



TOWN OF HAYMARKET PLANNING COMMISSION
REGULAR MEETING
~ AGENDA ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, December 21, 2020

7:00 PM

Council Chambers

I. Call To Order

II. Pledge of Allegiance

III. Moment of Silence

IV. Citizen's Time

V. Minute Approval

1. Planning Commission - Regular Meeting - Nov 16, 2020 7:00 PM

VI. Agenda Items

1. Consideration of Special Use Permit Application - 14600 Washington Street
2. McDonald's Site Plan for Secnd Drive Thru
3. 2021 Meeting Schedule

VII. Old Business

1. Zoning Text Amendment Work Session Continued - If Needed

VIII. New Business

IX. ARB Updates

X. Town Council Updates

XI. Adjournment



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, November 16, 2020

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call To Order

Chairman Matt Caudle: Present, Councilman Bob Weir: Present, Commissioner Aayush Kharel: Absent, Commissioner Robert Hallet: Present, Commissioner Jackie Walker: Absent, Commissioner Alexander Beyene: Present, Commissioner Chuck Mason: Present.

II. Pledge of Allegiance

Chairman Matt Caudle invited everyone to stand for the Pledge of Allegiance followed by a Moment of Silence.

III. Moment of Silence

IV. Citizen's Time

Mayor Luersen was in attendance at the evening's meeting to welcome Chuck Mason as the newest member to the Haymarket Planning Commission.

V. Crossroads Village Concept Presentation

Town Planner Emily Lockhart shared with the Planning Commission that the owner of the Crossroads Village Center was in attendance at the evening's meeting to give an update on their upcoming submission which will include 2 amended Special Use Permits as well as an amendment to the site plan. Ms. Lockhart invited Mr. Don Wooden to the podium to share with the Planning Commission the concept going forward and what was previously discussed. Mr. Wooden gave a quick overview of the site plan. He shared that an agreement has been reached with Lidl Grocery. He showed the location of that site. He also shared that they have reached an agreement with Starbucks Coffee, which will be one of the SUP's that will be coming up before the Commission. He continued to share that they are in negotiations with additional tenants at various sites on the property. He pointed out the area of the 77 townhomes that were already approved. Mr. Wooden shared that the other SUP will be for 72 two over two town home units. He stated that Meladon exhausted all the possibilities of any hospitality or retail use at the back of the property which is where the two over two town homes would be located. Mr. Wooden went into a further explanation of the two over two concept. Lastly in Mr. Wooden's presentation was elevation and design plan for Lidl Grocery and for the Starbucks site.

After Mr. Meladon's presentation, there was a short question and answer period on the concept.

VI. Minute Approval

- 1. Planning Commission - Public Hearing/Regular Meeting - Sep 21, 2020 7:00 PM
Councilman Weir moved to accept the minutes from the September 21, 2020 meeting.
Commissioner Hallet seconded the motion. The motion carried.

Minutes Acceptance: Minutes of Nov 16, 2020 7:00 PM (Minute Approval)

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Bob Weir, Councilman
SECONDER:	Robert Hallet, Commissioner
AYES:	Caudle, Weir, Hallet, Beyene, Mason
ABSENT:	Aayush Kharel, Jackie Walker

VII. Agenda Items

1. QBE Special Use Permit - Residential Condos

Town Planner Emily Lockhart shared that this item was on the agenda at this evening's meeting because it was deferred until the Town Council made a decision on the proffer amendment application at their November 2nd public hearing. Ms. Lockhart shared that no decision was made at that meeting. She stated that the consideration of proffer amendment was tabled until the December Town Council meeting. She continued to state that this item could be deferred until after the Town Council December Regular Meeting. Councilman Weir provided some information on the subject of the November Town Council public hearing regarding the proffer amendment.

2. SUP Consideration 14600 Washington Street

Councilman Weir moved to defer further consideration of the QBE Special Use Permit until the December meeting of the Planning Commission. Commissioner Beyenne seconded the motion. The motion carried by a roll call vote.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Bob Weir, Councilman
SECONDER:	Alexander Beyene, Commissioner
AYES:	Caudle, Weir, Hallet, Beyene, Mason
ABSENT:	Aayush Kharel, Jackie Walker

3. Van Metre Site Plan Review

Town Planner Emily Lockhart introduced the representatives from Van Metre for consideration of the site plan for 38 town homes located at the 14850 and 14860 Washington Street. Ms. Lockhart shared that at the last Planning Commission meeting, there was a question about the vehicle trips per day. Ms. Lockhart stated that the correct number of vehicle trips per day was 1136 for this site. Ms. Lockhart also shared that she worked closely with the Town's Engineer with reviewing the plans and submitted their second round of comments to the applicant and waiting on outside agencies for comments. She shared that her second round of comments were mostly administrative and recommended to approve the site plan with conditional approval that it would be released once all outside agencies comments have been approved and submitted to the Town. She invited the representative to the podium and the representative that was on via Zoom to answer any questions from the Planning Commission. The representative on Zoom gave a brief presentation on the site plan. A short question and answer period followed.

Commissioner Beyenne moved that the Planning Commission to conditionally approve the Robinson Village Site Plan, with the following conditions; all outside agencies approvals must be received and all outstanding Town Engineer and Town Planner comments must be adequately addressed prior to the approval signature from the Town Zoning Administrator. Commissioner Hallet seconded the motion. The motion carried by a roll call vote.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Alexander Beyene, Commissioner
SECONDER:	Robert Hallet, Commissioner
AYES:	Caudle, Weir, Hallet, Beyene, Mason
ABSENT:	Aayush Kharel, Jackie Walker

4. One Mile Review - Lightner Road

Minutes Acceptance: Minutes of Nov 16, 2020 7:00 PM (Minute Approval)

Town Planner Emily Lockhart shared that the Town has received a one mile review from Prince William County for the Utterback community on Lightner Road. Ms Lockhart stated that Prince William County is asking to receive comments from the Town after reviewing the plan. She stated that she would like to hear concerns or comments from the Planning Commission to give back to the County. At this time, Ms. Lockhart asked Councilman Weir to provide some information to the Commissioners on this project since he is most familiar with the project. Mr. Weir shared that this project has been sitting on the County books for quite sometime. He stated that one of the principle issues through the County and VDOT was the ingress and egress. He stated from a transportation standpoint, there was a concern whether a single ingress and egress into a 240 home subdivision would be enough. He stated that he could not find a second ingress/egress point on the plan. He also stated that there are a variety of issues but particularly the student population numbers from these homes that would flood the area schools.

Ms. Lockhart stated that her comments to the County will be the Town's concerns on the density of the project as well as the traffic and school impact concerns. She stated that the Planning Commission could take time to review the project and provide any other concerns via email prior to the deadline.

VIII. New Business

1. McDonald's Site Plan, 2Nd Drive-Thru - Informational

Town Planner Emily Lockhart stated that the site plans for the Mc Donalds second drive thru was provided so that the Commission can start to review it prior to it coming before them at the December meeting. She gave some background information on the application and also some history on the project. There was a short discussion on the site plan and the changes made from what they currently have.

2. Zoning Text Amendment Discussion

Town Planner Emily Lockhart stated that the Town Council has tasked the Planning Commission to update the Zoning Text Amendment. She shared that the draft presented at the evening's meeting has some suggested changes and recommendations of where to start. Ms. Lockhart asked for the Planning Commission to review the draft and send any edits or changes before the next meeting. There was a discussion on having a work session to work on the document. It was agreed to schedule a work session one hour before the regular monthly meeting on December 21.

IX. Old Business

Town Planner Emily Lockhart gave the updates on the Haymarket Hotel project. She stated that there is a scheduled site visit to verify all procedures are being followed in regards to erosion and sediment control. Ms. Lockhart also shared that the Jefferson Street pedestrian project was finished and that a site walk through is scheduled for later in the week.

Ms Lockhart also shared that staff is working with VDOT and the contractor who recently paved Washington Street about the crosswalks that were placed. She stated that the contractor put down the wrong crosswalks and staff is working to get that corrected.

Ms. Lockhart informed the Planning Commission that the old BB&T bank building is being renovated and will be the home of a dentist who is relocating his office from another building in Town.

Lastly, Ms. Lockhart shared that the Shops at Haymarket on Leaberry Way was sold to a developer from Maryland and that the old Food Lion building will be the home to Aldi Grocery. She shared that Aldi will occupy one half of the building and will lease the other half. She stated that they will be coming to the ARB meeting to present their first round of design plans for the outside of the building.

The Planning Commission discussed the Crossroads Village Concept that was presented earlier that evening. Ms. Lockhart gave some information regarding the Special Use Permit application for the Starbucks and the changes to the original site plan.

X. ARB Updates

Ms. Lockhart shared that the ARB did not meet last month. She provided some information that the ARB will be hearing at their November meeting scheduled later that week.

XI. Town Council Updates

Councilman Weir gave brief updates from the Town Council meeting. Mr. Weir stated that the Town Council would like to see the Planning Commission start working on the Comp Plan after they finish the Zoning Text Amendment.

XII. Adjournment

With no further business before the Planning Commission, Councilman Weir motioned to adjourn with a second by Commissioner Hallet. The motion carried.

1. Motion to Adjourn

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Bob Weir, Councilman
SECONDER:	Robert Hallet, Commissioner
AYES:	Caudle, Weir, Hallet, Beyene, Mason
ABSENT:	Aayush Kharel, Jackie Walker

Submitted:

Approved:

Kim Henry, Clerk of the Council

Matt Caudle, Chairman

Minutes Acceptance: Minutes of Nov 16, 2020 7:00 PM (Minute Approval)



Emily K. Lockhart
Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart

DATE: December 11, 2020

SUBJECT: SUP#2020-002 – 30 Residential Condominiums, Development Narrative and Generalized Development Plan

December Town Planner Report Update Summary and Recommendation:

Applicant, Haymarket Properties Group previously submitted a Special Use Permit for 30 residential condominiums to be located at 14600 Washington Street, in a multi-use 4 story structure. The Town Planner and Town Manager worked with the applicant to address concerns and questions through several meetings, emails and conversations from June to August 31st. The applicant has not addressed the final comments sent at the end of August to date.

Town Planner recommends Denial of the Special Use Permit for the following reasons; the applicant has failed to address the concerns and comments from August 2020, the residents of Haymarket have voiced their concerns and requests for denial for the last six months, and lastly, the designated land for the SUP in the GDP has been rejected for a Proffer Amendment by the Town Council.

For the complete Resolution of Denial by Town Council please see next attachment in the agenda.

Draft Motion: “I move the Planning Commission recommend denial to the Town Council for the Special Use Permit, 2020-002 for 30 residential condominiums to be located at 14600 Washington Street, on the following basis, the applicant has not addressed the Town Planner’s comments from August 31st regarding parking concerns, the Haymarket residents have voiced overwhelming requests for denial for the past six months and the land in which would be utilized for the SUP was denied a Proffer Amendment by the Town Council.”

Or an alternate motion.

September Town Planner Report Application Summary:

Applicant, Haymarket Properties Group has submitted an updated Generalized Development Plan for the SUP for 30 residential condominiums to be located at 14600 Washington Street, Haymarket. The applicant has a Proffer Amendment application before the Planning Commission for Public Hearing on September 21st to modify the approved 2013 Proffer on the property from 4.51 acres to 0 acres.

The applicant has provided a Development Narrative, Proposed General Development Site Plan, Conditions of Approval and a Proffer Amendment. The documents were modified and resubmitted June 25, 2020. The applicant previously provided responses to the first round of comments, these responses can be located in the July 2020 Planning Commission Agenda Packet.

At the June Meeting the applicant pulled the SUP#2020-001 for the Drive Thru Use.

The Zoning Ordinance requires the following standards to be considered and met prior to approval.

- (1) *The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*
- (2) *The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*
- (3) *The proposed use shall not adversely affect the use or values of surrounding properties and structures.*
- (4) *The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.*
- (5) *Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*
- (6) *Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.*

The Town Planner's Original Comments from 6/9/2020 are below, the most recent comments sent to the applicant reflecting the feedback from the Planning Commission and Staff comments are attached in the document following, dated 8/31/2020.

Original Comments 6/9/2020

The Development Package is Incomplete and needs to address the following comments:

General Development Plan:

- **Page 3 GDP: Existing conditions is not an accurate depiction of the current site and needs to be updated to show ALL existing conditions. See below items to name a few.**
 - Does not show Cookies and Cream Structure
 - Does not show the removal of the playgrounds
 - Does not show the recent site plan amendment for Zandra's
 - Does not show the curb/gutter work and additional parking along the building
 - The eastern tree line has been significantly modified
 - Does not show the storage sheds located in the north eastern corner
 - Does not depict the frontage changes
 - Adjoining and abutting property descriptions incomplete
 - Existing dumpster not depicted
- **No Scale on the GDP**
- **No North Arrow on the GDP**
- **Page 4 GDP: Proposed conditions**
 - Parking Spaces are not delineated on the plan
 - No delineation of travelways on the plan
 - Points of Ingress/Egress are not clearly delineated with one- or two-way travel ways
 - Are the parallel parking spaces proposed on Bleight Drive for private use only? Cannot restrict parking on a public right of way. Provide additional information
 - Sidewalks/Pedestrian Walkways are not depicted along right of ways or within property
 - No dumpsters shown on the plan for retail, restaurant, commercial or residential uses
 - No handicap parking shown on plan
- **Parking Tabulation**
 - Need to include restaurant parking requirements, as it differs from the Commercial parking.
 - Retail Store parking is 1 per 250 SF of GFA, not 1 per 300 SF of GFA
 - Retail store parking requires the following for loading zones; None for the first 10,000 SF then 1/30,000 up to 70,000 SF **plus** 1/100,000 SF thereafter. Please include the proper loading zones and ensure adequate travelways for the loading zone
 - Office parking is 1 per 300 SF of GFA
- **SUP#2020-001, Drive Thru Request**
 - No stacking spaces shown on the plan, see above table for requirements

- No delineation of travelways on parcel
 - Vehicular Ingress/Egress not shown on plan
 - Pedestrian Ingress/Egress not shown on plan
 - Dumpster location not shown on plan
 - No indication of the drive thru window location
 - No proposed signage for vehicular traffic or pedestrians
 - 32 parking spaces required, please clarify the location of the required parking spaces
 - No information of the hours of operation
 - No reference to the front of the structure or the main entry
 - No elevations of the structure provided
- **SUP#2020-002, 30 Residential Condominiums**
 - No square footage for the third and fourth floor provided
 - Is residential parking reserved? If so, where?
 - How many bedrooms per unit? Variety of unit types?
 - Expected number of residents in the building?
 - Will residential amenities be provided?
 - No elevations of the 4-story structure provided
 - Where is residential access on the building? Is residential access restricted and separate from the commercial access?
 - Will the structure have an elevator?
 - Will the structure have trash dumpsters or a trash service? Dumpsters should be shown on the plan
 - Will dumpsters be shared with the retail/commercial tenants?
 - Will the underground garage parking have public access?
 - No green space for residents
 - Will the property have a Condo Owner Association? Who maintains the common space?
 - Show full building footprint on plan
 - No information on the hours of operation for the commercial spaces on the first and second floors as well as the entire site
 - Will visitor parking be provided for the residential condominiums?
- **Development Narrative Comments**
 - Provide the date of the current GDP in the first paragraph
 - Special Use Proposal states that outdoor seating will be provided. Outdoor seating is not depicted on the GDP. Update GDP to depict the outdoor seating
 - Development Narrative states the project will preserve 3 ballfields to the north of the property – only 2 ballfields are shown on the proposed plan. Update the GDP to depict the proper number of ballfields

- **Proffer Amendment Statement**
 - Provide the approved 2013 Proffer Amendment for review
- **Conditions of Approval**
 - Transportation 5.1. – Sidewalks and other street enhancements are required per the Zoning Ordinance
- **Other Comments**
 - No traffic impact analysis provided. The traffic will be significantly impacted by the proposed changes
 - No elevations for the SUPs provided
 - No environmental analysis or stormwater calculations
 - No outside agencies comments received yet. VDOT, PWCSA, PWC
 - No additional proffers provided or considered for Schools, Fire Department, Public Safety, Transportation
 - Can Bleight Drive handle the increased traffic flow and the addition of the parallel parking?
 - No turn lanes provided on Washington Street for the entry points
 - Provide clarification on the north eastern apartment, is the apartment on the first floor? If so, a SUP will be required for this residential space.

Planner Recommendation:

The application is incomplete and missing the above items. Please review the comments and provide responses or additional information for the application.

Town Planner Review of SUP#2020-002, Proposed Residential Condominiums at 14600 Washington Street.

SUP Request Summary: *“the applicant proposes to develop 53,250 square feet of the Property zoned B-1 via special use permit to allow thirty (30) residential condominium dwelling units. The proposed plan locates the residential condominiums on the 3rd and 4th floor of the new proposed multiuse building as shown on the GDP.”*

The Zoning Ordinance requires the following standards to be considered and met prior to approval.

- (1) *The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*

The Comprehensive Plan calls for a mix of residential and commercial uses to facilitate long term economic potential and positive growth for the Town. The residential condominiums would be in accordance with the intent to blend the residential and commercial uses in the Town Center Zoning Districts.

- (2) *The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*

Zoning Ordinance, Sec. 58-10.1 - Intent.

“The Town Center District, B-1, provides primarily for retail shopping and personal services to be developed either as a unit or in individual parcels oriented to attracting pedestrian shoppers, tourism and local convenience. Recognizing the economic value of the existing historical area, it shall further be the intent of the district to encourage the retention and rehabilitation of structures and uses in the district that have historic and/or architectural significance. The range, size, hours of operation, lighting, signs and other developmental aspects of permitted uses may be limited in order to enhance the general character and historic nature of the district.”

The proposed use of the 3rd and 4th floors of the multi-use building for residential condominiums is not clearly defined as the intent of the Town Center District, B-1, as stated above. However, the addition of the residential units may provide an opportunity to blend the Town Center district with the surrounding residential district to create a less intrusive blending of the districts.

