval)

WATER

PIPE SIZES: 4" - 0 L.F., 6" - 0 L.F., 8" - 0 L.F., 12" - 0 L.F., 16" - 0 L.F., 18" - 0 L.F. (Note: lines larger than 18" must be submitted to VDH for approval)

* CONNECTIONS: 5
NUMBER OF WATER METERS: N/A
RESIDENTIAL METER SIZE: N/A
NUMBER OF FIRE HYDRANTS: 0

THRUST RESTRAINT

MINIMUM DESIGN PARAMETERS:
PIPE MATERIAL:
SOIL TYPE:
SAFETY FACTOR: (MIN. 1.5 TO 1)
TRENCH TYPE: (MIN. 3)
TEST PRESSURE: (100 PSI PLUS THE MAX STATIC PRESSURE OR 150 PSI, WHICH EVER IS GREATER)
BURIED DEPTH: AS SHOWN IN THE PROFILES
*THE RESTRAINING LENGTH FOR EACH FITTING, REDUCER & DEAD END IS SHOWN AND SPECIFIED IN THE PROFILE SHEETS.

LOCAL FACILITIES CHARGE

THE PROPERTIES BEING DEVELOPED IN CONJUNCTION WITH THIS PROJECT ARE ARE NOT SUBJECT TO A LOCAL FACILITIES CHARGE. LFC Area: HAYMARKET

MASTER PLAN UTILITY ADJUSTMENT

A MASTER PLAN UTILITY ADJUSTMENT AGREEMENT DOES DOES NOT EXIST BETWEEN THE SERVICE AUTHORITY AND THE DEVELOPER FOR DEFINED BETTERMENTS.
*DESIGN OR CONSTRUCTION CHANGES MUST CARRY THE CONSENT OF PWCSA ENGINEERING.
*THE DEVELOPER SHOULD REQUEST REIMBURSEMENT PER THE AGREEMENT AFTER BETTERMENTS ARE INSTALLED AND TESTED.

FIRE FLOW INFORMATION

A HYDRAULIC ANALYSIS IS REQUIRED OF ANY PROJECT EXTENDING WATER MAINS. A HYDRANT FLOW TEST CAN BE USED IN PLACE OF AN ANALYSIS TO CALCULATE AVAILABLE FIRE FLOW WHEN NO NEW WATER MAIN IS PROPOSED OR ONLY A FIRE HYDRANT IS SET.
HYDRAULIC MODEL SUMMARY:
HYDRANT FLOW TEST:
a) Minimum Pressure: 20 PSI
b) Maximum Pressure: PSI
c) Fire Flow: > 1500 GPM
a) Static Pressure:
b) Residual Pressure:
c) Flow:
d) Available Fire Flow at 20 psi:

SANITARY SEWER DESIGN & TEST TABLE

Large table with columns for From MH, To MH, Units or Area, Flow / Unit, Avg. Flow Increment, Avg. Flow Total, Peak Factor, Q Total GPD, Pipe Size (in.), Slope (%), Actual Vel.(fps), Full Flow Vel.(fps), Capacity (GPD), q/Q (%), d/D (%), Invert Upper, Invert Lower, Date Line Installed, Date Line Passed Test, MH ID, Date MH Passed Vac. Test.

NOTES:

NO NEW SANITARY SEWER MAIN OR SANITARY LATERALS ARE PROPOSED WITH THIS DEVELOPMENT.

SANITARY LATERAL SCHEDULE

Table with columns for From Manhole, To Manhole, Slope: ###%, Length: ###, Low Invert: ###-###, Material, Ejector Pump Required, Lot No., Station, Invert @ Main, Crown @ Main, Length of Lateral, Slope of Lateral (%), Riser Height, Lateral Elev. @ End, Ground Elev. @ End, Basement Floor Elev. @ End, Difference Basement Floor Elev. to Crown @ Main, Lateral Material, Date Installed, Stub Installed % of Grade.

MULTI-DWELLING OR NON-RESIDENTIAL METER SCHEDULE

Table with columns for Building Identifier, Building Address, Building Use, If applicable number of dwelling units, Meter Size, Peak demand in gpm, If applicable continuous demand in gpm, Account Type (Water & Sewer, Sub-Meter Account, Water Only Account, Sewer Only Account).

NOTE: A fixture unit list and meter sizing calculations in accordance to AWWA M22 2nd edition is to be inserted in the plan set supporting the information in this table.

VALVE SCHEDULE

Table with columns for Qty., Valve Size, Manufacturer (PWCSA use).

SHEET REVISED AS OF SEPTEMBER, 2012

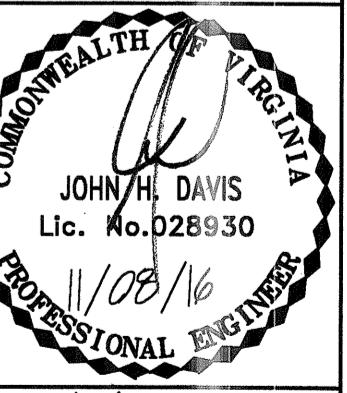


WATER AND SANITARY SEWER INFORMATION

SHEET OF

THE KDL GROUP LLC
P.O. BOX 609
HAYMARKET, VA 20168
PHONE 703 763-7592 FAX 703 763-7593
www.kdlgroup.com

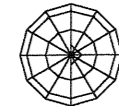
PWCSA CALCULATION SHEET
6710 MADISON STREET HAYMARKET, VA
PRELIMINARY/FINAL SITE PLAN
TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



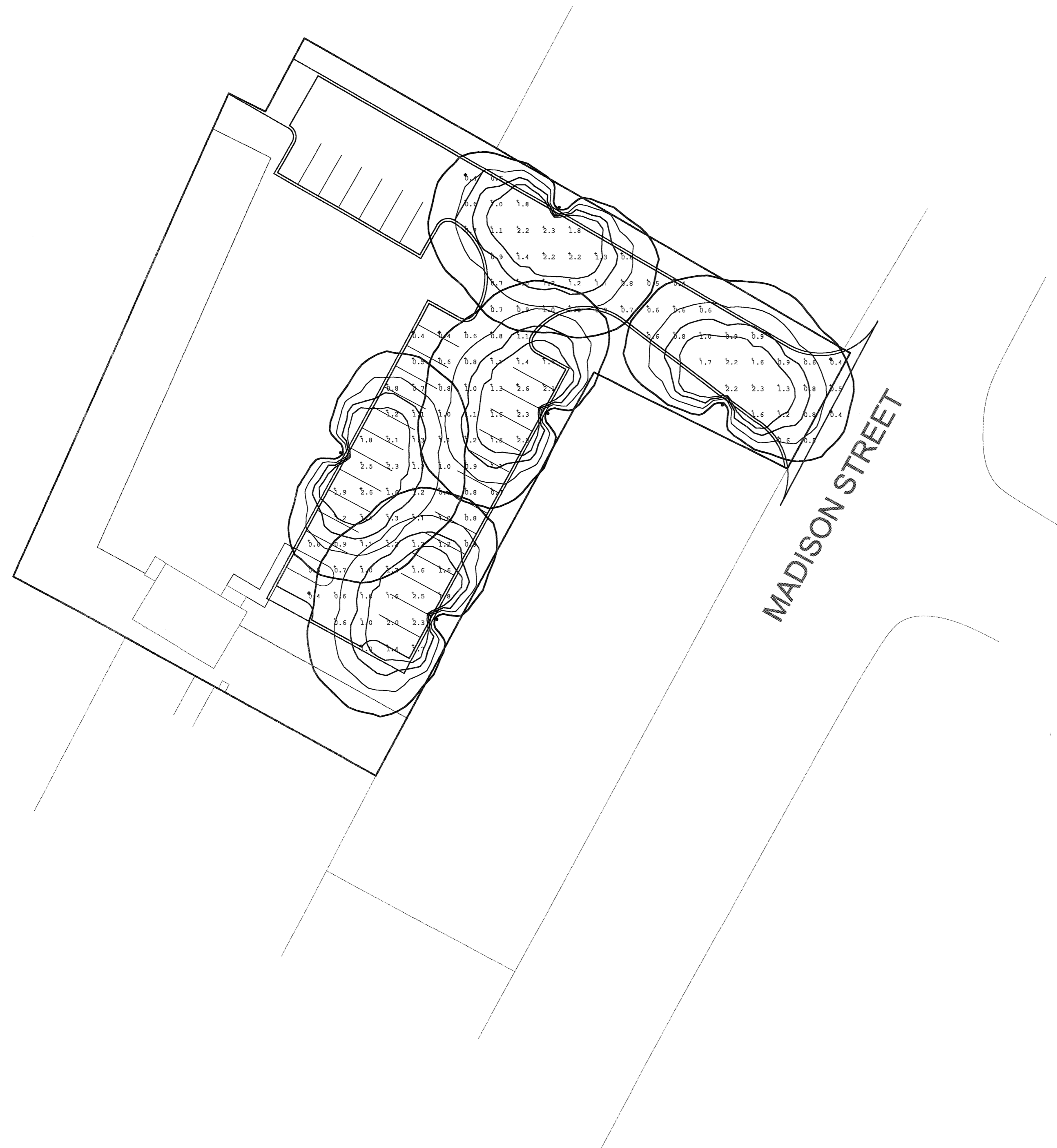
SCALE: H) N/A
DATE: MARCH 2015
DRAWN: JHD
FILE NO: SP-033-HAY
SHEET NO.