- (3) *The proposed use shall not adversely affect the use or values of surrounding properties and structures.*

The proposed uses for the structure are in keeping with the intent of the zoning district and will blend the residential units with surrounding residential districts. However, the significantly increased volume of vehicle trips per day on the site due to the structure may adversely affect the surrounding properties. Additional information regarding the traffic impacts would be necessary to appropriately determine the adverse effects on the surrounding uses and properties.

There is no indication the proposed-mixed-use structure will decrease the values of the surrounding properties, however for the most accurate information an additional study on the economic value would need to be performed. There is an indication that the adjacent and surrounding residential properties could be affected by the development’s traffic flow and commercial uses during the pm hours. However, the proposed commercial development is a by-right use.

- (4) *The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.*

The proposed addition of residential condominiums shows no indication of adversely affecting the health, safety, or general welfare of the adjacent properties or surrounding residential communities. However, there is indication that the increased traffic volume due to vehicular trips per day from the site may impact the residential communities that currently utilize Bleight Drive.

- (5) *Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

The vehicular traffic along Bleight Drive will be impacted with the new entry/exit and added vehicular trips per day. Proper traffic studies and impact analysis shall be prepared along with projected vehicle trips per day. Since Bleight Drive is currently a lower-volume route, primarily serving the residential communities of Villages of Haymarket, Alexandra's Keep and single family homes on Bleight, it will be pertinent to not impede traffic, rather the improvements shall enhance the movement and flow through the proposed site, existing roadway and intersection.

- (6) *Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.*

Utilities, drainage, loading zones and other necessary facilities will be addressed at the site plan phase, currently there is no indication that the General Development Plan addresses all of these utilities adequately. Parking has been clearly delineated on the General Development Plan, to include underground garage parking at the residential condominium structure.

Planner Recommendation:

The Town Planner has sent comments to the applicant expressing concerns from the Planning Commission as well as Town Staff in regard to the SUP#2020-002 for the 30 Residential Condos. The comments were sent on August 31, 2020. The applicant has not responded nor acknowledged receipt of the comments.

At this time, the Town Planner recommends the Planning Commission not take further action on the SUP#2020-002 application until the comments and concerns are adequately addressed. At this time, the Town Planner does not recommend approval until further information is provided regarding the parking comments sent on 8/31/2020. (This is the previous Report's recommendation – updated recommendation on page 1 of report, see above. This recommendation remains for the sake of reviewing previous report and comments)



**HAYMARKET TOWN COUNCIL
RESOLUTION #2020-20**

**RESOLUTION DENYING REQUEST FOR AMENDMENT TO PROFFERS IN
#REZ20130528**

WHEREAS the Code of Virginia empowers the Haymarket Town Council to review land use applications to ensure the health, safety and general welfare of the public, and

WHEREAS the Town Council in 2013 approved rezoning #REZ20130528 for the former PACE West School property (the “Property”), subject to proffers (the “Proffers”), in connection with the sale of that property by the Prince William County School Board and the creation of a long-term lease for use of the existing ballfields, and further contingent upon a boundary line adjustment to bring the entirety of the Property into the Town limits, and

WHEREAS the Proffers included a commitment to “maintain and make available for recreational field use approximately 4.51 acres adjacent to the existing school building as illustrated” in an attachment to the Proffers (the “Ballfields”); this commitment was to continue “so long as a public or private partner is willing to enter into a commercially reasonable form of lease agreement at a fair market price,” subject to termination after one year of non-use and notice to the Town of such non-use, and

WHEREAS the Town has adopted a zoning ordinance codified as Articles I through XIX of Chapter 58 of the Town Code of Ordinances for the purpose of promoting the health, safety and general welfare of the public and of further accomplishing the objectives of Code of Virginia, §§ 15.2-2200 and 15.2-2283, and

WHEREAS Virginia Code § 15.2-2286 (A)(7) provides for amendment of existing zoning ordinances “[w]henver the public necessity, convenience, general welfare, or good zoning practice requires,” and

WHEREAS Section 58-3.9 of the Town Code provides that the Town Planning Commission make recommendations, and the Town Council make decisions, regarding any proposed zoning amendments based on criteria set out in that section, and

WHEREAS Haymarket Properties Group, LLC (“Applicant”), the owner of the Property, has requested an amendment to the Proffers, which constitutes an amendment to the zoning ordinance, and

WHEREAS Applicant submitted a proffer amendment application dated June 1, 2020, requesting an amendment to the Proffers reducing the acreage for the Ballfields from 4.51 acres to 2.05 acres (the “June 1 Application:”), and

WHEREAS Applicant submitted a proffer amendment application dated June 24, 2020 (the “June 24 Application”), which – without seeking to withdraw the June 1, 2020 application – requested an amendment to the Proffers to remove all restrictions on the Ballfields upon the expiration or termination of the current lease of the Ballfields to the Board of County Supervisors of Prince William County (the June 1 Application and the June 24 Application are collectively referred to hereinafter as the “Application”), and

WHEREAS the Prince William County Parks and Recreation Department (“Parks and Rec”) is currently making use of all of the Ballfields pursuant to the County’s lease from the Applicant, and Parks and Rec desires to continue such use and desires additional park acreage in the western portion of Prince William County, and

WHEREAS the Applicant has not fully complied with the conditions of the Proffers inasmuch as it has not diligently pursued approval of a Final Site Plan, the approval of which would have triggered further obligations to submit a work schedule and begin Final Site Plan work, and

WHEREAS the Town of Haymarket Planning Commission and Town staff have recommended denial of the Application, and

WHEREAS the Haymarket Town Council, based on the factors outlined in Town Code § 58-3.9, finds as follows with respect to both the June 1 Application and the June 24 Application:

1. The factor of “existing use and character of the area” weighs against the Application because the Ballfields continue to be vital to the life and character of the neighborhood and the Town as a whole;
2. The factor of “suitability of the property for various uses” weighs against the Application because the Ballfields provide a vital buffer between the commercial uses on the Property and the nearby residential uses;
3. The factor of “trends of growth or change” is neutral in this instance because increased demand for development is balanced by the need to provide open space to maintain quality of life for residents and visitors;
4. The factor of “current and future requirements of the Town as to land for various purposes as determined by population and economic studies and other studies” cannot be weighed in favor of the application because the Applicant has not provided any such studies;
5. The factor of “transportation requirements of the community and the Town's requirements for parks, playgrounds, recreation areas, other public services, or the conservation of natural resources and preservation of floodplains” weighs against the Application because the Town requires space for recreation areas;
6. The factor of “conservation of properties and their values and the encouragement of most appropriate use of land throughout the Town” weighs against the Application because the

Ballfields provide a vital buffer, as noted above, and because they provide needed recreational facilities; and

- 7. The Town’s Comprehensive Plan calls for the area of the Ballfields to remain “Public” and the Comprehensive Plan specifically identifies the full potential of the Property as being “as a social, business and recreational center for the Town and adjoining area residents,” so that this factor weighs against the Application because granting it would eliminate the recreational center aspect of the Property’s full potential; and

WHEREAS the Haymarket Town Council finds that the balance of factors identified in Town Code § 58-3.9 weighs decidedly against approval of the Application, and that each of the factors 1, 2, 4, 5, 6, and 7 individually would suffice to justify denial of the Application, and

WHEREAS the Haymarket Town Council finds that public necessity, convenience, general welfare, and good zoning practice weigh against the approval of the Application;

NOW, THEREFORE, BE IT RESOLVED by the Haymarket Town Council, that in order to promote the health, safety and general welfare of the public, to promote good zoning practice, and in light of the Town Code § 58-3.9 factors identified above, it denies the Application.

BY ORDER OF THE HAYMARKET TOWN COUNCIL


Done this 7 day of December, 2020.

ORDER OF THE COUNCIL



Ken Luersen, Mayor
On Behalf of the Town Council of
Haymarket, Virginia

ATTEST:


Kim Henry, Clerk of Council

MOTION:

SECOND:

Votes:

Ayes: Wilk, Morris, Shannon, Pasanello, Fater

Nays:

Abstain: Schneider

Absent:

Attachment: Resolution 2020-020 (4807 : Consideration of Special Use Permit Application - 14600 Washington Street)

August 17, 2020

Emily Lockhart, Town Planner
Town of Haymarket
15000 Washington Street #100
Haymarket, Virginia 20169

RE: REVISED QBE Business Park SUP 2020 – 0002

Dear Emily,

Enclosed herein please find the following documents in support of the Special Use Permit request for QBE Business Park located at 14600 Washington Street:

1. Executed Special Use Permit Application 2020 – 0002
2. Development Narrative (dated August 17, 2020)
3. Conditions of Approval SUP2020-002 (dated August 17, 2020)
4. General Development Plan (dated August 11, 2020)

Please let me know if you have any questions.

Sincerely,



Keith Lowry
Keith.Lowry@QBE.net
(703) 489 - 0821

August 17, 2020

Haymarket Properties Group, LLC
 GPIN: 7397-19-1734
 Development Narrative

PROPERTY AND AREA OVERVIEW

Haymarket Properties Group, LLC (the "**Applicant**"), has submitted a Special Use Permit application (the "**Application**") on approximately 8.8 acres (the "**Property**") that includes a portion of the Tax Parcel described as GPIN: 7397-19-1734. This Special Use Permit will be utilized in conjunction with a site plan amendment to the currently approved site plan dated June 7th, 2017. The new site plan will be amended as depicted in the General Development Plan (GDP) dated August 11, 2020. The applicant no longer wishes to add additional stories to the current building on site.

The Property currently has a 33,458 square feet multiuse building, known as the Old Pace West School and is located on the north side of Washington Street, the eastern most side of the Town of Haymarket. The proposed development will be accessed from Washington Street and Bleight Drive.

The land uses adjacent to the proposed development include single-family attached homes zoned R-1 located directly to the west and south, and townhomes zoned R-2 to the north.

SPECIAL USE PROPOSAL

Under SUP 2020 – 0002 the applicant proposes to develop 53,250 square feet of the Property zoned B-1 via special use permit to allow thirty (30) residential condominium dwelling units. The proposed plan locates the residential condominiums on the 3rd and 4th floor of the new proposed multiuse building as shown on the GDP.

The maximum building height will be four stories not to exceed 50 feet as allowed by right under the Towns B-1 zoning ordinance.

COMPREHENSIVE PLAN COMPLIANCE

Under the Town of Haymarket Zoning Ordinance, Sec 58-1.7 Special Uses

(D) A special use shall be approved if its design, location, construction, method of operation, special characteristics and other aspects satisfy the following standards:

1. *"The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan."*

The Comprehensive Plan calls for a mix of residential and non-residential land uses that will provide an economically and fiscally balanced land use strategy. Uses that generate high fiscal costs, such as residential development, must be balanced by uses that generate a positive revenue stream, such as employment uses. (Page 5, 2008 Comprehensive Plan)

However, because the school is not the direct responsibility of the Town, close coordination must be maintained with the Prince William County School Board and the Board of County

Supervisors so that the full potential of this site may be explored as a social, business and recreational center for the Town and adjoining are a residents. (Page 104, 2008 Comprehensive Plan)

The 8.8-acre site was rezoned to B-1 in August of 2013 when a portion of the site was annexed from the county during a boundary line adjustment. The Property is ideal for a combination of commercial and residential development as shown on the GDP. The Property's frontage on Washington Street lends to a combination of residential and commercial development. Its location provides convenient access for residents to I-66, Rt-29, and Rt15 for commuting to points east and north, such as the Leesburg, Ashburn, Fairfax, Tysons Corner and Washington D.C. The Property's frontage on Washington Street makes it ideal for neighborhood commercial development that will be patronized by residents and others. The depth of the Property from Washington Street to I-66 renders it suitable the sort of mixed development proposed by the GDP.

2. *"The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements. "*

Article X – Town Center District B-1
Sec 58-10.1 Intent

The Town Center District, B-1, provides primarily for retail shopping and personal services to be developed either as a unit or in individual parcels oriented to attracting pedestrian shoppers, tourism and local convenience. Recognizing the economic value of the existing historical area, it shall further be the intent of the district to encourage the retention and rehabilitation of structures and uses in the district that have historic and/or architectural significance.

3. *"The proposed use shall not adversely affect the use or values of surrounding properties and structures. "*

The Proposed use is 30 residential condominiums, the layout of these residential condominiums is intended to complement and blend in with the existing neighboring uses. The new construction of these residential condominiums will be subject to review by the Architectural Review Board to insure it is in keeping with being value additive to the community, as seen throughout the Town with Mix Use development.

4. *"The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood. "*

The proposed use of 30 residential condominiums for the Property blends in with the other residential uses surrounding the site. This use is less impactful than the other by right uses allowed within the B-1 district.

5. *"Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood."*

The project proposes connecting pedestrian street sidewalks to current sidewalks located on Bleight Drive and Washington Street. The project will also include internal sidewalks. Vehicular traffic generated by the proposed use will have two vehicular ingress / egress points on Washington Street and Bleight Drive as approved in the original site plan dated June 7, 2017.

6. *"Utility, drainage, parking, loading, and other necessary facilities provided to serve the proposed use shall be adequate." "*

The project will provide all required drainage, onsite infrastructure, storm water management, as well as parking. All design requirements will meet the Town of Haymarket's zoning ordinance.

Summary

The proposed Special Use Permit and future site plan amendment honors the Comprehensive Plan goal of a balanced program for future land use to ensure the health, welfare, and safety of the Town and its residents by striking an appropriate balance between residential and commercial development that promotes the health, safety, and welfare of the new and existing residents. It does so by allowing healthy residential and commercial opportunities in a pedestrian friendly unified development.

The applicant respectfully requests favorable consideration of the applicant by the Staff, Planning Commission, and the Town Council.

Conditions of Approval
 SUP 2020 – 0002
 August 17, 2020

1. LANDUSE

- 1.1 Development shall be in substantial accordance with the Generalized Development and Special Use Permit Plan entitled "QBE Business Park" prepared by The KDL Group and dated August 11, 2020 (the "GDP") with the size, construction details and locations of buildings, roadways and other features being approximate subject to final engineering at site plan and with the color, construction materials and appearance of structures being subject to the issuance of certificates of appropriateness by the Town of Haymarket ("Town") Architectural Review Board (ARB) at advertised public meetings.
- 1.2 Residential Condominium Development on the Property shall not exceed 30 condominium units in the location generally shown on the GDP.
- 1.3 Development of the Property shall be in general conformity with the GDP. Precise locations of roads, lot lines, lot widths and depths, utility lines, and other features generally depicted on the GDP will be determined at the time of site or subdivision plan approval.

2. ARCHITECTURAL DESIGN, SIGNAGE AND LANDSCAPING

- 2.1 Architectural details of the multiuse building housing the condominium units will be determined through the issuance of certificates of appropriateness issued by the ARB.

3. STORMWATER MANAGEMENT

- 3.1 Storm water management for the Property shall employ best management practices ("BMP").
- 3.2 Storm water retention shall be provided at site plan as approved by the Town.
- 3.3 Storm water management facilities shall be maintained by the appropriate owners' associations provided below.

4. CREATION OF CONDO ASSOCIATION

- 4.1 The Property shall be made subject a condo association that shall be created and be made responsible for the maintenance and repair of common areas, including common open space that may be established in accordance with the requirements of the Town zoning ordinance. The COA shall be granted such other responsibilities, duties and powers as a customary for such associations, or as may be required to affect the purposes for which the COA is created. Such COA shall also be granted sufficient powers that may be necessary, by regular dues, special dues or assessments, to raise revenue sufficient to perform the duties assigned hereby, or by the documents creating the association.

5. TRANSPORTATION

- 5.1 The Applicant will construct a brick pedestrian street sidewalk along the southern edge of the property, on the northern side of Washington Street.

6. CONTINGENT

- 6.1 This Special Use Permit is contingent upon removal or amendment of the current proffer statement dated August 1, 2013 and a site plan amendment.