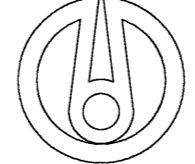
DWG PATH: S:\PROJECTS\HAYMARKET MASONIC LODGE\ENGINEERING\SITE PLAN\DELIVERABLES\18-PWCSA_CALC.DWG

Attachment: 02 Approved Unsigned Final Site Plan 6710 MADISON ST HAYMARKET VA (984 - Site Plan Review - Masonic Lodge)

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Watts	LLF	Description
	5	100NB3AR410040	SINGLE	103.4	0.810	K1118R-B3AR-IV-100 (SST)-1036 15.5' L.C

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.18	2.6	0.4	2.95	6.50



 King Luminaire Est. 1953	 StressCrete	Manufacturing Locations: Burlington, Ontario: 1-800-268-7809 Northport, Alabama: 1-800-435-6563 Atchison, Kansas: 1-800-837-1024 Jefferson, Ohio: 1-800-268-7809
		THE STRESSCRETE GROUP
PROJECT/FILE NAME: 6710 MADISON STREET HAYMARKET, VA		
DATE: 05/17/16	CALC. BY: TASHI BABURI	AGI FILE NAME: 6710 MADISON ST REV B.AGI
REV: B	REVISION DATE/DESCRIPTION: (05/19/16) 1 LIGHT ASSEMBLIES REMOVED	
		18A of 18 SP-033-HAY



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Thomas Britt
Town Planner

MEMORANDUM

TO: Planning Commission
FROM: Thomas Britt, Town Planner
DATE: February 17, 2023
SUBJECT: Haymarket Town Center

Background: The third submission for Haymarket Town Center has been given to the Town Planner and Town Engineer. The review status for each application in other departments is as follows:

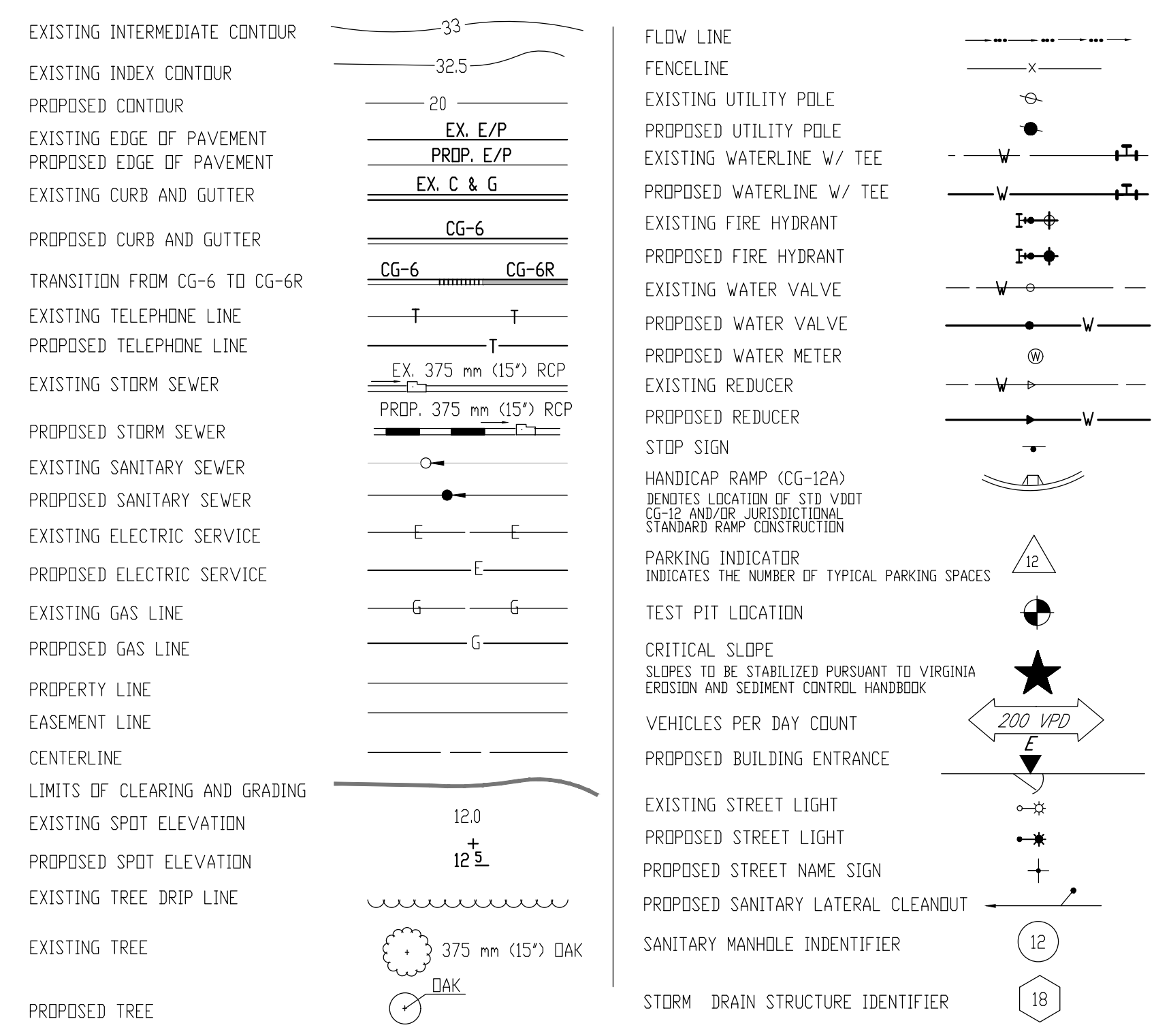
- DEQ: approved
- PWCSA: waiting for comments on resubmission
- VDOT: waiting for comments on resubmission, Access Management Exception request for the Jefferson St entrance included
- PWC Fire Marshal: fire lane permit review process to start after VDOT approval

GENERAL NOTES

- This site has been addressed by the Prince William County Mapping Office as: 15000, 15004, 15010, 15020, AND 15026 WASHINGTON ST. (addresses For
- Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing. It is the responsibility of the developer to inform the County Office of Mapping before a change in layout occurs and to submit complete and accurate information for re-addressing. Prince William County does not assume any responsibility where re-addressing is required even though tenants have already occupied a portion of the building.
- Methods and materials used in the construction of the improvements herein shall conform to the current Town of Haymarket construction standards and specifications and/or current VDOT standards and specifications.
- The contractor or developer is required to notify the Town of Haymarket Engineer in writing three (3) days prior to the beginning of the construction and specifically request inspection before beginning -- 703-753-2600.
 - Installation of approved erosion control devices.
 - Clearing and Grading
 - Subgrade excavation
 - Installing storm sewers or culverts.
 - Setting curb and gutter forms.
 - Placing curb and gutter.
 - Placing other concrete.
 - Placing gravel base.
 - Placing any bituminous surfacing.
 - Installing water mains outside the Service Authority's boundaries.
 - Installing sanitary sewer outside the Service Authority's boundaries.
- Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to issuance of the site development permit. The approval of these plans in no way relieves the developer or his agent of the responsibilities contained in the Virginia Erosion and Sediment Control Handbook.
- A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Prince William County, prior to construction in existing State right-of-way, 366-1900.
- Approval of this plan does not guarantee issuance of an entrance permit by VDOT when such permit is required under State law.
- The exact location of all guard rails will be determined by VDOT personnel. "A joint inspection will be held with the Developer, Town of Haymarket Representatives, and Representatives of the Virginia Department of Transportation (VDOT) to determine if and where guard rail and/or paved ditches will be needed. The developer will be responsible for providing guardrail and paved ditches as determined by this joint inspection." Refer to Virginia Department of Transportation (VDOT) Guard Rail and Paved Ditch Specifications.
- An approved set of plans and all applicable permits must be available at the construction site. Also, a representative of the developer must be available at all times.
- Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- All pavement sections on the approved plans are based on a minimum CBR value of 10. CBR tests are to be performed by the engineer and submitted to the Town of Haymarket for review prior to placement of base material. CBR values less than 10 will require submittal of revised pavement section.
- All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the field inspection.
- All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet. The pipe shall be minimum 150 mm (6") diameter and conform to VDOT standard SB-1.
- All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be provided at the construction site.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the contractors responsibility to clean streets, alley dust, and to take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- * Notification shall be given to the appropriate utility Company (Service Authority, Virginia-American Water Company, or Dale Service Corporation) prior to construction of water and/or sanitary sewer lines. Information should also be obtained from the appropriate authority concerning permits, cut sheets, and connections to existing lines.
- All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of Prince William County Service Authority.
- The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by the Town of Haymarket and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be responsible for honoring these plans and the finished grades in the installation of their utility lines.
- Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition. Names and telephone numbers of the operators underground utility lines in Prince William County appear below. These numbers shall also be used to serve in an emergency condition.

Washington Gas Light Co.		
Virginia Power Co.		
Northern Virginia Electric Co-op		
Columbia Gas of Virginia	MISS UTILITY 1-800-257-7777	Service Authority 335-7900
Continental Telephone of VA		(After hours-Emergency 335-7990)
Colonial Pipeline Co.		Virginia-American Water 491-2136
Transcontinental Gas Pipe Line Corp.		Dale Service Corporation 494-4161
- Deleted per request of PWCSA.
- The location of existing utilities shown in these plans are taken from existing records. It shall be the contractors responsibility to verify the exact horizontal and vertical location of all existing utilities as needed prior to construction. The contractor shall inform the engineer of any conflicts arising from his existing utility verification and the proposed construction.
- The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within or contiguous to the existing right-of-way.
- All utilities placed under existing streets shall be bored or jacked.
- When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to the Town of Haymarket prior to issuance of grading and/or site development permits.
- The developer will be responsible for the relocation of any utilities which is required as a result of his project. The relocation should be done prior to construction.
- Before burning, blasting, transportation or storage of explosives in the Town of Haymarket, a permit shall be obtained from the Town of
- Fire and Rescue Services must be notified immediately in the event that unusual items such as tanks, cylinders, unidentified containers, etc. which could contain potentially hazardous materials are discovered or observed. All activities must cease and not be resumed until authorization to proceed is given by the Town of Haymarket.
- Sidewalk underdrains shall be installed per the Town of Haymarket.
- All walkways outside of the right-of-way limits will be maintained by the homeowners association.
- Maintenance of the Storm Drainage or Storm Water Management facilities located therein shall be pursuant to the Town of Haymarket Zoning Ordinance.
- If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the issuance of any occupancy permits. (Detached single family subdivision exempt.)
- These plans identify the location of all known gravesites. Gravesites shown on this plan will be protected in accordance with state law. In the event gravesites are discovered during construction, the Town of Haymarket must be notified immediately. All activities must cease and not be resumed until authorization to proceed is given by the Town of Haymarket.
- Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.
- Individual sign permits will be required from the Town of Haymarket for all free standing and facade signs prior to erecting the signs.
- All buffer areas shall be screened according to the Town of Haymarket Zoning Ordinance.
- For proffers statement and proffers analysis, see section(s) N/A of N/A.
- For waivers see SHEET C.44
- Anticipated sewage flows: 0.21 GPD/SF OF BUILDING x 20,968 = 4,403 GPD x 4.0 PEAK FACTOR = 17,613 GPD
- Anticipated fire flows: FLOW=2,500 GPM @ 48.5 PSI
- Distance to nearest existing school or proposed school site: 0.1 MILES TO SAINT PAUL'S SCHOOL

LEGEND



1. NO HISTORIC SITES OR CEMETERIES ARE KNOWN TO EXIST WITHIN THE PROJECT LIMITS SHOWN ON THIS PLAN.

2. THE DEVELOPER/BUILDER SHALL CONTACT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY TO DISCUSS UTILITY PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT. PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.

THIS PLAN COMPLIES WITH THE NEW PRINCE WILLIAM COUNTY SERVICE AUTHORITY UTILITY STANDARDS MANUAL, WHICH WENT INTO EFFECT ON NOVEMBER 2022. ALL UTILITY PERMITS ISSUED AFTER THIS DATE MUST COMPLY WITH THE CONSTRUCTION CRITERIA IN THE NEW MANUAL, INCLUDING ANY REVISIONS WHICH HAVE BEEN ISSUED.

DESIGNATED PLANS EXAMINER CERTIFICATE

1ST SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

DESIGNATED PLANS EXAMINER	REG. NUMBER	DATE
---------------------------	-------------	------

2ND SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

DESIGNATED PLANS EXAMINER	REG. NUMBER	DATE
---------------------------	-------------	------

BOND ESTIMATE

ITEM	TOWN BOND	VDOT BOND
TOTAL CONSTRUCTION COST	\$451,073.00	\$95,571.50
ADMINISTRATIVE COST	\$45,107.30	\$9,557.15
INFLATION COST	\$13,532.19	\$2,867.15
TOTAL PERFORMANCE BOND AMOUNT	\$509,712.49	\$107,995.80
TOTAL EROSION & SEDIMENT CONTROL ESCROW	\$42,253.20	N/A
LANDSCAPING ESCROW	\$41,097.00	N/A

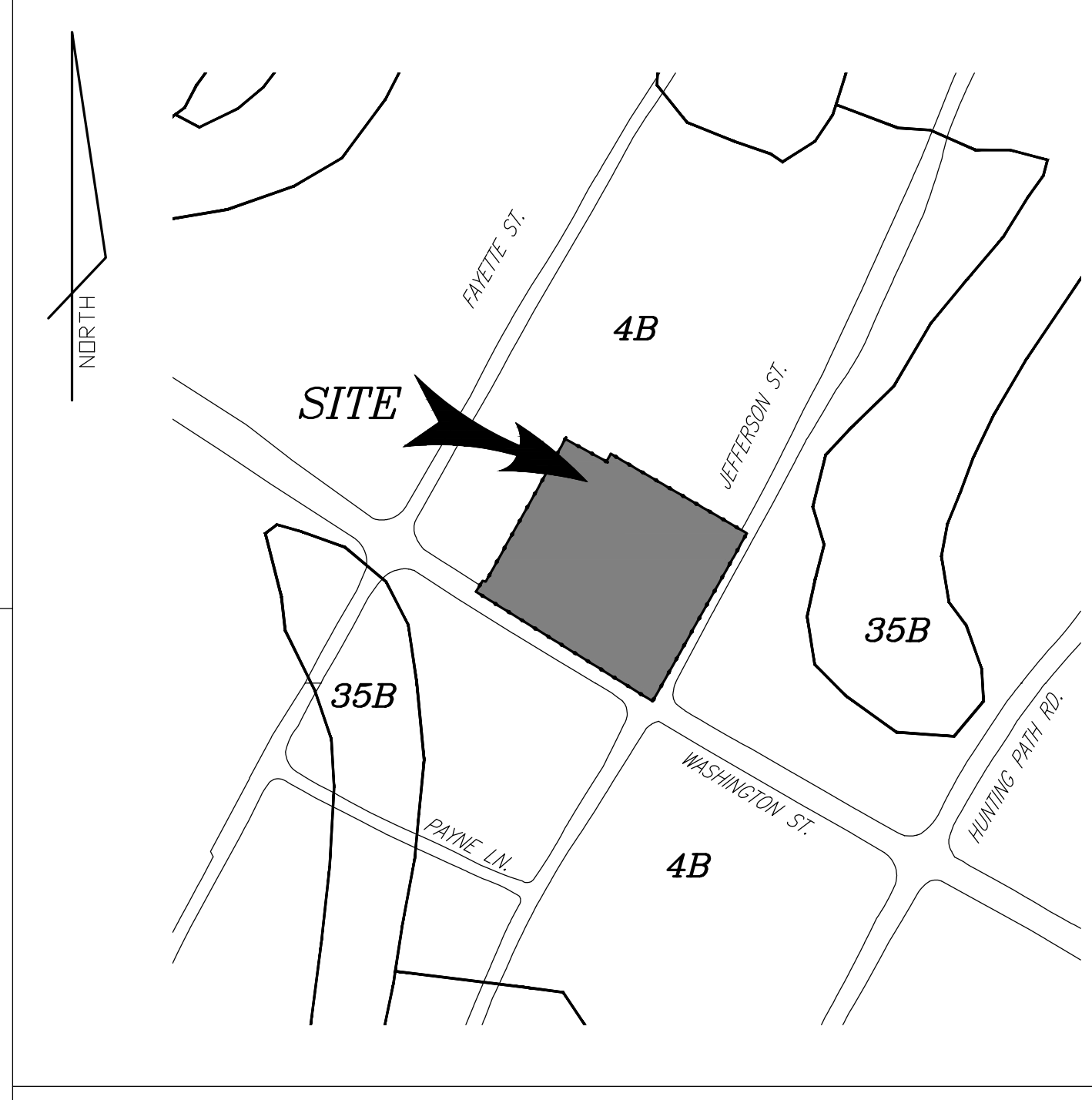
SURVEY INFORMATION

- Horizontal and vertical control surveys were performed by Rinker Design Associates in 2014 and 2022 (Year).
- All elevations are based on the 1988 adjustment.
- Source of topographic mapping is Rinker Design Associates, dated 2014 and 2022.
- Boundary survey was performed by Rinker Design Associates, dated 2014.
- The application of the professional's seal and signature as required by Section 114 of the STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one-half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility.