SIGNATURE ON FOLLOWING PAGE

APPLICANT

HAYMARKET PROPERTIES GROUP, LLC
a Virginia Limited Liability Company

By: 

Name: Keith Loring

Title: member

Date: 8-17-2020

Attachment: 08172020 Package (4807 : Consideration of Special Use Permit Application - 14600 Washington Street)

QBE BUSINESS PARK GENERAL DEVELOPMENT PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

GENERAL NOTES:

1. THE PROPERTY SHOWN HEREON IS LOCATED ON GPIN 7397-19-1734 AND IS NOW IN THE NAME OF HAYMARKET PROPERTIES GROUP, LLC AS DOCUMENTED IN INSTRUMENT 201310110102175 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
2. THE BOUNDARY AND IMPROVEMENTS FOUND HEREON ARE TAKEN FROM THE ALTA/ACSM LAND TITLE SURVEY PREPARED BY RICE & ASSOCIATES DATED JUNE 2013 AND A CURRENT FIELD SURVEY BY BL SURVEY ARBORIST, LLC.
TOPOGRAPHIC INFORMATION DEPICTED HEREON IS TAKEN FROM THE FIELD SURVEY PERFORMED BY BL SURVEY ARBORIST, LLC AND DATED FEBRUARY 1, 2014. THE VERTICAL DATUM IS TAKEN FROM GPS COORDINATES.
3. THE SUBJECT PROPERTY CONSISTS OF APPROXIMATELY 8.84 ACRES AND IS CURRENTLY ZONED B-1 IN ACCORDANCE WITH THE TOWN OF HAYMARKET, VA ZONING ORDINANCE.
4. THERE ARE NO KNOWN CEMETERIES ON THE SUBJECT PROPERTY. FURTHER, THERE ARE NO KNOWN NATURAL, CULTURAL, OR HISTORIC RESOURCES, RPA'S, OR 100-YEAR FLOOD AREAS IDENTIFIED ON THE PRINCE WILLIAM COUNTY, VA ONLINE MAPPING SYSTEM.
5. THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP 51153C PANEL #00670 BEARING AN EFFECTIVE DATE OF JANUARY 5, 1995.
6. THE DEVELOPMENT OF THIS PROPERTY IS SUBJECT TO THE APPROVAL CONDITIONS OF THE 2013 REZONING APPLICATION WITH THE TOWN OF HAYMARKET.
7. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HAYMARKET, PWCSA USM, AND/OR VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
8. ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
9. THE PROPOSED USES WITHIN THE EXISTING BUILDING SHALL BE SERVED BY THE EXISTING PUBLIC WATER AND SEWER FACILITIES OWNED BY PWCSA AT NO COST TO THE TOWN OR COUNTY. THE ANTICIPATED SEWAGE FLOWS GENERATED BY SUBJECT DEVELOPMENT IS XXXX GPD.
10. STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES MEASURES WILL BE IMPLEMENTED WITH THE FINAL SITE PLAN PER THE LATEST VIRGINIA STORMWATER MANAGEMENT HANDBOOK (VSMH).
11. EXISTING WELLS AND SEPTIC SYSTEMS THAT WILL NOT BE USED SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT PRINCE WILLIAM COUNTY HEALTH DEPARTMENT STANDARDS.
12. SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH THE TOWN OF HAYMARKET ZONING ORDINANCE (SECTION 58-719).
13. LANDSCAPING AND BUFFERING SHALL BE PROVIDED IN ACCORDANCE WITH ARTICLE XVI OF THE TOWN OF HAYMARKET ZONING ORDINANCE.
14. STREET TREES LOCATED IN RESIDENTIAL ZONING DISTRICTS SHALL BE LOCATED GENERALLY WITHIN 20 FEET OF THE PUBLIC RIGHT-OF-WAY (SECTION 58-723(c)).
15. THE PROPOSED USE AT THE STIPULATED LOCATION SHALL BE IN ACCORDANCE WITH THE OFFICIAL POLICIES OF AN ADOPTED COMPREHENSIVE PLAN, AND WITH ANY SPECIFIC ELEMENT OF SUCH PLAN.
16. THE PROPOSED USE SHALL BE IN ACCORDANCE WITH THE GENERAL PURPOSE AND INTENT OF THE APPLICABLE ZONING DISTRICT REQUIREMENTS.
17. THE PROPOSED USE SHALL NOT ADVERSELY AFFECT THE USE OR VALUES OF SURROUNDING PROPERTIES AND STRUCTURES.
18. THE PROPOSED USE SHALL NOT ADVERSELY AFFECT THE HEALTH, SAFETY OR GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD.
19. PEDESTRIAN AND VEHICULAR TRAFFIC GENERATED BY THE PROPOSED USE SHALL NOT BE HAZARDOUS OR CONFLICT WITH THE EXISTING AND ANTICIPATED TRAFFIC IN THE NEIGHBORHOOD.
20. UTILITY, DRAINAGE, PARKING, LOADING AND OTHER NECESSARY FACILITIES PROVIDED TO SERVE THE PROPOSED USE SHALL BE ADEQUATE.



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

NUMBER	DESCRIPTION
1	COVER SHEET
2	SITE TABULATIONS
3	EXISTING CONDITIONS
4	GENERAL DEVELOPMENT PLAN

ENGINEER'S CERTIFICATE

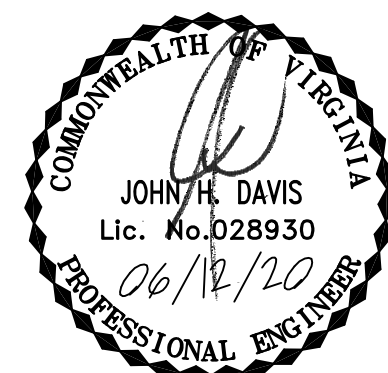
I, JOHN H. DAVIS, A PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE LAND EMBRACED ON THIS SITE IS NOW IN THE NAME OF:

A.) HAYMARKET PROPERTIES GROUP LLC - GPIN 7397-19-1734.

AS RECORDED AS INSTRUMENT 201310110102175 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

GIVEN UNDER MY HAND THIS 12th DAY OF JUNE 2020.

 JOHN H. DAVIS
 Lic. No. 028930
 06/12/20
 PROFESSIONAL ENGINEER



OWNER/APPLICANT
HAYMARKET PROPERTIES GROUP, LLC
 14600 WASHINGTON STREET, SUITE 137
 HAYMARKET, VA 20169
 Phone: (703) 498-8650

APPROVAL BLOCK

DIRECTOR OF PLANNING

DATE

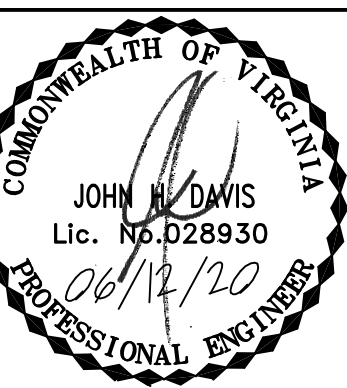
REVISION BLOCK

NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	REV. PER TOWN COMMENTS (JD)	06-12-20

THE KDL GROUP LLC
 P.O. BOX 809
 HAYMARKET, VA 20168
 PHONE 703 763-7592 FAX 703 763-7593
 www.kdlgroup.com

COVER SHEET
QBE BUSINESS PARK
 GENERAL DEVELOPMENT PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H)
 V)
 DATE: MAY 2020
 CHECKED:
 DRAWN: JHD
 FILE NO: PRE-018-HAY
 SHEET NO.
 1 OF 4

SITE TABULATIONS

EXISTING ZONING: B-1 (TOWN CENTER DISTRICT)
 PROPOSED USE: MIXED-USE COMMERCIAL (BY-RIGHT)
 SITE AREA: 8.84 AC.

TAX MAP: GPIN 7397-19-1734

ZONING REQUIREMENTS (B-1 REQUIREMENTS PER CHAPTER 58 ARTICLE V)

	REQUIRED
LOT SIZE:	NO MINIMUM
FLOOR AREA RATIO (F.A.R.):	NO MAXIMUM
MAXIMUM BUILDING LOT COVERAGE:	85% (PER SECTION 58-184)
MAXIMUM BUILDING HEIGHT:	4 STORIES BUT NOT OVER 50 FEET (PER SECTION 58-182)
YARD REQUIREMENTS: (PER SECTION 58-181)	10 FEET (FRONT) 10 FEET (SIDE) ABUTTING A STREET RIGHT-OF-WAY 25 FEET (SIDE) ABUTTING A RESIDENTIAL DISTRICT NONE ABUTTING SIMILAR COMMERCIAL USES 10 FEET (REAR) ABUTTING A STREET RIGHT-OF-WAY 25 FEET (REAR) ABUTTING A RESIDENTIAL DISTRICT NONE ABUTTING SIMILAR COMMERCIAL USES
LANDSCAPE REQUIREMENTS:	25 FEET LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL USES 10 FEET LANDSCAPE BUFFER ADJACENT TO COMMERCIAL USES (PER SECTION 58-179(B)) LANDSCAPING, SCREENING, BUFFERING PER ARTICLE XVI
MINIMUM OFF-STREET PARKING:	VARIES BY USE (PER SECTION 58-11)

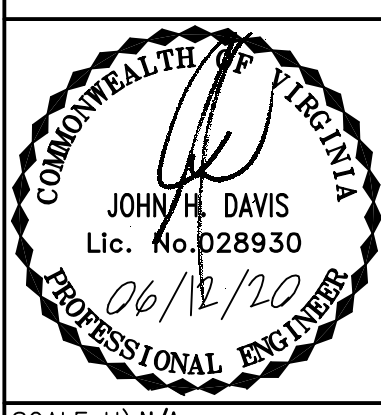
QBE BUSINESS PARK			
SITE TABULATIONS			
ZONING			B-1
PARCEL: GPIN 7397-19-1734			
GROSS SITE AREA		8.8353 AC (384,867 SF)	
	REQUIRED		PROVIDED
BUILDABLE LOT COVERAGE	85% (MAX.)		74.30%
BUILDING HEIGHT	4-STORIES (50' MAX.)		50' (MAX.)
FLOOR AREA RATIO	NO MAXIMUM		NA
SETBACK/YARD REQUIREMENTS			
FRONT YARD	10'		10'
SIDE YARD	25' ABUTTING A RESIDENTIAL DISTRICT		25'
	0' ABUTTING SIMILAR COMMERCIAL USES		10'
REAR YARD	25' ABUTTING RESIDENTIAL DISTRICT		N/A (CORNER LOT)
	0' ABUTTING SIMILAR COMMERCIAL USES		
BUFFER YARD REQUIREMENTS			
COMMERCIAL	10' BUFFER YARD (OS)		10' BUFFER YARD (OS)
RESIDENTIAL	25' BUFFER YARD (TS)		25' BUFFER YARD (TS)
PARKING TABULATIONS			
PROPOSED USE	PARKING REQUIREMENTS	REQUIRED PARKING	PROPOSED PARKING
109,485 G.S.F. COMMERCIAL/RETAIL	1 SPACE PER 300 S.F. OF GROSS FLOOR AREA	364.95	
3,200 G.S.F. RESTAURANT/DRIVE-THRU	1 SPACE PER 100 S.F. OF GROSS FLOOR AREA	32.00	
30 RESIDENTIAL (CONDOMINIUM)	1.5 SPACES PER D.U.	45.00	
TOTAL		441.95	376 SPACES (SURFACE PARKING) 66 SPACES (UNDERGROUND PARKING)

NOTE: PROPOSED BUILDING LOT COVERAGE MAY CHANGE WITH FINAL SITE PLAN PROVIDED MAXIMUM BUILDING LOT COVERAGE REQUIREMENTS ARE STILL MET.

REVISION BLOCK		
NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	REV. PER TOWN COMMENTS (JD)	06-12-20

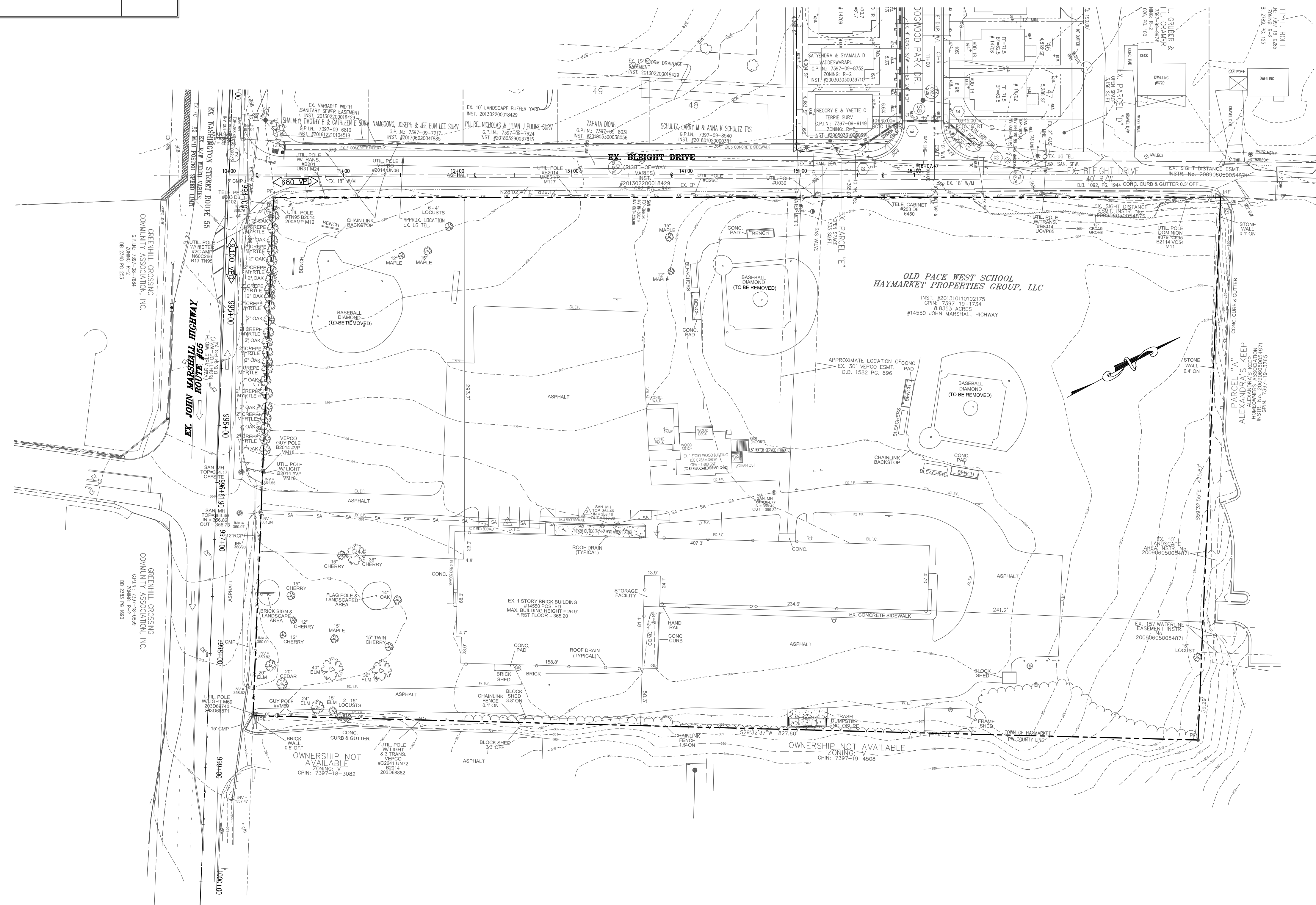
THE KDL GROUP LLC
 P.O. BOX 809
 HAYMARKET, VA 20168
 PHONE 703 763-7592 FAX 703 763-7593
 www.kdlgroup.com

SITE TABULATIONS
QBE BUSINESS PARK
 GENERAL DEVELOPMENT PLAN
 TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



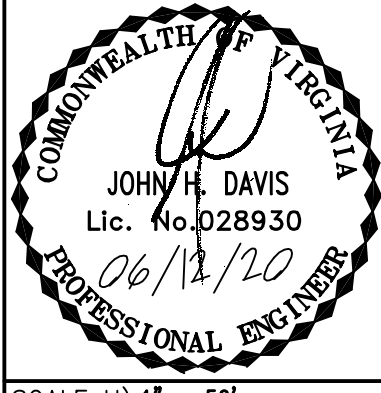
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 V) N/A
 DATE: MAY 2020
 CHECKED:
 DRAWN: JHD
 FILE NO: PRE-018-HAY
 SHEET NO.
 2 OF 4

REVISION BLOCK		
NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	REV. PER TOWN COMMENTS (J.D.)	06-12-20



SYMBOL LEGEND	
•	BOLLARD
⊕	CLEANOUT
⊞	COMMUNICATIONS HANDHOLE
⊞	ELECTRIC JUNCTION BOX
EM	ELECTRIC METER
GM	GAS METER
GV	GAS VALVE
GW	GUY POLE
W	GUY WIRE
☆	LIGHT POLE
⊗	MONITORING WELL
⊙	POST
⊞	SANITARY MANHOLE
⊞	SIGN
⊞	TELEPHONE PEDESTAL / CABINET
⊞	UNKNOWN MANHOLE
⊞	UTILITY POLE
⊞	WATER METER
⊞	WATER WITNESS POST

ABBREVIATION LEGEND		CONTINUED	
CONC.	CONCRETE	IPF	IRON PIPE FOUND
CMP	CORRUGATED METAL PIPE	IRS	IRON ROD SET WITH CAP
D.B.	DEED BOOK	MON.	MONUMENT
ESMT.	EASEMENT	PG.	PAGE
EX.	EXISTING	TELE.	TELECOMMUNICATIONS
GI	GRATE INLET	TRANS.	TRANSFORMER
GPIN	GEOGRAPHIC PARCEL IDENT. #	UTIL.	UTILITY
INSTR. No.	INSTRUMENT NUMBER	W/	WITH