REVIEWED BY: _____ APPROVED BY: _____

This plan has been reviewed and has been found to be in general conformance with the requirements of Prince William County. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements. If not bonded or permitted (if applicable) within five (5) years of the authorized date or lawfully extended, this authorization will expire. A valid agreement and bond with Prince William County must be maintained to assure plan and permit validity.

SOILS MAP

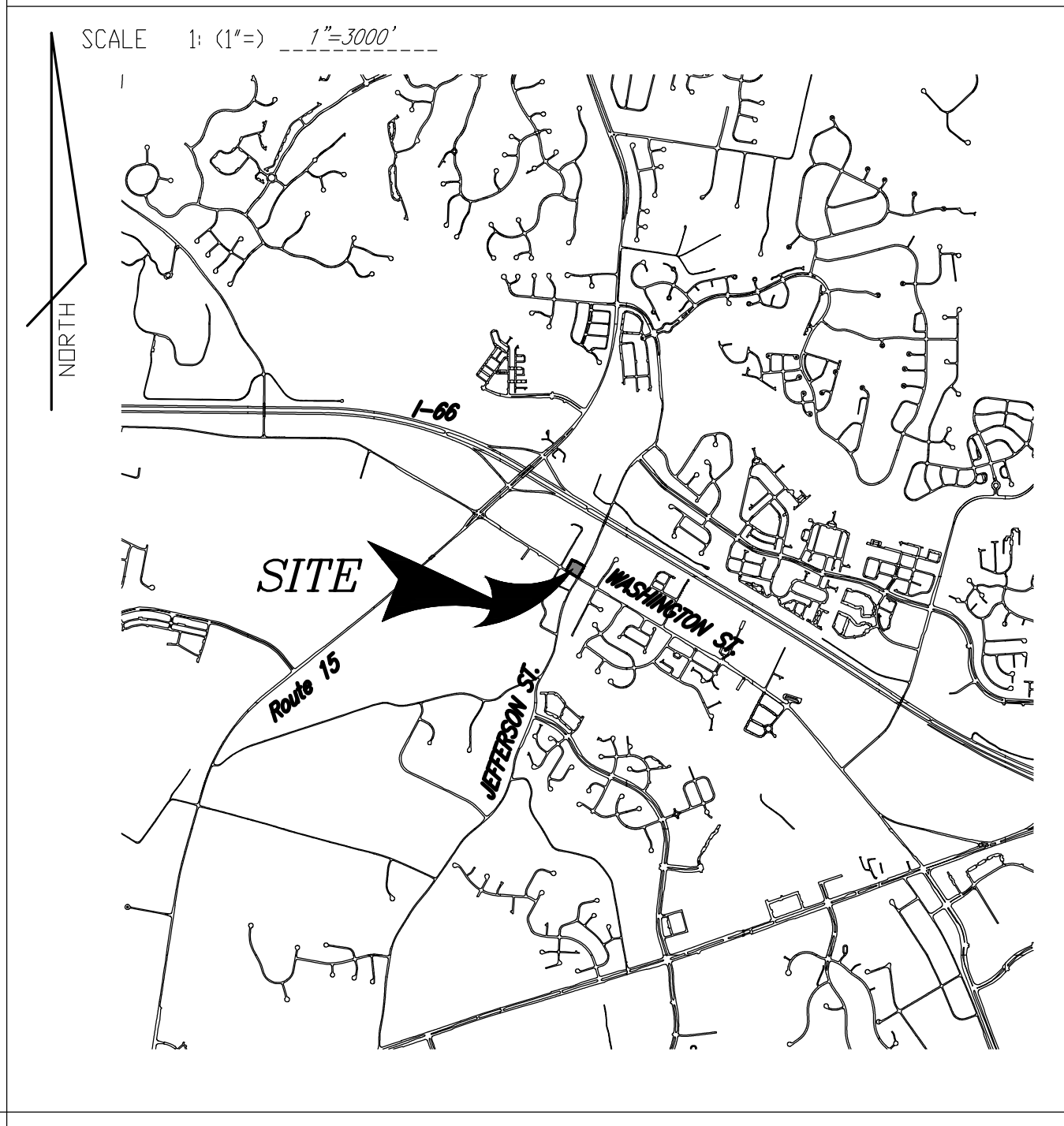


SOIL #	SOIL NAME	SOIL CAT.	SURFACE RUNOFF	EROSION HAZARD	DEPTH TO BEDROCK	SHRINK-FLOODING SWELL	SLOPES
4B	ARCOLA SILT LOAM	2	MEDIUM	SEVERE	20-40" SOFT	LOW NONE	2-7%
35B	MANASSAS SILT LOAM	3	MEDIUM	MODERATE	>60"	LOW RARE	2-7%

REVISIONS

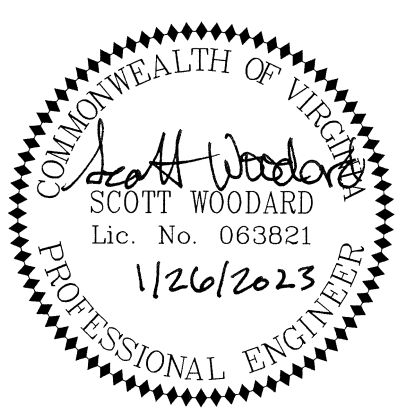
DATE	DESIGNER

VICINITY MAP



SHEET INDEX

C.01 COVER SHEET	C.29-C.30 BMP COMPUTATIONS
C.02 NOTES & DETAILS	C.31 SWM PRE-DEVELOPMENT DRAINAGE MAP
C.03 EXISTING CONDITIONS & DEMOLITION PLAN	C.32 SWM POST-DEVELOPMENT DRAINAGE MAP
C.04 SITE PLAN - PHASE 1	C.33-C.38 STORMTECH DETAILS
C.05 SITE PLAN - PHASE 2	C.39-C.42 SWM COMPUTATIONS
C.06 SITE PLAN - UTILITIES	C.43 SWM & BMP NARRATIVE
C.07 ROAD PROFILES	C.44 WAVERS
C.08 ROAD DETAILS	C.45 TOWN OF HAYMARKET UNIT PRICE LIST
C.09-C.10 E&S NOTES & DETAILS	C.46 VDOT UNIT PRICE LIST
C.11 E&S PHASE 1	C.47-C.48 TURNING EXHIBITS
C.12 E&S PHASE 2	
C.13 STORM SEWER COMPUTATIONS	
C.14 STORM SEWER PROFILES	
C.15 WATERLINE PROFILES	
C.16 SANITARY SEWER PROFILES	
C.17-C.18 PWCSA INFORMATION SHEET	
C.19 PAVEMENT PLAN	
C.20 GRADING DETAILS	
C.21 FIRE LANE PLAN	
C.22 LANDSCAPE PLAN	
C.23 LANDSCAPE PLAN NOTES & DETAILS	
C.24-C.25 LIGHTING PLAN	
C.26-C.27A SIGHT DISTANCE PROFILES	
C.28 BMP MAP	



PROFESSIONAL SEAL & SIGNATURE
 THESE PLANS ARE IN CONFORMANCE WITH TOWN OF HAYMARKET STANDARDS AND ORDINANCES. ANY DEVIATION OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE DIRECTOR OF PLANNING PRIOR TO CONSTRUCTION.