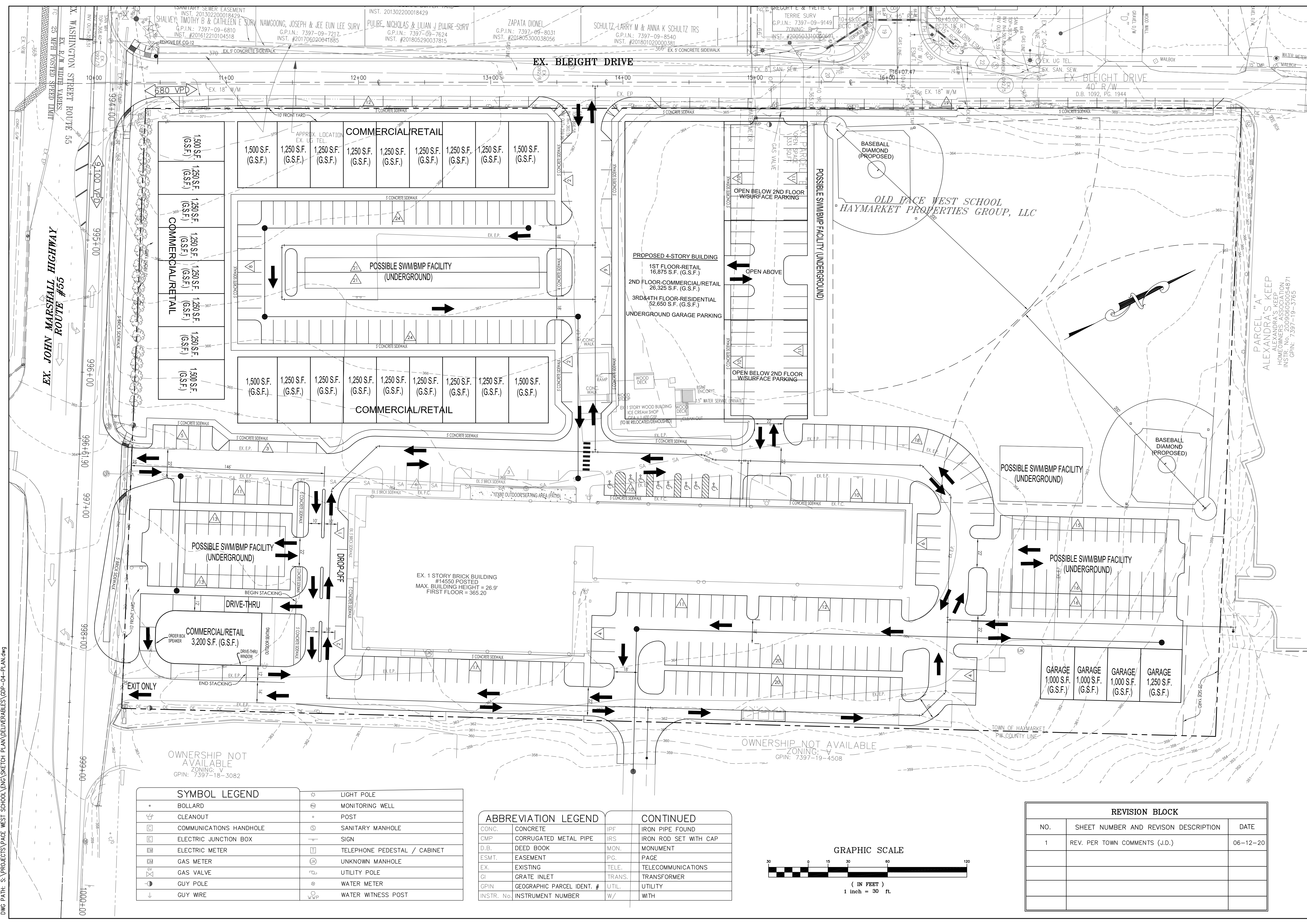


SCALE: H) 1" = 50'
V) N/A
DATE: MAY 2020
CHECKED:
DRAWN: JHD
FILE NO: PRE-018-HAY
SHEET NO.
3 OF 4

EXISTING CONDITIONS
QBE BUSINESS PARK
 GENERAL DEVELOPMENT PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

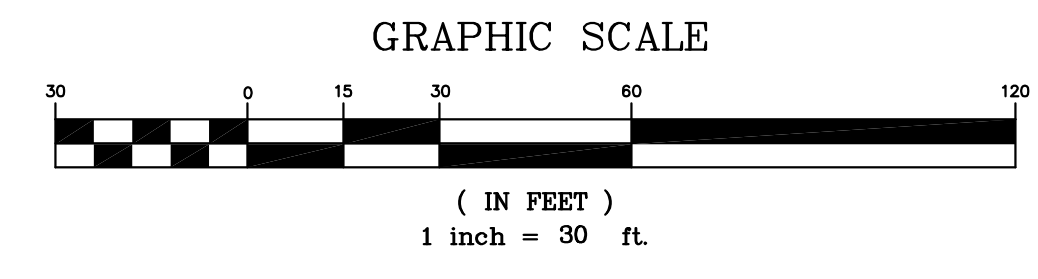
THE KDL GROUP LLC
 P.O. BOX 609
 HAYMARKET, VA 20168
 PHONE 703 763-7592 FAX 703 763-7593
 www.kdlgroup.com



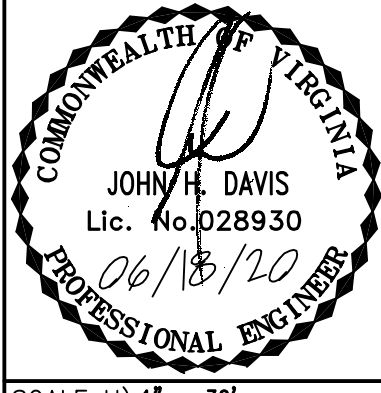
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SYMBOL LEGEND	
•	BOLLARD
□	CLEANOUT
□	COMMUNICATIONS HANDHOLE
□	ELECTRIC JUNCTION BOX
⊞	ELECTRIC METER
⊞	GAS METER
⊞	GAS VALVE
⊞	GUY POLE
⊞	GUY WIRE
⊞	LIGHT POLE
⊞	MONITORING WELL
⊞	POST
⊞	SANITARY MANHOLE
⊞	SIGN
⊞	TELEPHONE PEDESTAL / CABINET
⊞	UNKNOWN MANHOLE
⊞	UTILITY POLE
⊞	WATER METER
⊞	WATER WITNESS POST

ABBREVIATION LEGEND		CONTINUED	
CONC.	CONCRETE	IPF	IRON PIPE FOUND
CMP	CORRUGATED METAL PIPE	IRS	IRON ROD SET WITH CAP
D.B.	DEED BOOK	MON.	MONUMENT
ESMT.	EASEMENT	PG.	PAGE
EX.	EXISTING	TELE.	TELECOMMUNICATIONS
GI	GRATE INLET	TRANS.	TRANSFORMER
GPIN	GEOGRAPHIC PARCEL IDENT. #	UTIL.	UTILITY
INSTR. No.	INSTRUMENT NUMBER	W/	WITH



REVISION BLOCK		
NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	REV. PER TOWN COMMENTS (J.D.)	06-12-20



SCALE: H) 1" = 30'
 V) N/A
 DATE: MAY 2020
 CHECKED:
 DRAWN: JHD
 FILE NO: PRE-018-HAY
 SHEET NO.

THE KDL GROUP LLC
 P.O. BOX 609
 HAYMARKET, VA 20168
 PHONE 703-763-7592 FAX 703-763-7593
 www.kdlgroup.com

GENERAL DEVELOPMENT PLAN
OBE BUSINESS PARK
 GENERAL DEVELOPMENT PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

Attachment: OBE BUSINESS PARK GDP 06-18-20 (4807 : Consideration of Special Use Permit Application - 14600 Washington Street)

PARCEL "A"
 ALEXANDRA'S KEEP
 ALEXANDRA'S KEEP
 HOMEOWNERS ASSOCIATION
 INSTR. NO. 20180500954571
 GPIN: 7397-19-3769

OLD PACE WEST SCHOOL
 HAYMARKET PROPERTIES GROUP, LLC

PROPOSED 4-STORY BUILDING
 1ST FLOOR-RETAIL
 16,875 S.F. (G.S.F.)
 2ND FLOOR-COMMERCIAL/RETAIL
 26,325 S.F. (G.S.F.)
 3RD&4TH FLOOR-RESIDENTIAL
 52,650 S.F. (G.S.F.)
 UNDERGROUND GARAGE PARKING

COMMERCIAL/RETAIL
 1,500 S.F. (G.S.F.)
 1,500 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,500 S.F. (G.S.F.)

COMMERCIAL/RETAIL
 1,500 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,250 S.F. (G.S.F.)
 1,500 S.F. (G.S.F.)

COMMERCIAL/RETAIL
 3,200 S.F. (G.S.F.)

EX. 1 STORY BRICK BUILDING
 #14550 POSTED
 MAX. BUILDING HEIGHT = 26.9'
 FIRST FLOOR = 365.20

GARAGE
 1,000 S.F. (G.S.F.)
 GARAGE
 1,000 S.F. (G.S.F.)
 GARAGE
 1,000 S.F. (G.S.F.)
 GARAGE
 1,250 S.F. (G.S.F.)

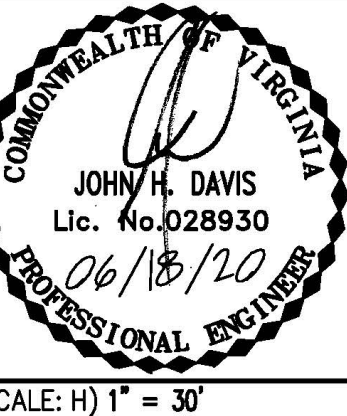
OWNERSHIP NOT AVAILABLE
 ZONING: V
 GPIN: 7397-18-3082

OWNERSHIP NOT AVAILABLE
 ZONING: V
 GPIN: 7397-19-4508

THE KDL GROUP LLC
P.O. BOX 809
HAYMARKET, VA 20169
PHONE 703 763-7592 FAX 703 763-7593
www.kdlgroup.com

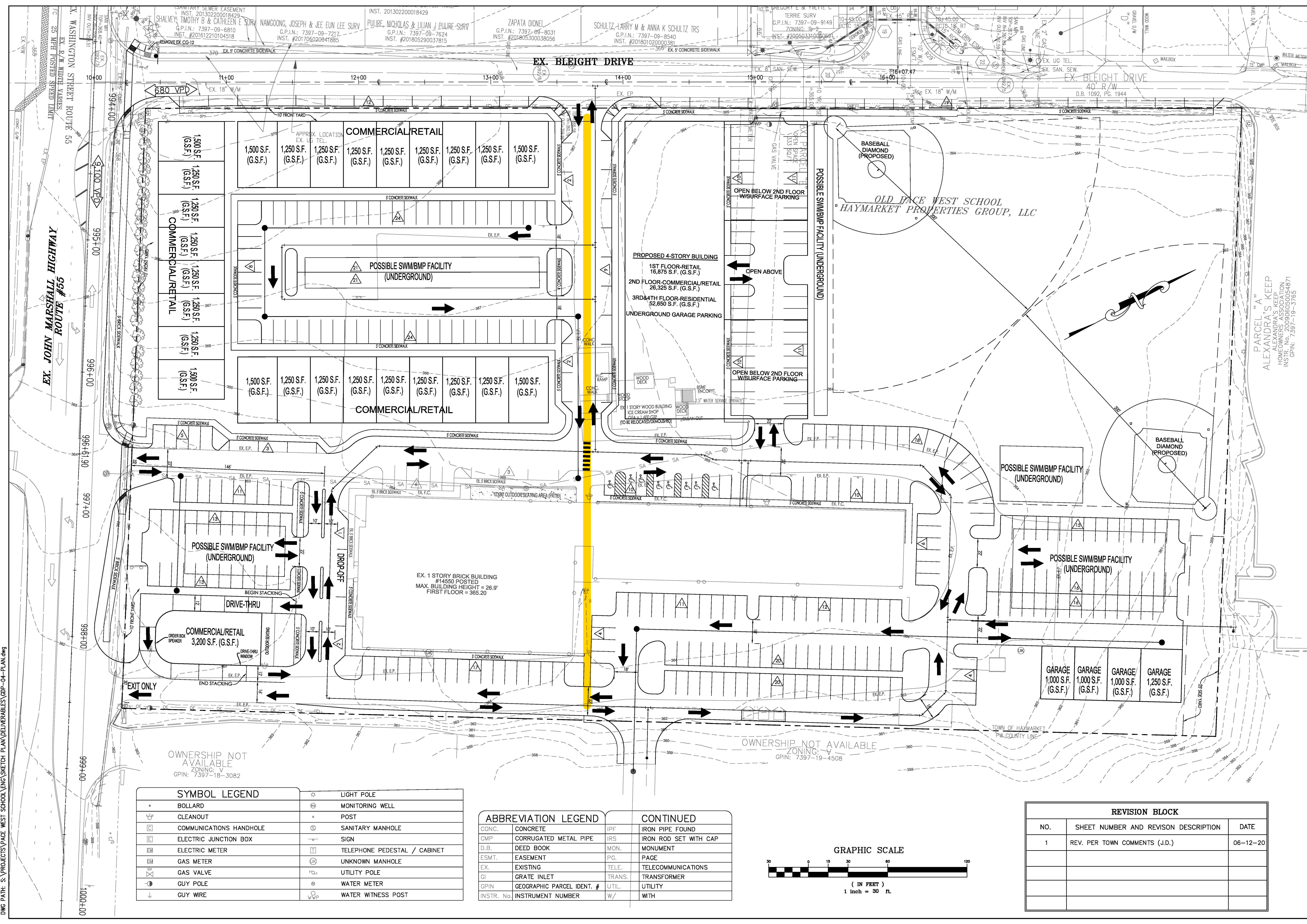
GENERAL DEVELOPMENT PLAN
OBE BUSINESS PARK
GENERAL DEVELOPMENT PLAN

TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



SCALE: H) 1" = 30'
V) N/A
DATE: MAY 2020
CHECKED:
DRAWN: JHD
FILE NO: PRE-018-HAY
SHEET NO.

Attachment: OBE BUSINESS PARK GDP 06-16-20 Yellow Line (4807 : Consideration of Special Use Permit Application - 14600 Washington Street)



COMMERCIAL/RETAIL							
1,500 S.F. (G.S.F.)	1,500 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,500 S.F. (G.S.F.)
1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,500 S.F. (G.S.F.)
1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,250 S.F. (G.S.F.)	1,500 S.F. (G.S.F.)

PROPOSED 4-STORY BUILDING
 1ST FLOOR-RETAIL 16,875 S.F. (G.S.F.)
 2ND FLOOR-COMMERCIAL/RETAIL 26,325 S.F. (G.S.F.)
 3RD&4TH FLOOR-RESIDENTIAL 52,650 S.F. (G.S.F.)
 UNDERGROUND GARAGE PARKING

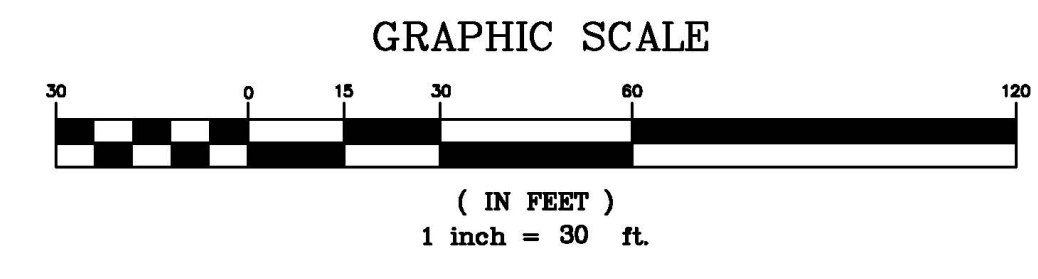
COMMERCIAL/RETAIL
 3,200 S.F. (G.S.F.)
 DRIVE-THRU
 ORDER BOX SPEAKER
 DRIVE-THRU WINDOW
 OUTDOOR SEATING

EX. 1 STORY BRICK BUILDING #14550 POSTED
 MAX. BUILDING HEIGHT = 26.9'
 FIRST FLOOR = 365.20

GARAGE 1,000 S.F. (G.S.F.)	GARAGE 1,000 S.F. (G.S.F.)	GARAGE 1,000 S.F. (G.S.F.)	GARAGE 1,250 S.F. (G.S.F.)
----------------------------	----------------------------	----------------------------	----------------------------

SYMBOL LEGEND	
•	BOLLARD
□	CLEANOUT
□	COMMUNICATIONS HANDHOLE
□	ELECTRIC JUNCTION BOX
⊕	ELECTRIC METER
⊕	GAS METER
⊕	GAS VALVE
⊕	GUY POLE
⊕	GUY WIRE
⊕	LIGHT POLE
⊕	MONITORING WELL
⊕	POST
⊕	SANITARY MANHOLE
⊕	SIGN
⊕	TELEPHONE PEDESTAL / CABINET
⊕	UNKNOWN MANHOLE
⊕	UTILITY POLE
⊕	WATER METER
⊕	WATER WITNESS POST

ABBREVIATION LEGEND		CONTINUED	
CONC.	CONCRETE	IPF	IRON PIPE FOUND
CMP	CORRUGATED METAL PIPE	IRS	IRON ROD SET WITH CAP
D.B.	DEED BOOK	MON.	MONUMENT
ESMT.	EASEMENT	PG.	PAGE
EX.	EXISTING	TELE.	TELECOMMUNICATIONS
GI	GRATE INLET	TRANS.	TRANSFORMER
GPIN	GEOGRAPHIC PARCEL IDENT. #	UTIL.	UTILITY
INSTR. No.	INSTRUMENT NUMBER	W/	WITH



REVISION BLOCK		
NO.	SHEET NUMBER AND REVISION DESCRIPTION	DATE
1	REV. PER TOWN COMMENTS (J.D.)	06-12-20

DWG PATH: S:\PROJECTS\PACE WEST SCHOOL VENG SKETCH PLAN\DELIVERABLES\GDP-04-PLAN.dwg



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Emily K. Lockhart
TOWN PLANNER
ZONING ADMINISTRATOR

MEMORANDUM

TO: Planning Commission
FROM: Emily K. Lockhart, Town Planner
DATE: December 15, 2020
SUBJECT: McDonald's Second Drive - Thru

The applicant, McDonald's, has submitted the attached second drive thru plans as shown. The Town Engineer and Planner have submitted comments to the applicant for a second submission. See next attachment for comments.

The proposed site plan will close the first entrance to the site, routing all traffic to the second entrance on Leaberry Way as well as expand the drive thru lanes and modify the parking/curbing on the property. The required parking spaces have been met with the modifications, as well as the open space requirement. The applicant has proposed expanding the curbed median at the exit of the drive-thru to better control traffic and maneuvers out of the drive-thru.

The applicant needs to address the Town's comments as well as provide outside agency approvals.

Staff Recommendation:

At this time, the Planning Commission should discuss any concerns they may have or provide feedback to the applicant. If necessary, the Town Planner can supply a draft motion at the meeting for conditional approval if the Commission requests it.



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Kathryn M. McDaniel, P.E.
TOWN ENGINEER

MEMORANDUM

TO: Emily Lockhart, Town Planner and Zoning Administrator
Chris Coon, Town Business Manager

FROM: Katie McDaniel, Town Engineer

DATE: December 14, 2020

SUBJECT: McDonalds Site Plan Engineering Review Comments

Per your request, I have reviewed the McDonalds Site Plan. I used the Haymarket Zoning and Subdivision Ordinance, Site Plan Checklist, Town Code and comment letter dated April 10, 2019 in order to review this site plan. The plan has been disapproved until the following comments are addressed.