TOWN OF HAYMARKET COVER SHEET

Project Name: HAYMARKET TOWN CENTER REDEVELOPMENT	Project Number: SA2017-0303
Subdivision or Site Plan Name: HAYMARKET TOWN CENTER REDEVELOPMENT	Plan Number: SP20220324
Magisterial District: N/A	Plan Type: SITE PLAN
Present Zoning & Use: B-1, OFFICE	Revision Number: 0
Owner: TOWN OF HAYMARKET	Date of Plan (Month, Day, Year): JANUARY 26, 2023
Developer: TOWN OF HAYMARKET	Contact: EMILY KYRIAZI
Name, Address & Telephone No. of Engineer: RINKER DESIGN ASSOCIATES, P.C.	Phone: 703-753-2600 EXT. 204
Architect or Surveyor certifying Plan: 11100 ENDEAVOR COURT, SUITE 200, MANASSAS, VA 20109	Contact: SCOTT WOODARD
Parcel Identification Number: G.P.I.N. 7298-80-8614, 7298-80-9226, 7298-80-9407, 7298-90-0102, 7298-90-0216	Phone: 703-368-7373
Total Area: 1.50 ACRES	Disturbed Area: 1.60 ACRES
Related Plans Tracking Numbers (Including Rez. & S.U.P.): RELATED PLANS TRACKING NUMBERS: SP2017-003; SA2019-0380; VDOT: 0055-233-045	Impermeable Area: 1.20 ACRES
	BMP Storage/Acre: 156.80 cf/ac

CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	DELTA
C1	13.40'	15.35'	8.64'	14.53'	S88°35'15"W 65°38'02"
C2	5711.98'	4.26'	2.13'	4.26'	N58°08'57"W 0°02'34"
C3	5711.98'	3.70'	1.85'	3.67'	S58°08'47"E 0°02'14"
C4	14.50'	13.47'	7.27'	12.99'	S55°11'01"W 53°13'34"

ABBREVIATIONS

APPROX.	- APPROXIMATE
A=	- ARC LENGTH
B.O.V.	- BLOW OFF VALVE
B.R.L.	- BUILDING RESTRICTION LINE
C.L.	- CENTER LINE
C.O.	- CLEAN OUT
CONC.	- CONCRETE
C&G	- CURB AND GUTTER
D.B.	- DEED BOOK
DRW.	- DRAINAGE
D.I.P.	- DUCTILE IRON PIPE
ESMT.	- EASEMENT
E.P.	- EDGE OF PAVEMENT
ENT.	- ENTRANCE
EX.	- EXISTING
ELEV.	- ELEVATION
5R	- FACE OF CURB RADIUS
F.H.	- FIRE HYDRANT
H.C.	- HANDICAPPED
H.H.	- HAND HOLE
INSTR.#	- INSTRUMENT NUMBER
INV.	- INVERT
LAT.	- LATERAL
L.P.	- LIGHT POLE
LD	- LOADING DOCK
L.S.	- LOADING SPACE
M.H.	- MAN HOLE
MEP	- MECHANICAL/ELECTRICAL/PLUMBING
M.L.S.A	- MULCHED LANDSCAPE AREA
N.F.	- NOW FORMERLY
O.D.	- OVERHEAD DOOR
P.C.	- PAGE
P.V.M.	- PAVEMENT
PVC	- POLYVINYL CHLORIDE
PROP.	- PROPOSED
RCP	- REINFORCED CONCRETE PIPE
RET. WALL	- RETAINING WALL
R/W	- RIGHT OF WAY
SAN.	- SANITARY
SEW.	- SEWER
S.W.	- SIDEWALK
SF	- SQUARE FEET
STM.	- STORM
T.M.	- TAX MAP
TEMP.	- TEMPORARY
T.B.A.	- TO BE ABANDONED
T.B.R.	- TO BE REMOVED
TYP.	- TYPICAL
V.A.	- VAN ACCESSIBLE
W.L.	- WATERLINE
W/M	- WATER METER

LEGEND

PROPOSED	EXISTING	DESCRIPTION
○	○	SANITARY MANHOLE
○	○	SANITARY STRUCTURE NUMBER
○	○	SANITARY CLEAN OUT NUMBER
○	○	SANITARY CLEANOUT
○	○	TELEPHONE MANHOLE
○	○	LIGHT POLE
○	○	WATER VALVE
○	○	FIRE HYDRANT
○	○	WATER METER
○	○	STREET SIGN
○	○	BOLLARD
○	○	STORM SEWER STRUCTURE NUMBER
○	○	HANDICAP SPACE
○	○	FLOW ARROW
○	○	CUY WIRE
○	○	SPOT ELEVATION
○	○	WATERLINE
○	○	LIMITS OF DISTURBANCE
○	○	PROPERTY LINE
○	○	EDGE OF PAVEMENT
○	○	CURB & GUTTER (CG-6)
○	○	STORM SEWER DRAIN
○	○	ITEMS TO BE REMOVED
○	○	TREE LINE
○	○	UTILITY POLE
○	○	VEHICLES PER DAY COUNT
○	○	TEST PIT REQUIRED
○	○	PROPOSED TREE

- NOTES:**
- ALL CURB RADII ARE MEASURED FROM THE FACE OF CURB. ALL CURB RADII ARE 5' UNLESS INDICATED OTHERWISE.
 - THIS SHEET SHOWS ONLY THE PHASE 1 PROPOSED PLAN IMPROVEMENTS.
 - TOWN OF HAYMARKET SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE SIDEWALK AND LIGHTS ALONG JEFFERSON AND WASHINGTON STREETS ON THE SITE FRONTAGE.
 - MAINTENANCE OF ALL PROPOSED SIDEWALK AND HANDICAP RAMPS SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE TOWN OF HAYMARKET.

G.P.I.N. 7298-80-9406
TOWN OF HAYMARKET, VIRGINIA
DB: 2827, PG: 1876
#15025 Washington Street
Zone: B-1, Use: Museum

G.P.I.N. 7298-80-8614
TOWN OF HAYMARKET, VIRGINIA
DB: 2892, PG 1537
#15020 Washington Street
Zone: B-1, Use: Retail

G.P.I.N. 7298-80-9407
TOWN OF HAYMARKET, VIRGINIA
DB: 2892, PG. 1537
#15010 Washington Street
Zone: B-1, Use: Vacant

G.P.I.N. 7297-89-7590
HAYMARKET HOTEL VENTURE, LLC
Instr. #: 20200929008844
#15001 Washington Street
Zone: B-1, Use: Hotel (No Plan # Available)

TOWN "GREEN"
G.P.I.N. 7298-90-0102
TOWN OF HAYMARKET, VIRGINIA
DB: 2892, PG: 1537
#15004 Washington Street
Zone: B-1, Use: Vacant

G.P.I.N. 7297-99-0590
MY GROUP GROWTH, L.C.
Instr. #: 200108310091175
#14951 Washington Street
Zone: B-1, Use: Vacant

G.P.I.N. 7298-80-8124
MCG II, LLC
Instr. #: 201812280092019
#15030 Washington Street
Zone: B-1, Use: Office

G.P.I.N. 7298-80-8734
Bryan A. Garcia
Mary E. Garcia
Instr. #: 200308040141972
#6691 Fayette Street
Zone: R-1, Use: Residential

G.P.I.N. 7298-80-9241
KEVIN B. BLAKEMAN, TR
Instr. #: 202004170030016
#6675 Fayette Street
Zone: R-1, Use: Residential

G.P.I.N. 7298-80-9226
TOWN OF HAYMARKET, VIRGINIA
#15026 Washington Street
Zone: B-1, Use: Civic