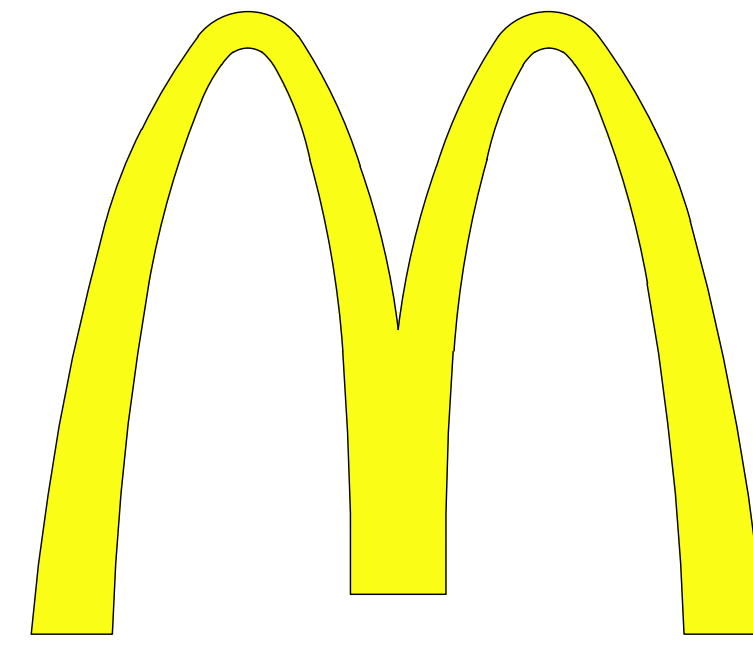
Reference	Comment
58-2.4.3.o	Provide estimate of existing and proposed vehicle trips generated by the site.
58-2.4.3.v	Demo plan calls for area of asphalt outside of LOD to be removed/replaced. Clarify extent of removal/replacement to avoid changes to subgrade or include in LOD. Was POI 1 determined based on the limits of analysis? Provide calculations or narrative showing POI 1 meets limits of analysis requirements. Provide updated letter of nutrient credit availability. Documentation of purchase of nutrient credits will be required prior to commencement of land disturbing activity.
58-2.4.3.y	Include E&S Checklist in plans. Construction entrance conflicts with proposed curb. Ensure that increased drainage being directed offsite in the northwest corner will not create erosion or adverse downstream impacts on adjacent property.
58-6.1	Where is required loading space being provided?

Please let me know if you have any additional questions regarding these comments. I can be reached at kmcdaniel@townofhaymarket.org.

Attachment: 2020-12-14 McDonalds Engineer Comments (4812 : McDonald's Site Plan for Secnd Drive Thru)

SITE PLAN DOCUMENTS

FOR



LOCATION OF SITE

6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA
GPIN: 7298-70-4485

CONTACT INFORMATION

REFERENCES

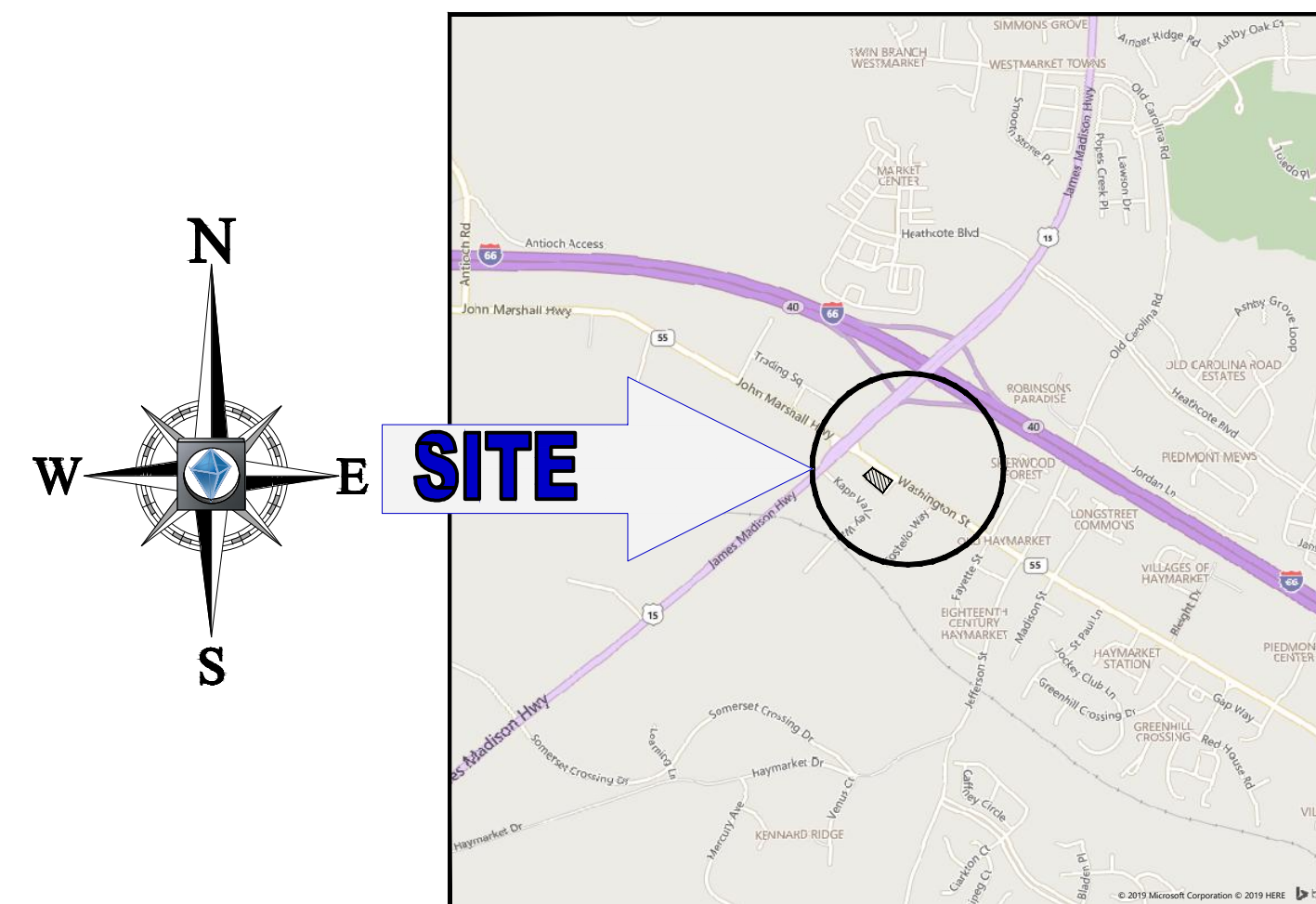
◆ BOUNDARY & TOPOGRAPHICAL SURVEY:
"BOUNDARY & TOPOGRAPHIC SURVEY FOR MCDONALD'S USA, LLC, 6740 LEA BERRY WAY, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA"
PREPARED BY: BOHLER ENGINEERING
PROJECT NUMBER: SV175005
DATED: 1/31/19, REVISED: 2/27/19

GOVERNING AGENCIES

◆ TOWN OF HAYMARKET PLANNING & ZONING
CONTACT: EMILY LOCKHART, TOWN PLANNER & ZONING ADMINISTRATOR
15000 WASHINGTON STREET, SUITE 100
HAYMARKET, VA 20169
(703) 753-2600 (P)

◆ TOWN OF HAYMARKET ENGINEER
CONTACT: KATIE MCDANIEL, TOWN ENGINEER
15000 WASHINGTON STREET, SUITE 100
HAYMARKET, VA 20169
(703) 766-0285 (P)

◆ PWSCA
CONTACT: EDWARD KOVALCHUK
4 COUNTY COMPLEX COURT
WOODBRIDGE, VA 22192
(703) 335-7900 (P)



LOCATION MAP

COPYRIGHT 2016
MICROSOFT CORPORATION
SCALE: 1" = 2,000'

OWNER/DEVELOPER

ARCHLAND PROPERTY I, LLC
P.O. BOX 182571
COLUMBUS, OH 43218
CONTACT: TOM HUGHES
PHONE: (410) 977-1214

PREPARED BY



28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186

Phone: (540) 349-4500
Fax: (540) 349-0321

VA@BohlerEng.com

CONTACT: JONATHAN Q. RITCHIE, P.E.

ZONING REQUIREMENTS:

BULK REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	0.98 AC	NO CHANGE
MIN. BUILDING SETBACK			
FRONT SETBACK (NORTH)	10'	70'	NO CHANGE
SIDE SETBACK (WEST)	0'	102'	NO CHANGE
SIDE SETBACK (EAST)	0'	77'	NO CHANGE
REAR SETBACK (SOUTH)	0'	36'	NO CHANGE
MIN. BUFFER TO ADJACENT PROPERTY			
FRONT BUFFER (NORTH)	10'*	5'	5'
SIDE BUFFER (WEST)	10'*	5'	5'
SIDE BUFFER (EAST)	10'	13'	13'
REAR BUFFER (SOUTH)	10'*	5'	5'
PARKING REQUIREMENTS			
1 SPACES PER 100 SF GFA, 2 ADA SPACES REQUIRED	40	39	40
MIN. GROSS FLOOR AREA (GFA)	N/A	3,956 SF	NO CHANGE
MAX. LOT COVERAGE (ONE STORY)	85%	84%	NO CHANGE
MAX. BUILDING HEIGHT	50'	17'	NO CHANGE

NON-CONFORMANCE (*) = MINIMUM WIDTH IS 5' WHEN THE EXISTING ADJOINING LANDSCAPE STRIP IS NARROWER THAN 10' IN WIDTH

PWSCA NOTE: NO ALTERATION OF THE EXISTING SANITARY OR WATER LINES ARE PROPOSED WITH THIS PROJECT.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
GENERAL NOTES	2
GENERAL NOTES AND LEGEND	3
BOUNDARY & TOPOGRAPHIC SURVEY	4
EXISTING CONDITIONS/DEMOLITION PLAN	5
SITE PLAN	6
SIGNAGE PLAN	7
GRADING PLAN	8
PRE/POST DEVELOPED DRAINAGE MAP	9
EROSION AND SEDIMENT CONTROL PLAN PHASE I & II	10
EROSION AND SEDIMENT CONTROL NOTES	11
EROSION AND SEDIMENT CONTROL DETAILS	12
LANDSCAPE PLAN	13
LANDSCAPE NOTES AND DETAILS	14
LIGHTING PLAN (BY OTHERS)	15
LIGHTING DETAILS (BY OTHERS)	16
CONSTRUCTION DETAILS	17-18
UNIT PRICE LIST	19

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PLANNING AND DESIGN SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY
1	03/27/2020	PER TOWN COMMENTS	JQR
2	10/23/2020	PER TOWN COMMENTS	JQR

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KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.:	V175005
DRAWN BY:	DSH
CHECKED BY:	JQR
DATE:	3/1/19
SCALE:	AS NOTED
CAD I.D.:	SD1

PROJECT: **PROP. SITE PLAN DOCUMENTS**
FOR

LOCATION OF SITE
6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
JONATHAN RITCHIE
Lic. No. 052544
10/23/2020
PROFESSIONAL ENGINEER

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1

Attachment: 201022 McDonalds Haymarket Site Plan Rev 3 (4812) : McDonald's Site Plan for Second Drive Thru

GENERAL NOTES

(Rev. 1/2019)

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, VA LLC... 2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN...

- 25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN... 26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS...

DEMOLITION NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES...

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. EROSION CONTROL MEASURES MUST CONFORM TO THE VIRGINIA GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL...

SITE LAYOUT NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY...

GRADING NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. THE CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES...

ACCESSIBILITY DESIGN GUIDELINES

(Rev. 1/2019)

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT (ADA) CODE 42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.)... 2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES...

LIGHTING NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES...

BOHLER ENGINEERING logo and contact information including address: 28 BLACKWELL PARK LANE, SUITE 201, WARRENTON, VIRGINIA 20186

REVISIONS

Table with columns: REV, DATE, COMMENT, BY. Contains two revision entries.

DRAINAGE AND UTILITY NOTES

(Rev. 1/2019)

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS... 2. THE CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES...

8-11 logo with text: KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

NOT APPROVED FOR CONSTRUCTION

PROPOSED SITE PLAN DOCUMENTS FOR PROJECT with MCDONALD'S logo and location: 6740 LEO BERRY WAY, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING logo and address: 28 BLACKWELL PARK LANE, SUITE 201, WARRENTON, VIRGINIA 20186

COMMUNITY HEALTH PROFESSIONAL ENGINEER logo with name: JOHANNES R. MATHIAS, Lic. No. 052544, dated 10/23/2020

GENERAL NOTES and SHEET NUMBER 2

STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

LIMIT OF WORK ———— LOW ———— LOW ————
LIMIT OF DISTURBANCE ———— LOD ———— LOD ————

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
	TRAFFIC LIGHT	
	UTILITY POLE	
	TYPICAL LIGHT	
	ACORN LIGHT	
	TYPICAL SIGN	
	PARKING COUNTS	
	SANITARY LABEL	
	STORM LABEL	
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	OVERHEAD WIRE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CABLE LINE	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	GRATE INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	
	MONITORING WELL	
	TEST PIT	
	BENCHMARK	
	BORING	

STANDARD ABBREVIATIONS

FOR ENTIRE PLAN SET

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
L/S	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PA	POINT OF ANALYSIS
PC	POINT CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RW	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
SW	SIDEWALK
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TELE	TELEPHONE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W	WIDE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
∅	DIAMETER
#	NUMBER

PROPOSED EASEMENT LEGEND

	STORM DRAIN
	SANITARY SEWER
	WATER
	PUBLIC ACCESS
	COMMON SHARED
	INGRESS-EGRESS
	PUBLIC UTILITY
	VARIABLE WIDTH S

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PLANNING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY
1	03/27/2020	PER TOWN COMMENTS	JGR
2	10/23/2020	PER TOWN COMMENTS	JGR

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.:	V175005
DRAWN BY:	DSH
CHECKED BY:	JGR
DATE:	3/1/19
SCALE:	N/A
CAD I.D.:	SD1

PROJECT: **PROP. SITE PLAN DOCUMENTS**
 FOR

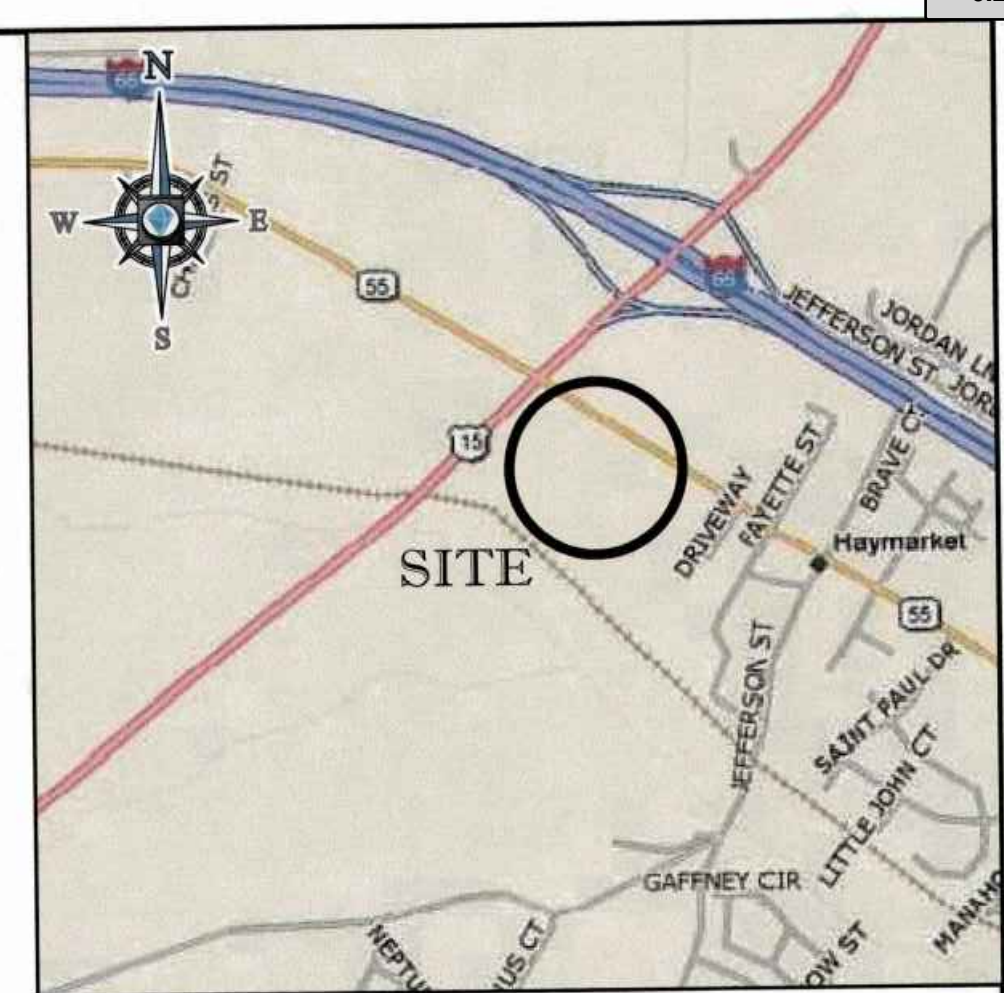
 LOCATION OF SITE
 6740 LEA BERRY WAY
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JOHN THOM FRISCHIE
 Lic. No. 052544
 10/23/2020
 PROFESSIONAL ENGINEER

SHEET TITLE:
GENERAL NOTES AND LEGEND
 SHEET NUMBER:
3

- NOTES
- PROPERTY IS LOT 2-A, SHOPPES AT HAYMARKET, LLC AS RECORDED IN INSTRUMENT NUMBER 200102010011074 AND BEING THE LANDS OF ARCHLAND PROPERTY I, LLC AS RECORDED IN INSTRUMENT NUMBER 200408060133997, ALL AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA AND HAVING A GPIN NUMBER OF 7298-70-4485 PER THE DEPARTMENT OF ASSESSMENTS.
 - AREA: 42,759 SQUARE FEET (R) 42,757 SQUARE FEET (M) 0.982 ACRES (R&M)
 - LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DEPICTED WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 - THIS FIELD SURVEY WAS PERFORMED UTILIZING THE REFERENCE MATERIAL AS LISTED HEREON ON OCTOBER 17, 2017 AND ON JANUARY 25, 2019, BY BOHLER ENGINEERING.
 - THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - ELEVATIONS ARE BASED ON NAVD 88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED INTO PRINCE WILLIAM COUNTY MONUMENT PWN1 (JARRETT) WITH A PUBLISHED ELEVATION OF 348.69 FEET.

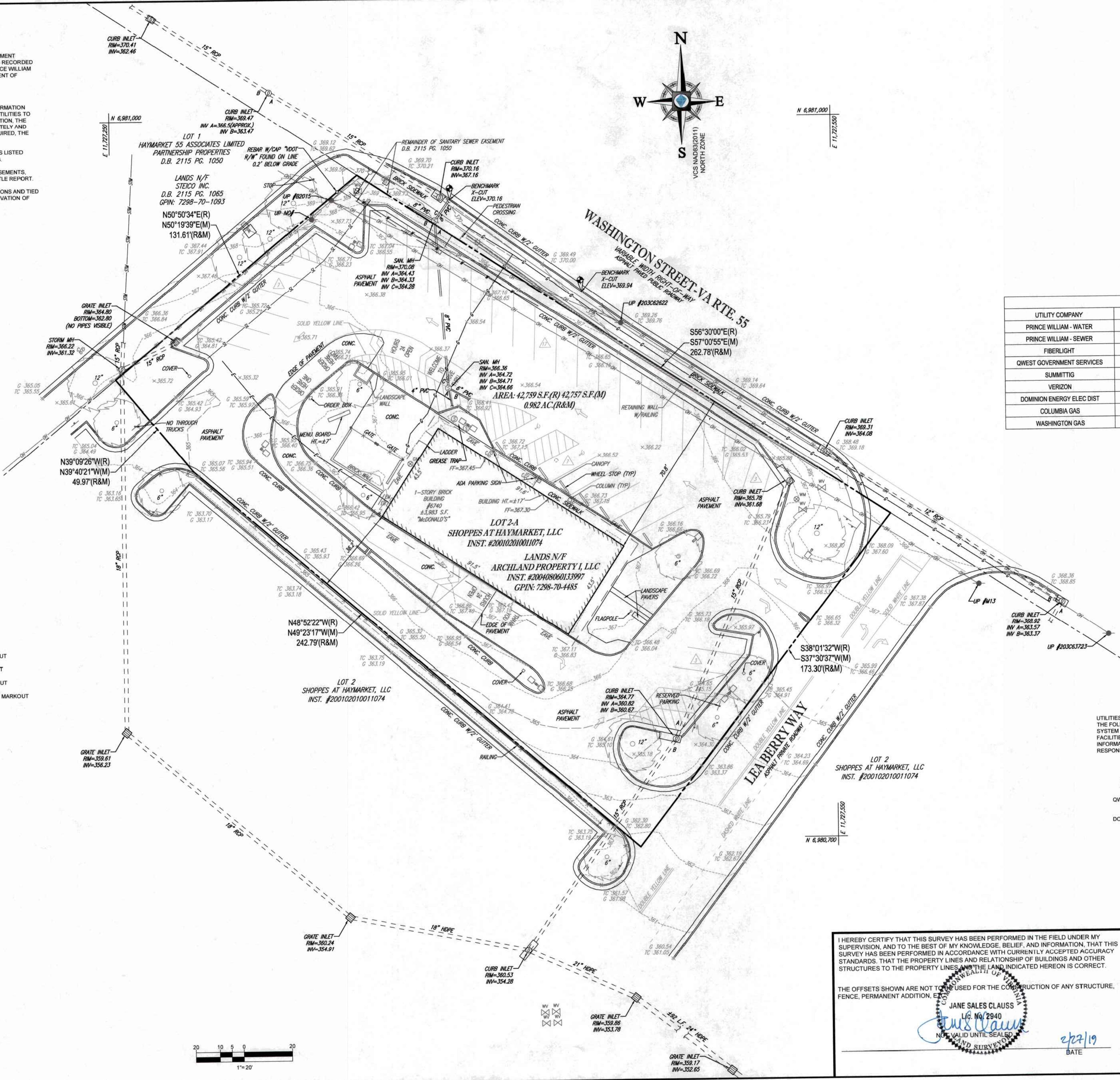


LOCATION MAP
 COPYRIGHT 2009
 DELORME STREET ATLAS USA 2009
 SCALE: 1"=3000'

UTILITY PLAN INDEX				
UTILITY COMPANY	LOCATE STATUS	1st REQUEST	2nd REQUEST	RECEIVED
PRINCE WILLIAM - WATER	MARKED	10/11/17		
PRINCE WILLIAM - SEWER	MARKED	10/11/17		
FIBERLIGHT	NO CONFLICT	WILL NOT DISCLOSE		
QWEST GOVERNMENT SERVICES	NO CONFLICT	WILL NOT DISCLOSE		
SUMMITTING	NO CONFLICT	WILL NOT DISCLOSE		
VERIZON	MARKED	WILL NOT DISCLOSE		
DOMINION ENERGY ELEC DIST	MARKED	10/11/17		10/16/17
COLUMBIA GAS	MARKED	10/11/17		
WASHINGTON GAS	NO CONFLICT	10/11/17		

LEGEND

- 12.5 --- EXISTING CONTOUR
- x 123.45 EXISTING SPOT ELEVATION
- x TC 123.45 EXIST. TOP OF CURB ELEVATION
- x G 122.95 EXIST. GUTTER ELEVATION
- HYDRANT
- APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
- ELECTRIC METER
- SANITARY MANHOLE
- GAS METER
- SIGN
- BOLLARD
- AREA LIGHT
- CLEAN OUT
- PAINTED ARROWS
- BENCHMARK
- TREE (SIZE AS NOTED)
- WATER VALVE
- WATER METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND SEWER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND STORM SEWER LINE PER UTILITY MARKOUT
- UTILITY POLE
- ELECTRIC BOX
- GUY WIRE
- DENOTES PARKING SPACE COUNT
- CONC. CONCRETE
- W/ WITH
- NAVD NORTH AMERICAN DATUM
- RCP REINFORCED CONCRETE PIPE
- TELE TELEPHONE
- ELEC. ELECTRIC
- SAN. SANITARY
- MH MANHOLE
- ELEV. ELEVATION
- HT. HEIGHT
- # No. NUMBER
- INV INVERT
- ADA AMERICANS WITH DISABILITIES ACT
- VCS VIRGINIA COORDINATE SYSTEM
- ± PLUS OR MINUS
- INST. INSTRUMENT
- D.B. DEED BOOK
- PG. PAGE
- UP UTILITY POLE
- FF FIRST FLOOR
- PVC POLYVINYL CHLORIDE
- HDPE HIGH-DENSITY POLYETHYLENE
- (R) RECORD
- (M) MEASURED
- TYP TYPICAL
- S.F. SQUARE FEET
- AC. ACRES
- GPW GRID PARCEL IDENTIFICATION NUMBER



UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-562-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): B728401619-008

UTILITY COMPANY	PHONE NUMBER
PRINCE WILLIAM - WATER	703-609-8097
PRINCE WILLIAM - SEWER	703-609-8097
FIBERLIGHT	410-979-0384
QWEST GOVERNMENT SERVICES	703-387-9152
SUMMITTING	540-364-2005
VERIZON	703-754-2116
DOMINION ENERGY ELEC DIST	703-754-2116
COLUMBIA GAS	703-754-2116
WASHINGTON GAS	703-754-2116

No.	DESCRIPTION OF REVISION	BY:	DATE
2	REVISED PER ENGINEER'S COMMENTS	S.U.	02/27/19
1	REVISED PER ADDITIONAL TOPOGRAPHY	S.U.	01/31/19

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. THAT THE PROPERTY LINES AND RELATIONSHIP OF BUILDINGS AND OTHER STRUCTURES TO THE PROPERTY LINES AND THE LAND INDICATED HEREON IS CORRECT.

THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

JANE SALES CLAUSS
 L.C. No. 2940
 NOT VALID UNTIL SEALED
 2/27/19
 DATE

BOUNDARY & TOPOGRAPHIC SURVEY

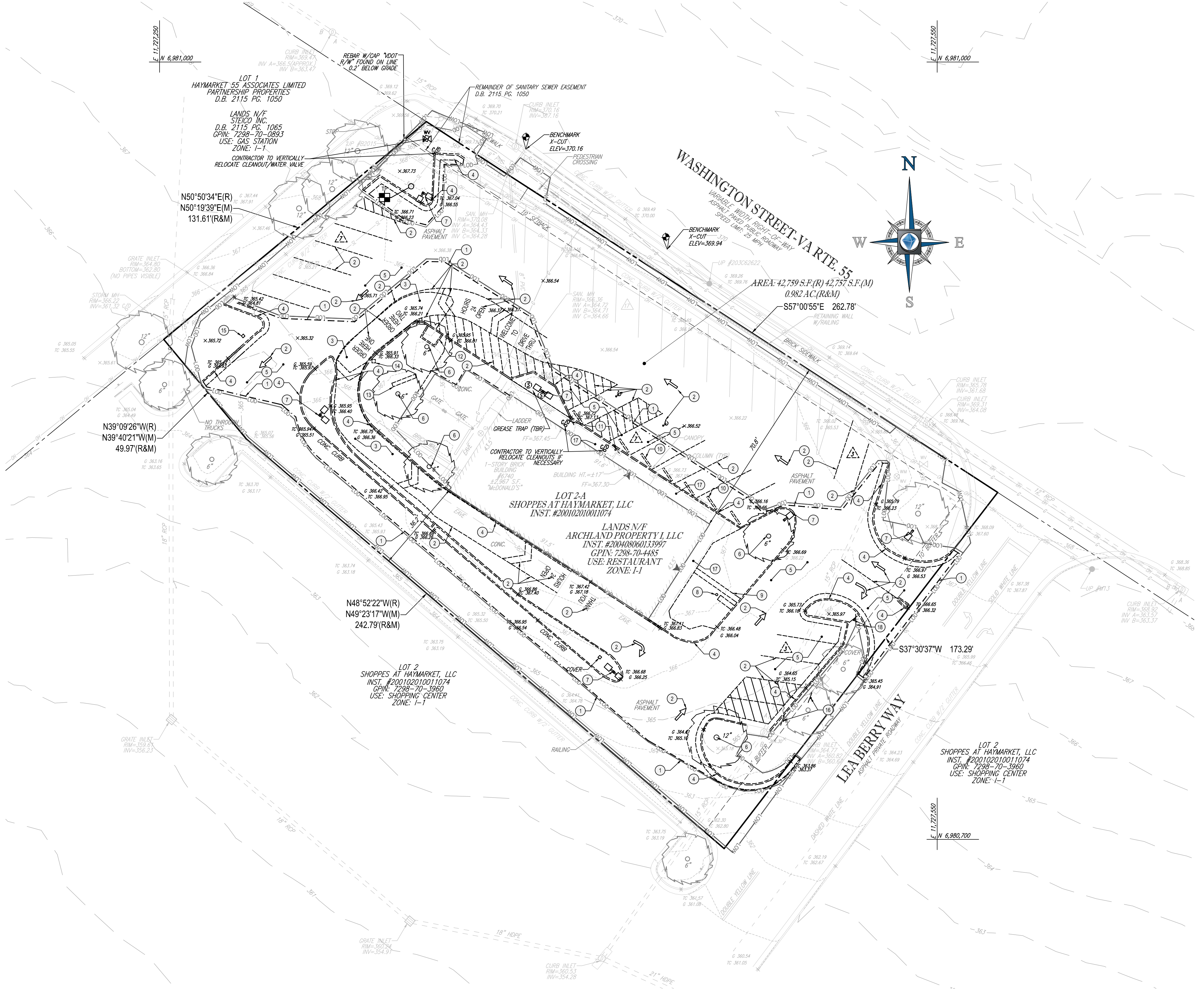
McDONALD'S USA, LLC
 6740 LEABERRY WAY
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA
 LCF 451159

FILE NO. SV175005
 DATE 10/13/19
 FIELD DATE 10/17/17, 01/25/19
 CREW CHIEF J.D./J.Q.
 DRAWN S.U.
 REVIEWED J.B.
 APPROVED J.S.C.
 SCALE 1" = 20'
 DWS. NO. 4

BOHLER ENGINEERING
 22838 DAVIS DRIVE, SUITE 204
 STERLING, VIRGINIA 20164
 703.708.8500 • 703.708.8501 FAX
 www.bohlerengineering.com

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Attachment: 201022 McDonalds Haymarket Site Plan Rev 3 (4812 : McDonald's Site Plan for Second Drive Thru)



DEMOLITION/REMOVAL LEGEND

DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
---	EASEMENT LINE
---	CONCRETE CURB & GUTTER
---	UTILITY POLE WITH LIGHT
---	POLE LIGHT
---	TRAFFIC LIGHT
---	UTILITY POLE
---	TYPICAL LIGHT
---	ACORN LIGHT
---	TYPICAL SIGN
---	PARKING COUNTS
---	SPOT ELEVATIONS
---	SANITARY LABEL
---	STORM LABEL
---	SANITARY SEWER LATERAL
---	UNDERGROUND WATER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD WIRE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	STORM SEWER
---	SANITARY SEWER MAIN
---	HYDRANT
---	SANITARY MANHOLE
---	STORM MANHOLE
---	WATER METER
---	WATER VALVE
---	GAS VALVE
---	GAS METER

DEMOLITION KEY

- 1 SAWCUT AND REMOVE CONCRETE / ASPHALT / CURB AND GUTTER
- 2 PAVEMENT MARKING TO BE REMOVED
- 3 CONCRETE TO BE REPLACED, SEE SITE PLAN
- 4 CURB TO BE REMOVED
- 5 ASPHALT TO BE REMOVED AND REPLACED PER SITE PLAN
- 6 TREE TO BE REMOVED
- 7 LIGHT POLE TO BE RELOCATED
- 8 FLAG POLE TO BE RELOCATED
- 9 LANDSCAPE PAVERS TO BE REMOVED
- 10 WHEEL STOP TO BE REMOVED
- 11 ADA PARKING SIGN TO BE RELOCATED
- 12 LANDSCAPE WALL TO BE REMOVED
- 13 MENU BOARD TO BE REMOVED
- 14 ORDER BOX TO BE REMOVED
- 15 CONTRACTOR TO CONFIRM IRRIGATION COVER AND RELOCATE (NOTIFY ENGINEER IF DISCREPANCIES ARISE)
- 16 RESERVED PARKING SIGN TO BE RELOCATED
- 17 SIDEWALK TO BE REPLACED, SEE SITE PLAN
- 18 SIGN TO BE REMOVED

DEMOLITION PLAN NOTES:

1. CONTRACTOR TO PROVIDE MINIMUM PAVEMENT SECTION AND MATCH EXISTING CROSS-SLOPES IF ASPHALT PATCHING IS REQUIRED. SEE PAVEMENT DETAILS.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN FIELD VERIFIED. CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS AND DEPTHS OF ALL UTILITIES PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, NOTIFY ENGINEER IMMEDIATELY.
3. THERE ARE NO MAPPED RPA'S OR HISTORIC AREAS ON SITE.
4. THERE ARE NO CEMETERIES OR HISTORIC SITES ON THE PARCEL.