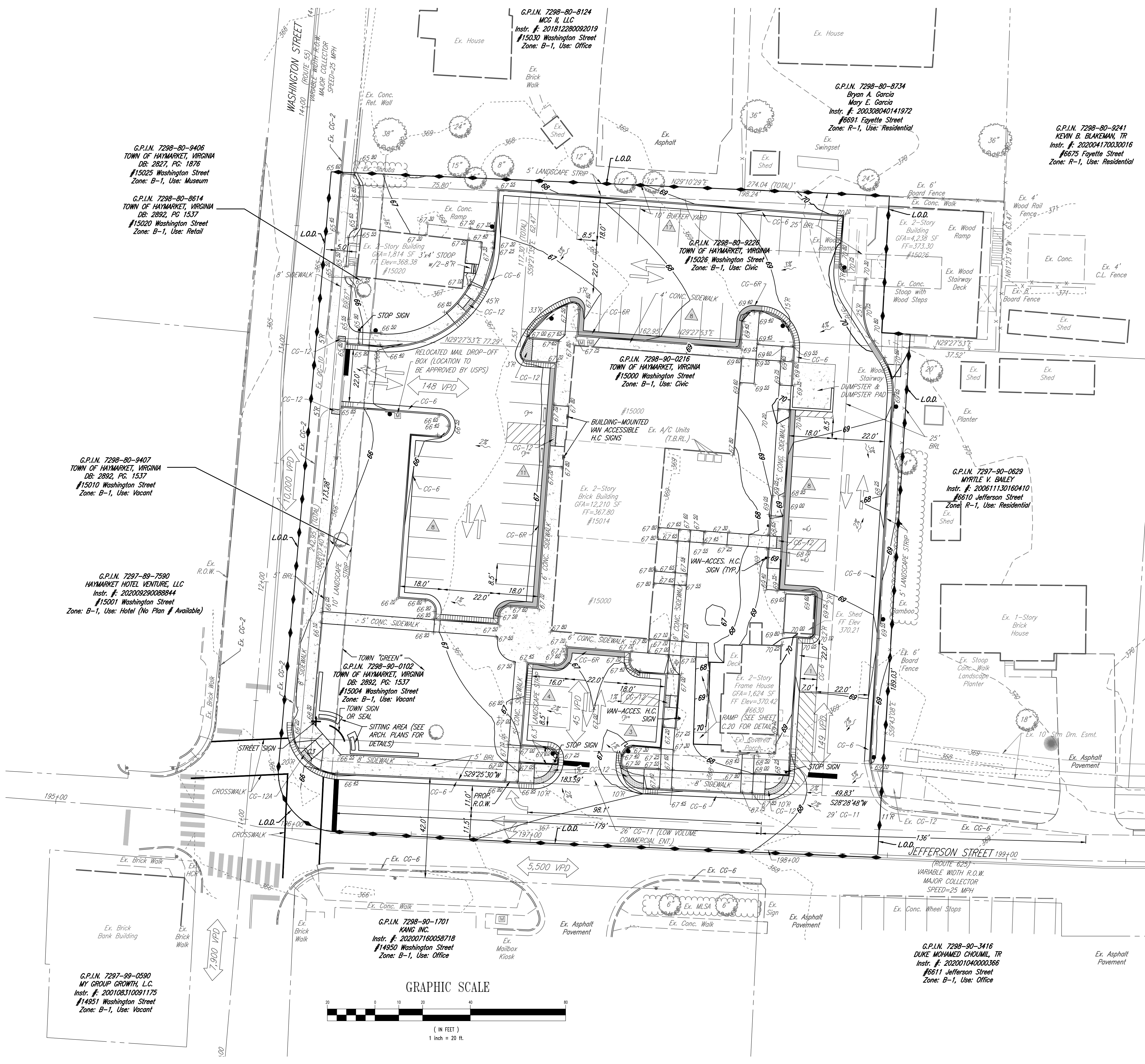
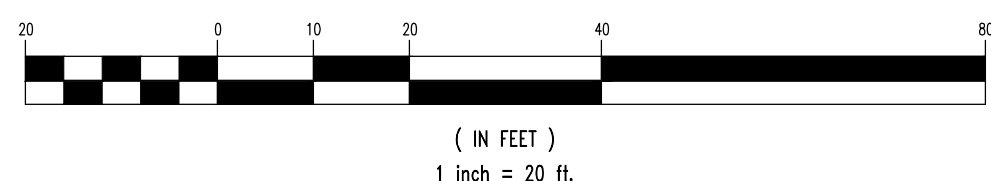
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TOWN OF HAYMARKET, VIRGINIA
#15000 Washington Street
Zone: B-1, Use: Civic

G.P.I.N. 7297-90-0629
MYRTLE V. BAILEY
Instr. #: 200611130160410
#6610 Jefferson Street
Zone: R-1, Use: Residential

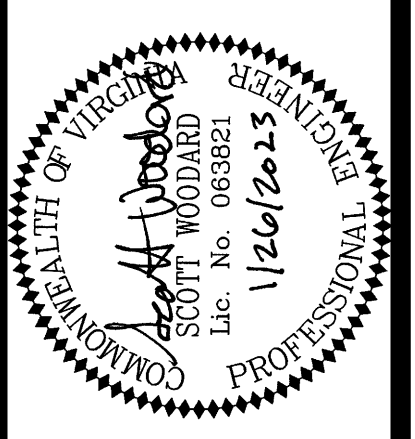
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KANG INC.
Instr. #: 202007160058718
#14950 Washington Street
Zone: B-1, Use: Office

G.P.I.N. 7298-90-3416
DUKE MOHAMED CHUMIL, TR
Instr. #: 202001040000366
#6611 Jefferson Street
Zone: B-1, Use: Office

GRAPHIC SCALE



Rinker Design Associates, P.C.
11100 Endeavor Court, Suite 200, Manassas, VA 20109
Telephone: (703) 368-7373 www.rdcivil.com
Engineering * Surveying * Transportation * Environmental Services

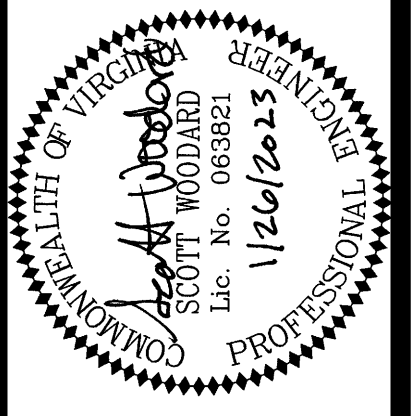


SITE PLAN - PHASE 1
HAYMARKET TOWN CENTER REDEVELOPMENT
TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

PLAN DATE:	JANUARY 26, 2023
DESIGN BY:	JLK, SAW
CHECKED BY:	JLK, SAW
ARCHITECT:	N/A
JURISDICTIONAL PLAN NO.:	SP20220324
RDA PLAN #:	14096-002
SHEET NUMBER:	C.04

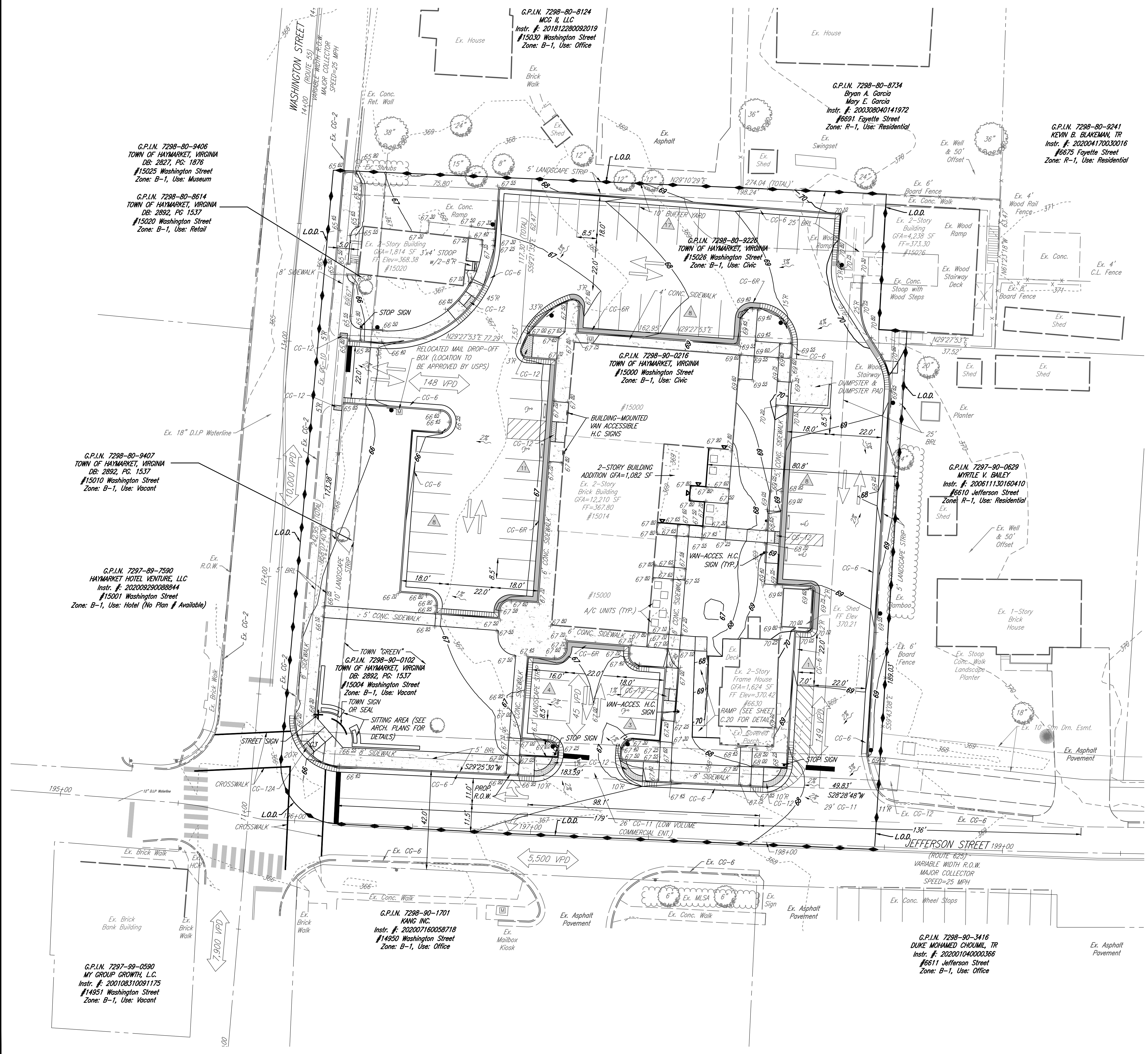
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 Engineering * Surveying * Transportation * Environmental Services



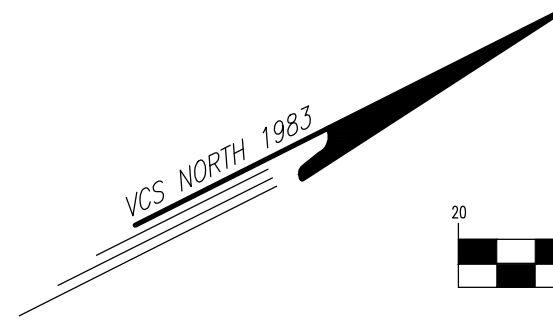
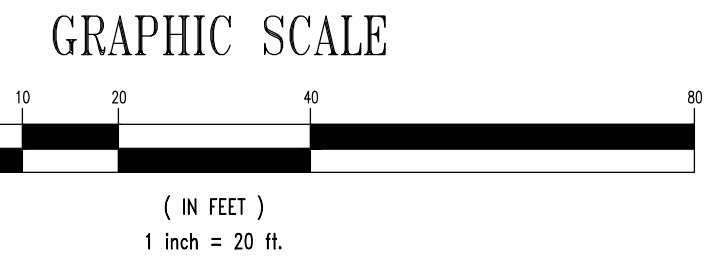
SITE PLAN - PHASE 2
HAYMARKET TOWN CENTER
REDEVELOPMENT
 TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

PLAN DATE:	JANUARY 26, 2023
DESIGN BY:	JLK, SAW
CHECKED BY:	JLK, SAW
ARCHITECT:	N/A
JURISDICTIONAL PLAN NO.:	SP20220324
RDA PLAN #:	14096-002
SHEET NUMBER:	C.05



- NOTES:
- ALL CURB RADII ARE MEASURED FROM THE FACE OF CURB. ALL CURB RADII ARE 5' UNLESS INDICATED OTHERWISE.
 - THIS SHEET SHOWS ONLY THE PHASE 2 PROPOSED PLAN IMPROVEMENTS.
 - MAINTENANCE OF ALL PROPOSED SIDEWALK AND HANDICAP RAMPS SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE TOWN OF HAYMARKET.
 - PRIOR TO THE IMPLEMENTATION OF THE JEFFERSON STREET LANE MARKINGS SHOWN ON THIS SHEET, A TRAFFIC SIGNAL MODIFICATION PLAN SHALL BE PREPARED AND APPROVED BY VDOT, INCLUDING AN EVALUATION OF ANY NECESSARY RECEIVING ALIGNMENT CHANGES ACROSS WASHINGTON STREET.



G.P.I.N. 7298-80-9406
 TOWN OF HAYMARKET, VIRGINIA
 DB: 2827, PG. 1876
 #15025 Washington Street
 Zone: B-1, Use: Museum

G.P.I.N. 7298-80-8614
 TOWN OF HAYMARKET, VIRGINIA
 DB: 2892, PG. 1537
 #15020 Washington Street
 Zone: B-1, Use: Retail

G.P.I.N. 7298-80-9407
 TOWN OF HAYMARKET, VIRGINIA
 DB: 2892, PG. 1537
 #15010 Washington Street
 Zone: B-1, Use: Vacant

G.P.I.N. 7297-89-7590
 HAYMARKET HOTEL VENTURE, LLC
 Instr. #: 20200929008844
 #15001 Washington Street
 Zone: B-1, Use: Hotel (No Plan # Available)

TOWN "GREEN"
 G.P.I.N. 7298-90-0102
 TOWN OF HAYMARKET, VIRGINIA
 DB: 2892, PG. 1537
 #15004 Washington Street
 Zone: B-1, Use: Vacant

G.P.I.N. 7298-90-1701
 KANG INC.
 Instr. #: 202007160058718
 #14950 Washington Street
 Zone: B-1, Use: Office

G.P.I.N. 7297-99-0590
 MY GROUP GROWTH, L.C.
 Instr. #: 200108310091175
 #14951 Washington Street
 Zone: B-1, Use: Vacant

G.P.I.N. 7298-80-8124
 MCG II, LLC
 Instr. #: 201812280092019
 #15030 Washington Street
 Zone: B-1, Use: Office

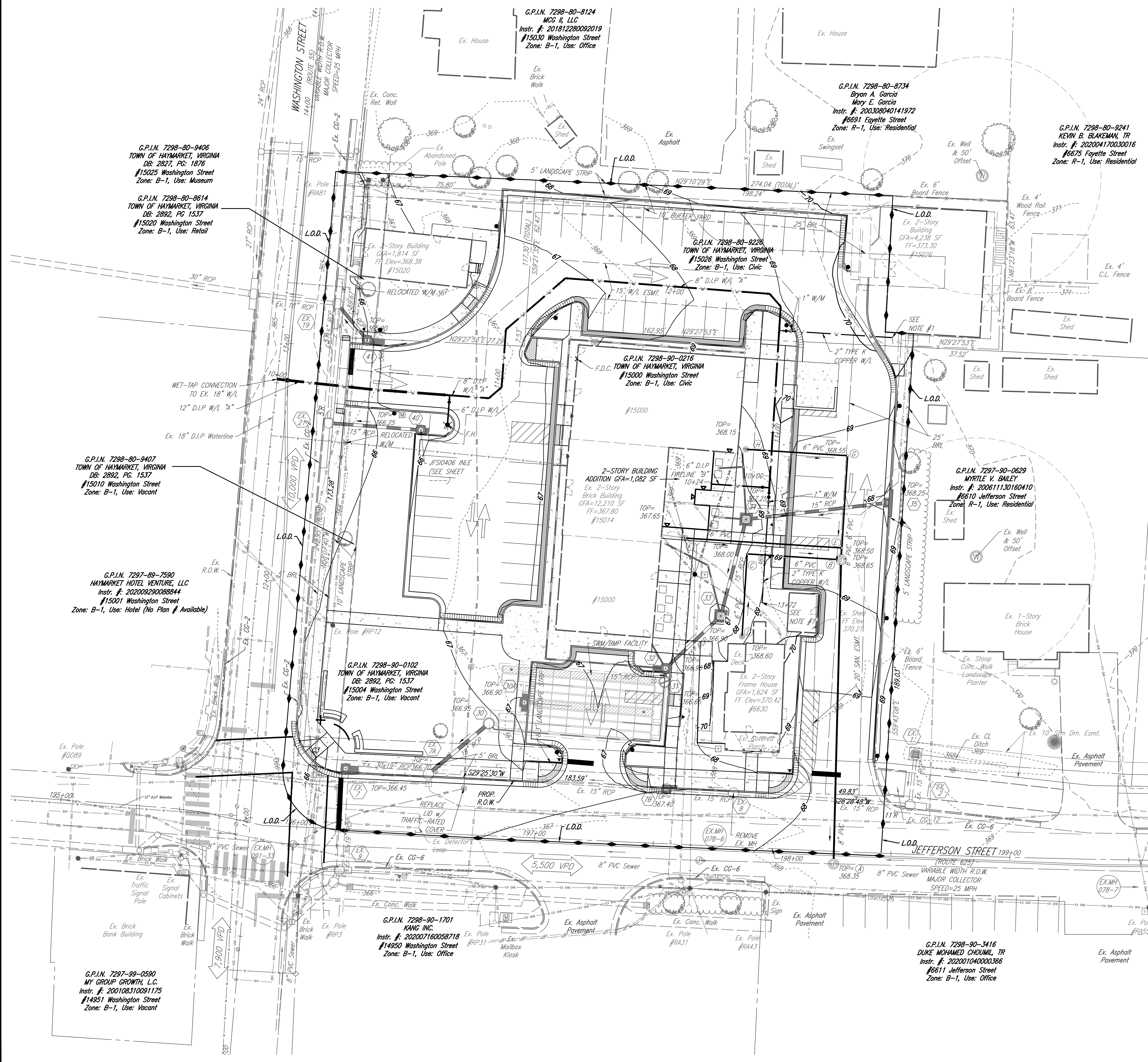
G.P.I.N. 7298-80-9226
 TOWN OF HAYMARKET, VIRGINIA
 #15026 Washington Street
 Zone: B-1, Use: Civic