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REVISIONS

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CHECKED BY:	JOR
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SCALE:	1" = 20'
CAD I.D.:	SD1

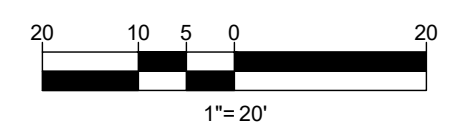
PROJECT: **PROP. SITE PLAN DOCUMENTS**
 FOR

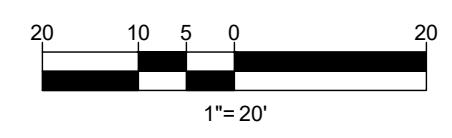
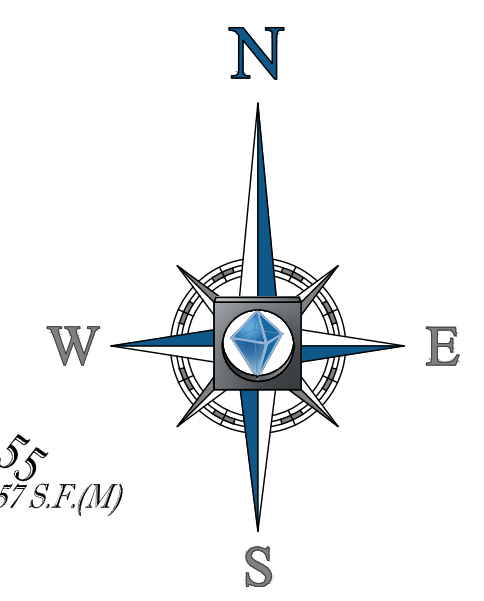
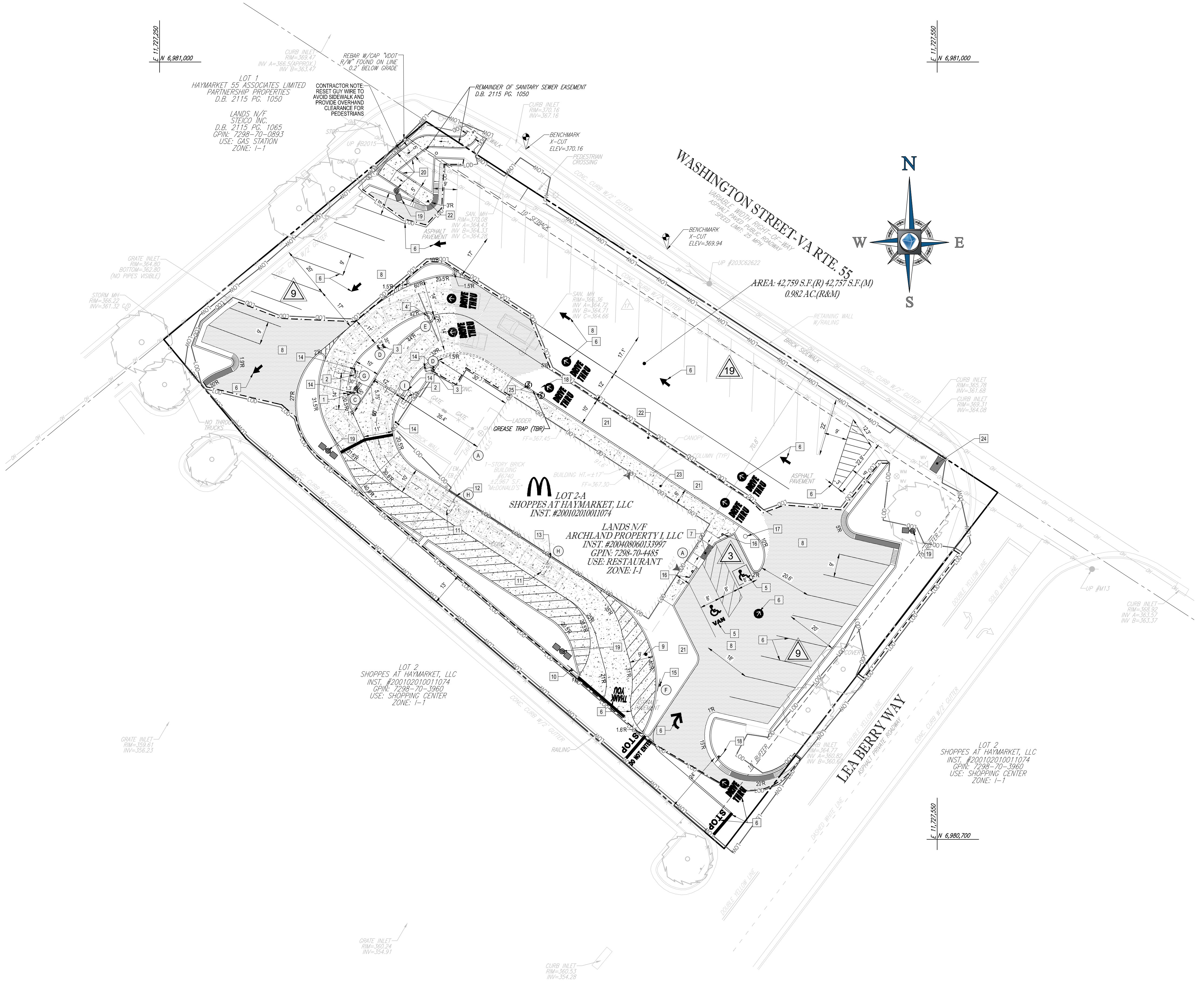
 LOCATION OF SITE
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 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
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 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JONATHAN FRIEHLIE
 Lic. No. 052544
 10/23/2020
 PROFESSIONAL ENGINEER

SHEET TITLE: **EXISTING CONDITIONS/DEMOLITION PLAN**
 SHEET NUMBER: **5**





GENERAL DEVELOPMENT NOTES

1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. THE FOUNDATION DESIGNS ARE BY OTHERS.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
3. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL A DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
5. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
6. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
8. ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
9. ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
10. CONTRACTOR TO REPLACE LIGHT POLE AND HEAD ON EXISTING LIGHT POLES.

PAVING SPECIFICATION

- 1) THE PROPOSED PAVEMENT IMPROVEMENTS WILL PRIMARILY CONSIST OF RESEALING AND RESTRIPIING THE EXISTING ASPHALT.
 - 2) AREAS OF NEW PAVEMENT SHALL MATCH THE EXISTING PAVEMENT SECTION ON SITE.
- DRIVE-THRU CONCRETE PAVING
6.0" CONCRETE MAT (DRIVE THRU)
8" CONCRETE MAT (TRASH ENCLOSURE) 4000 PSI AT 28 DAYS
- NOTE:
MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED. FOLLOW MINIMUM STANDARDS ABOVE OR MATCH EXISTING DEPTHS, WHICHEVER IS LARGER

LEGEND

- 1) PROP OUTDOOR DISPLAY MENU BOARD (2-TYP.)
- 2) PROP COD SPEAKER WITH AUTO LOOP DETECTOR (2-TYP.)
- 3) PROP DIGITAL PRE-BROWSE MENU BOARD
- 4) PROP GATEWAY CLEARANCE BAR
- 5) PROP ADA COMPLIANT SPACES
- 6) PROP PAVEMENT MARKING (TYP.)
- 7) PROP ADA COMPLIANT RAMP
- 8) ASPHALT PAVEMENT TO BE SEALED AND RESTRIPIED (SEE PAVING SPECIFICATION NOTES)
- 9) EXISTING PULL FORWARD SPACES (TO BE RESTRIPIED AND SIGNED PER OOSP STANDARDS)
- 10) PROP "STOP" SIGN
- 11) PROP AUTO LOOP DETECTOR (2-TYP.)
- 12) EXISTING CASH WINDOW
- 13) EXISTING PICKUP WINDOW
- 14) PROP BOLLARD
- 15) PROP "RESERVED DRIVE THRU" SIGN
- 16) PROP ADA SIGN (BOLLARD MOUNTED)
- 17) PROP RELOCATED FLAG POLE
- 18) PROP "ALL TRAFFIC KEEP RIGHT" SIGN
- 19) PROP RELOCATED SITE LIGHT
- 20) PROP HANDRAIL
- 21) PROP LANDSCAPE AREA
- 22) PROP CURB RAMP
- 23) PROP S' SIDEWALK
- 24) PROP MONUMENT SIGN
- 25) SANITARY MANHOLE TOPS TO BE ADJUSTED

- LEGEND**
- PROPOSED CONCRETE
 - PROPOSED DRIVE THROUGH CONCRETE
 - PROPOSED FULL DEPTH ASPHALT PAVEMENT
 - PROPOSED SAWCUT
 - CONCRETE CURB & GUTTER
 - CURB AND GUTTER
 - SPILL CURB | TRANSITION CURB
 - DEPRESSED CURB AND GUTTER
 - TYP. SIGN

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CAD I.D.:	SS1

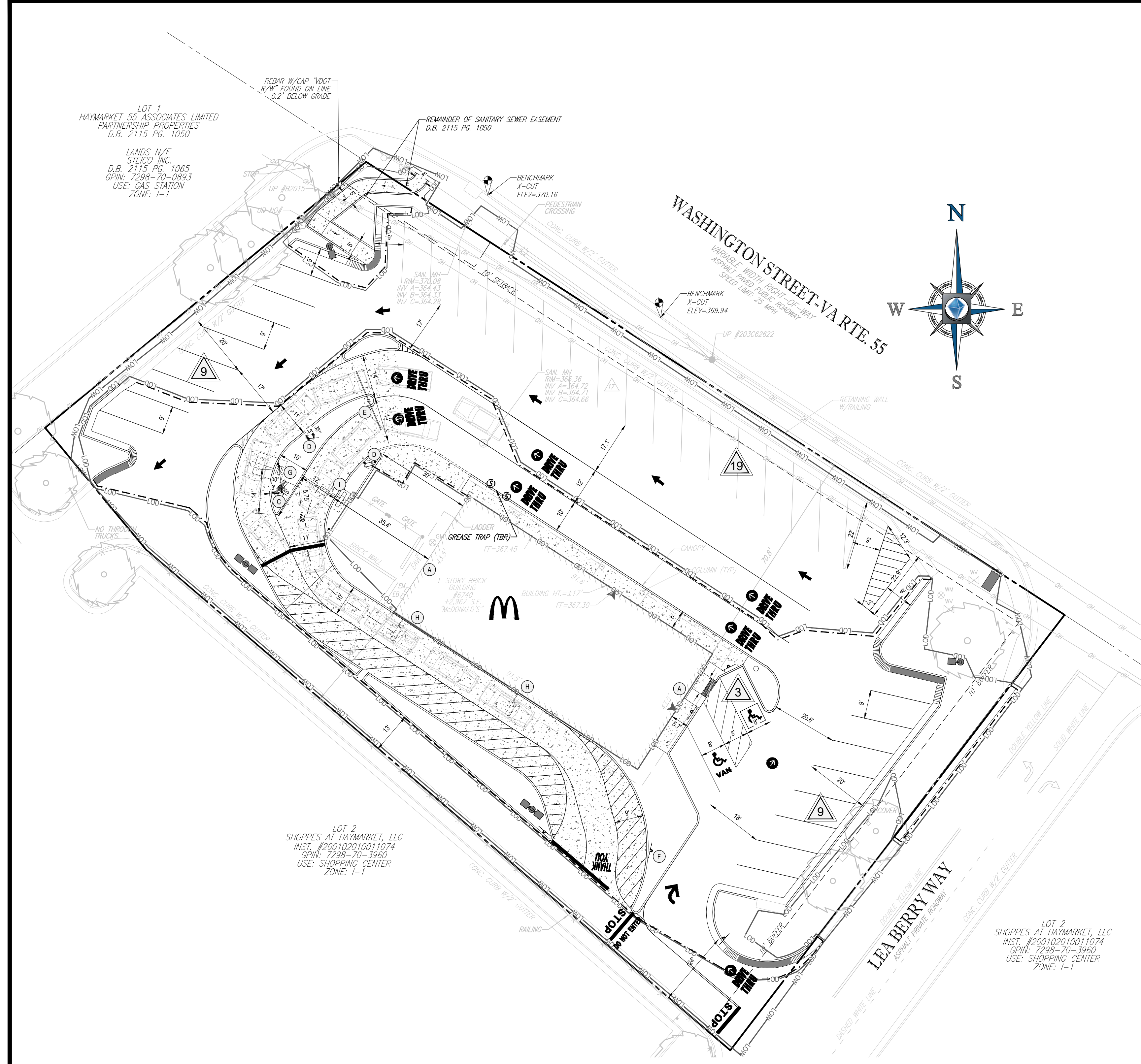
PROJECT: **PROP. SITE PLAN DOCUMENTS**
FOR

LOCATION OF SITE
6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

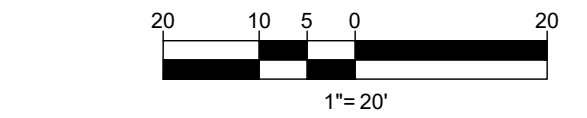
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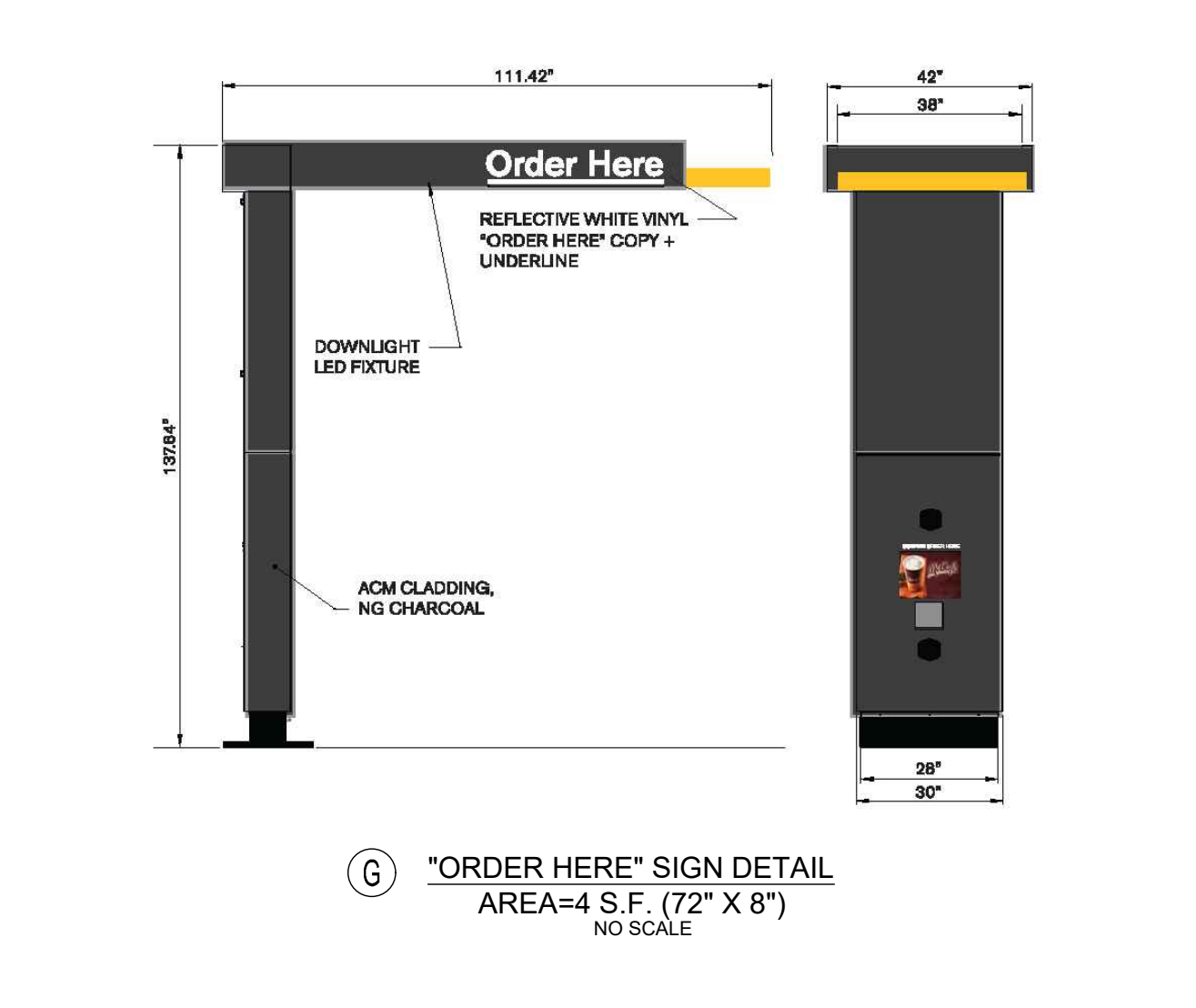
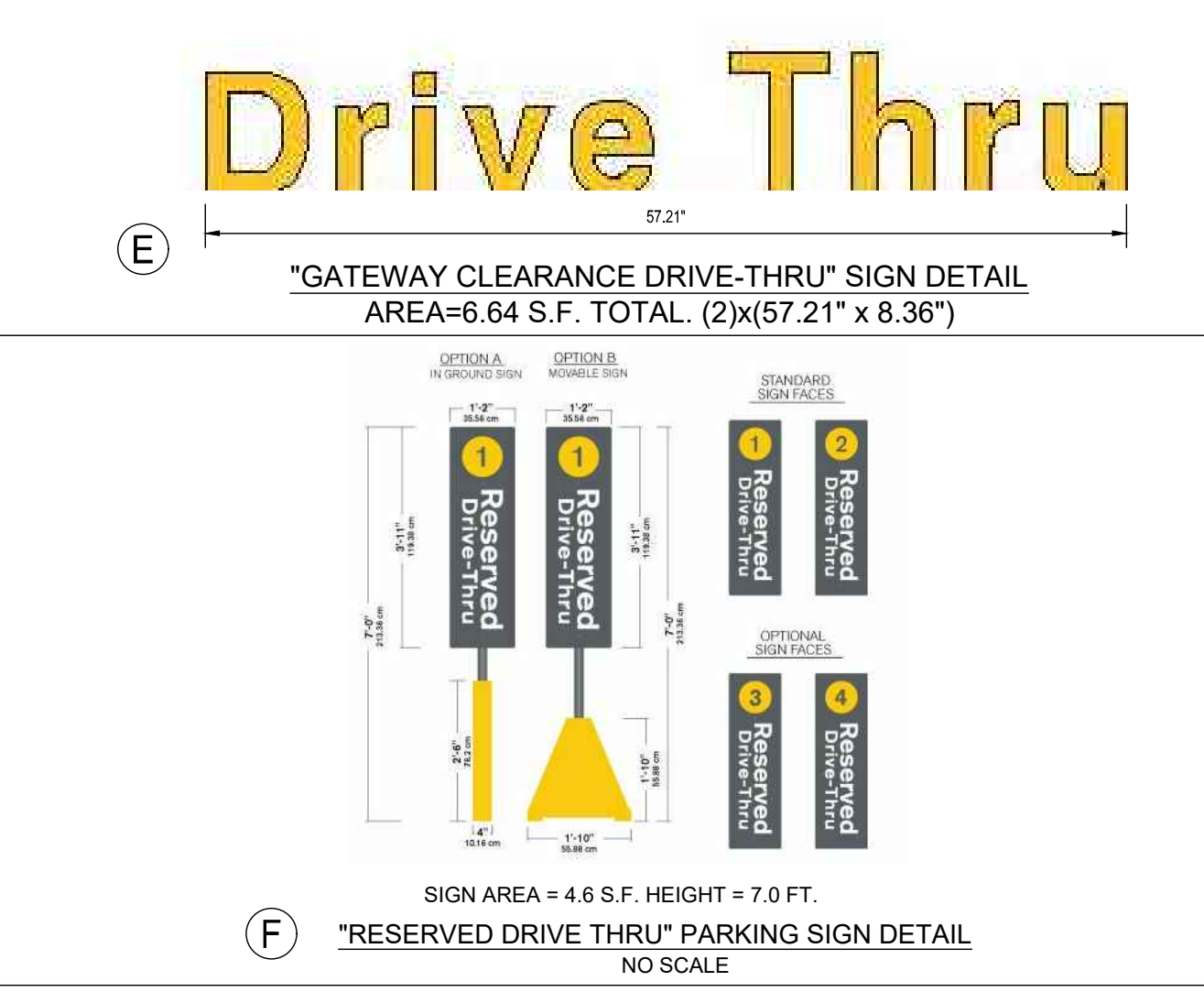
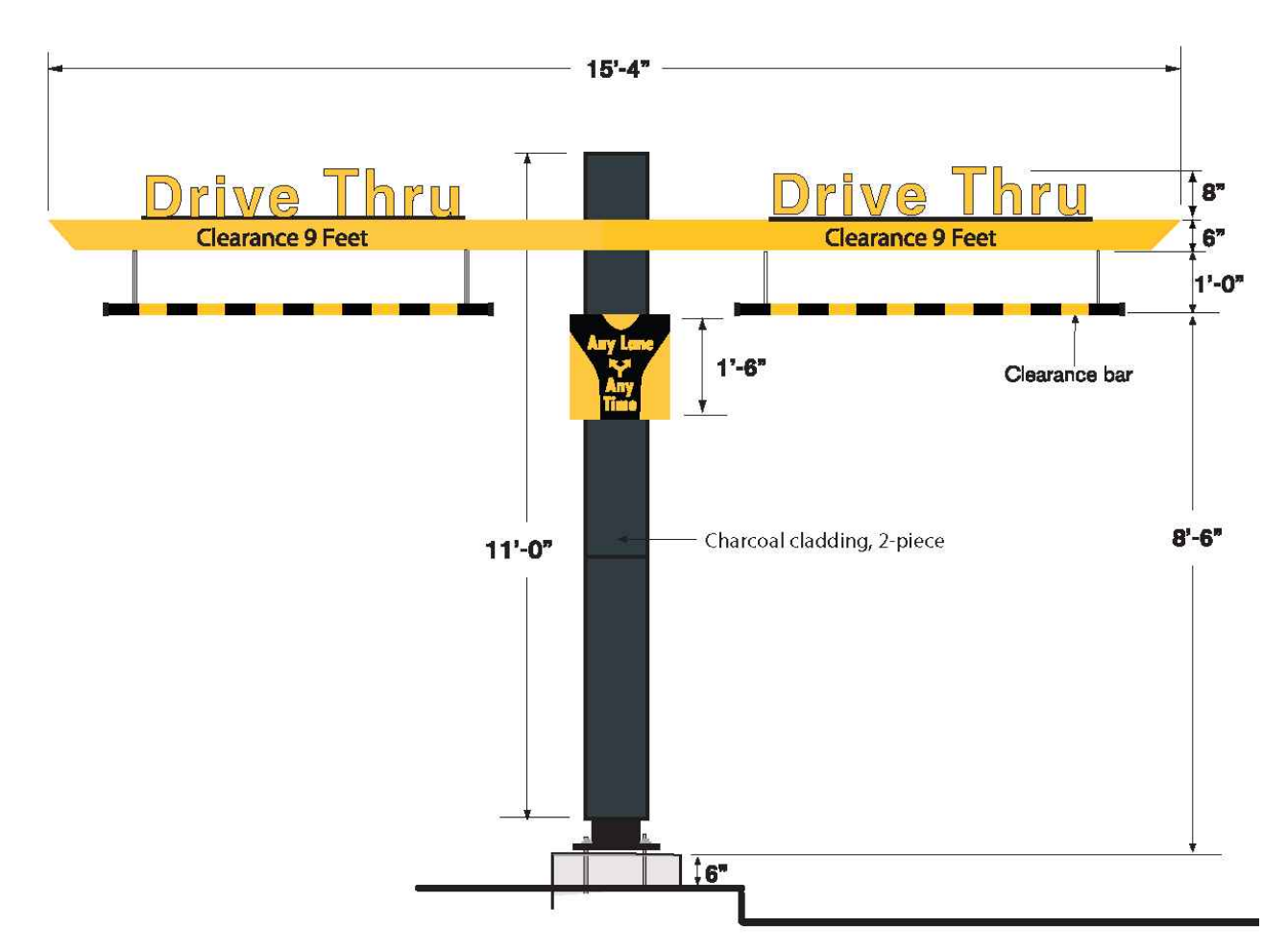
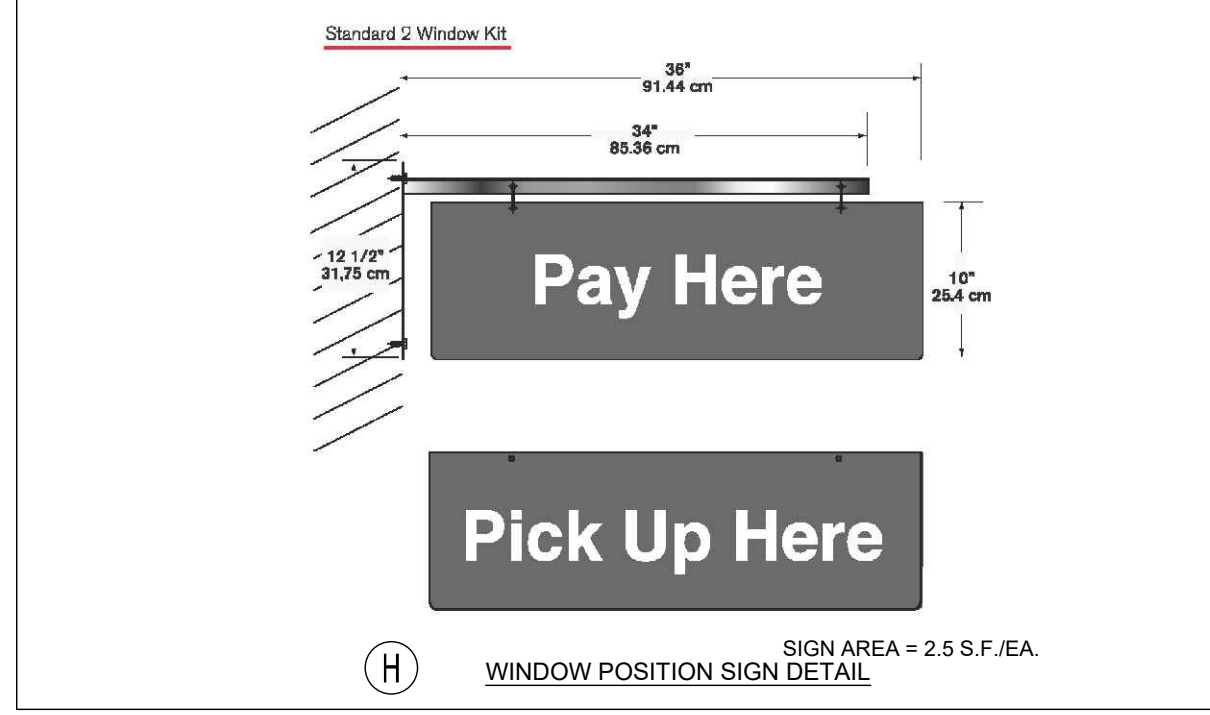
SHEET TITLE:
SITE PLAN
SHEET NUMBER:
6