G.P.I.N. 7298-80-8734
 Bryan A. Garcia
 Mary E. Garcia
 Instr. #: 200308040141972
 #6691 Fayette Street
 Zone: R-1, Use: Residential

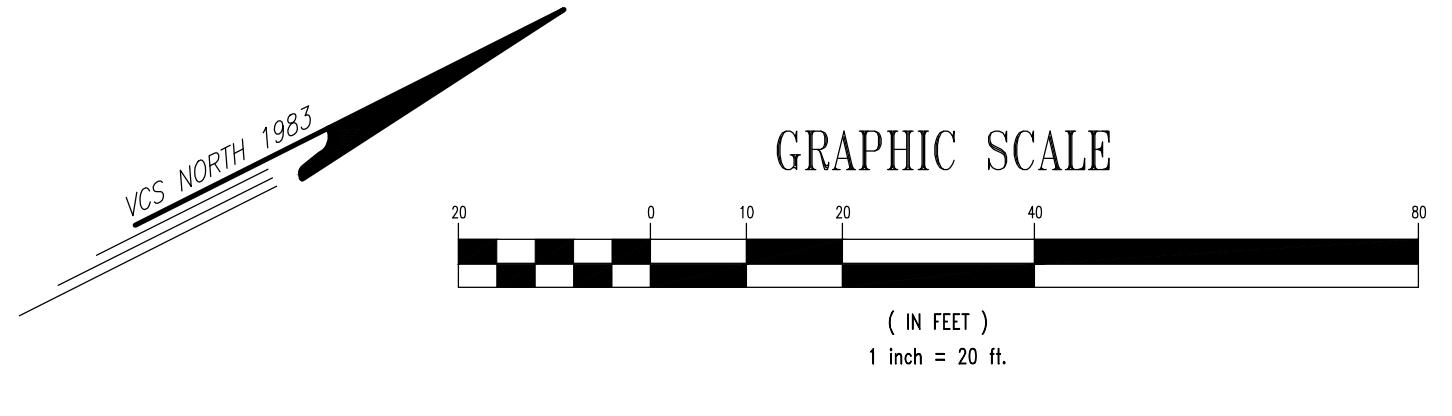
G.P.I.N. 7298-80-9241
 KEVIN B. BLAKEMAN, TR
 Instr. #: 202004170030016
 #6675 Fayette Street
 Zone: R-1, Use: Residential

G.P.I.N. 7297-90-0629
 MYRTLE V. BAILEY
 Instr. #: 200611130160410
 #6610 Jefferson Street
 Zone: R-1, Use: Residential

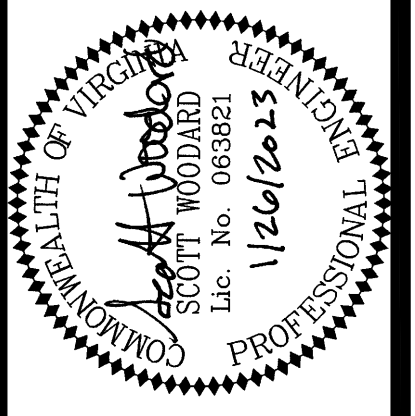
G.P.I.N. 7298-90-3416
 DUKE MOHAMED CHUMIL, TR
 Instr. #: 202001040000366
 #6611 Jefferson Street
 Zone: B-1, Use: Office



- NOTE:
1. CONTRACTOR TO RECONNECT SERVICE TO EXISTING BUILDINGS.
 2. THIS SHEET SHOWS BOTH THE PHASE 1 AND PHASE 2 IMPROVEMENTS. THE CONTRACTOR SHALL ONLY CONSTRUCT THE 8" x 6" TEE AND 6" VALVE FOR THE 6" FIRELINE WITH THE PHASE 1 IMPROVEMENTS. A RESTRAINED PLUG AND CONCRETE KICKER SHALL BE INSTALLED BEHIND THE 6" VALVE, WHICH SHALL BE REMOVED WHEN THE 6" FIRELINE IS CONSTRUCTED WITH THE PHASE 2 IMPROVEMENTS.
 3. SEE SHEET C-13 FOR ROOF DRAIN DETAILS.
 4. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED DRY UTILITY RELOCATIONS WITH EACH UTILITY OWNER FOR THEIR DESIGN AND APPROVAL.
 5. PRIOR TO THE IMPLEMENTATION OF THE JEFFERSON STREET LANE MARKINGS SHOWN ON THIS SHEET, A TRAFFIC SIGNAL MODIFICATION PLAN SHALL BE PREPARED AND APPROVED BY VDOT, INCLUDING AN EVALUATION OF ANY NECESSARY RECEIVING ALIGNMENT CHANGES ACROSS WASHINGTON STREET.



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 Engineering * Surveying * Transportation * Environmental Services



SITE PLAN - UTILITIES
HAYMARKET TOWN CENTER REDEVELOPMENT
 TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

PLAN DATE:	JANUARY 26, 2023
DESIGN BY:	JLK, SAW
CHECKED BY:	JLK, SAW
ARCHITECT:	N/A
JURISDICTIONAL PLAN NO.	SP20220324
RDA PLAN #:	14096-002
SHEET NUMBER:	C.06



RINKER DESIGN ASSOCIATES, P.C.

Engineering • Surveying • Land Planning
Transportation • Right of Way • Environmental

January 24, 2023

Katie McDaniel
Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169

Re: Town Plan Number: **SP20220324**
PWCSA Plan Number: **SA2017-0303**
Plan Name: **Haymarket Town Center Redevelopment**
RDA#: **14096-002**

Dear Katie:

Rinker Design Associates, P.C. (RDA) has completed the necessary revisions to the above referenced plan per the comments. In response to your 1st submission comments, we offer the following responses for the 2nd submission of the plan. The comments and our responses are as follows:

Review Comments:

1. Tops of structures 7 and 7A are inconsistent between profile and storm comps/plan. Can DI-2 structures be used to reduce the spread at inlets 41 and 35?

Response: The profile structure top label has been revised to indicate the tops shown are the existing elevations. The proposed tops (matching the computations and site plan sheets) are called out separately with leaders in the profiles. The grading has been revised to reduce the spread at #41. #35 has been modified to a DI-2 to provide additional drainage capacity.

2. Show detectable warnings at all proposed curb ramps including where the sidewalk crosses the Washington Street entrance to the site.

Response: Detectable warnings have been added to the Washington Street site entrance as requested.

3. Several notes still have incorrect references.
 - a. Update DCSM reference in Erosion/Sediment Control Measures section of Erosion/Sediment Control Narrative to Haymarket Zoning and Subdivision Ordinance.
 - b. Update inspector reference in Management Strategies note 5 to Town rather than County.
 - c. Item 2 in Phase 2 Sediment and Erosion Control Program references PWC. Blasting will not be permitted on this project.
 - d. Items 2 and 8 in the General Erosion and Sediment Control Notes reference the DCSM. Update.
 - e. Utility Note U1 refers to the County Inspector.

Response: All notes have been checked and revised.

4. Indicate signal work proposed with Phase 2 in site/grading plan in addition to utility plan so that it is clear a separate plan is needed with the construction of the Phase 2 improvements.

Response: A note has been added to the Phase 2 sheet as requested.

5. Provide documentation of comments and approvals from outside agencies.

Response: Documentation will be provided once available.

We feel that we have fully addressed all of the comments and hope you will all find the above responses adequate. If you have any questions or need any additional information, please don't hesitate to contact me at swoodard@rdacivil.com or 571-719-6461. Thank you for your attention to this matter.

Sincerely,



Scott Woodard, PE, SIT
Lead Designer