SIGNAGE PLAN
SCALE: 1" = 20'



NOTE: THE SIGNAGE PLAN SHOWN IS FOR USE AS A REFERENCE ONLY. SIGNAGE PERMITTING IS TO BE COMPLETED BY OTHERS.



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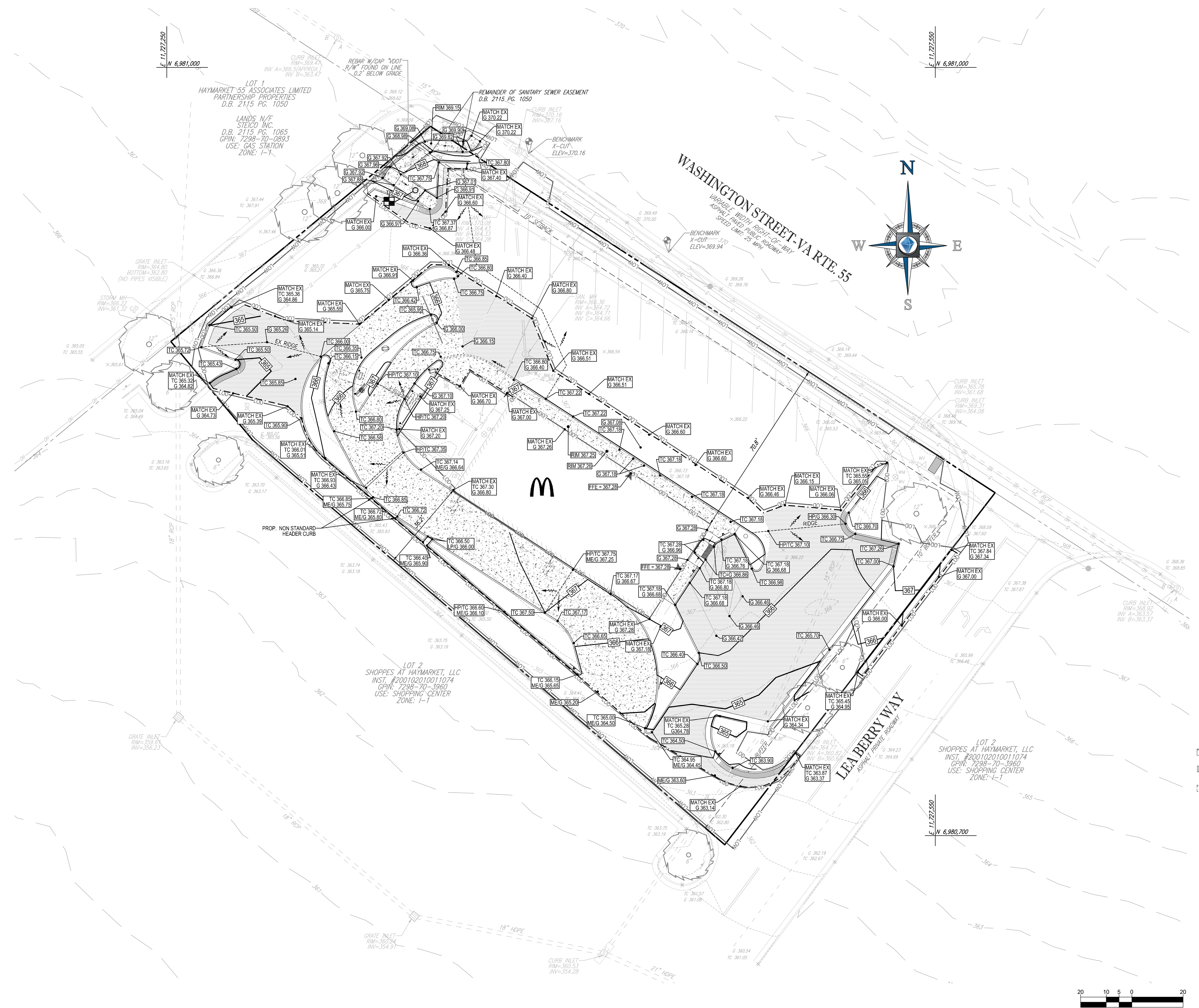
PROJECT: PROP. SITE PLAN DOCUMENTS FOR

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TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

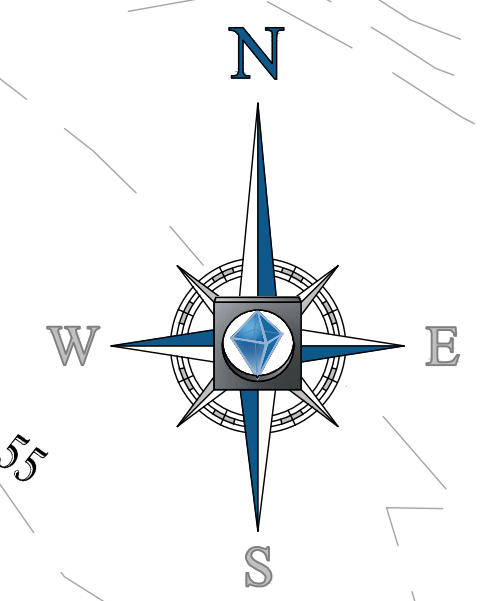
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COMMONWEALTH OF VIRGINIA
JOHN W. BOHLER
Lic. No. 052544
10/23/2020
PROFESSIONAL ENGINEER

SHEET TITLE: SIGNAGE PLAN
SHEET NUMBER: 7

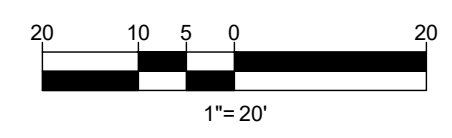


GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120	CONTOUR LINE	120
125	SPOT ELEVATIONS	125
TC 16.03	SANITARY LABEL	TC 16.03
STN #	STORM LABEL	STN #
—	STORM SEWER	—
⊙	STORM MANHOLE	⊙
▽	TYPICAL END SECTION	▽
—	HEADWALL OR ENDWALL	—
⊕	YARD INLET	⊕
⊞	CURB INLET	⊞
⊚	MONITORING WELL	⊚
⊙	BORING	⊙
⊙	BENCHMARK	⊙
⊞	TEST PIT	⊞



LEGEND	
	PROPOSED CONCRETE
	PROPOSED FULL DEPTH ASPHALT PAVEMENT
	CURB AND GUTTER
	SPILL CURB TRANSITION CURB
	DEPRESSED CURB AND GUTTER
	PROPOSED SAWCUT

- GRADING LEGEND (BY OTHERS)**
- MINOR CONTOUR (BY OTHERS) ————
- MAJOR CONTOUR (BY OTHERS) ————
- GRADING PLAN NOTES**
- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: BOHLER ENGINEERING LLC, 22636 DAVIS DRIVE, SUITE 250, STERLING, VIRGINIA 20164. ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED FOR: MCDONALD'S USA, LLC. FILE NO.: SV175005 DATED: 10-17-2017 REVISED: 2-27-2019
 - CONTRACTOR SHALL MATCH FLOWLINE OF EXISTING GRADE AND MATCH EXISTING CROSS-SLOPES IF ASPHALT PATCHING IS REQUIRED.
 - CONTRACTOR SHALL MATCH EXISTING GRADES WHEN TYING PROPOSED FEATURES INTO EXISTING FEATURES.
 - REFER TO GENERAL NOTES SHEET FOR GRADING NOTES.
 - THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY.



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 DRAWN BY: DSH
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 SCALE: 1" = 20'
 CAD I.D.: SS1

PROP. SITE PLAN DOCUMENTS FOR

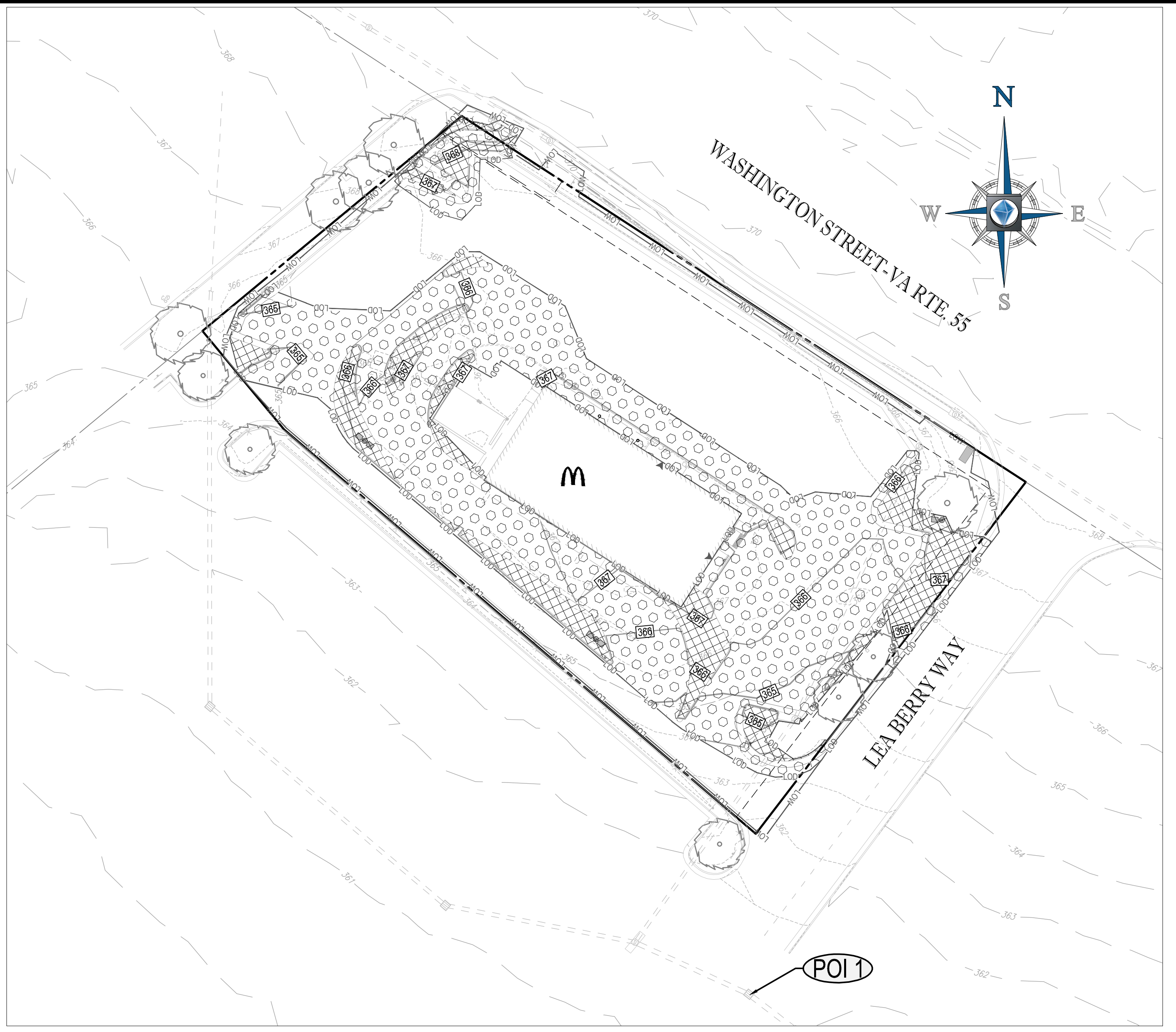
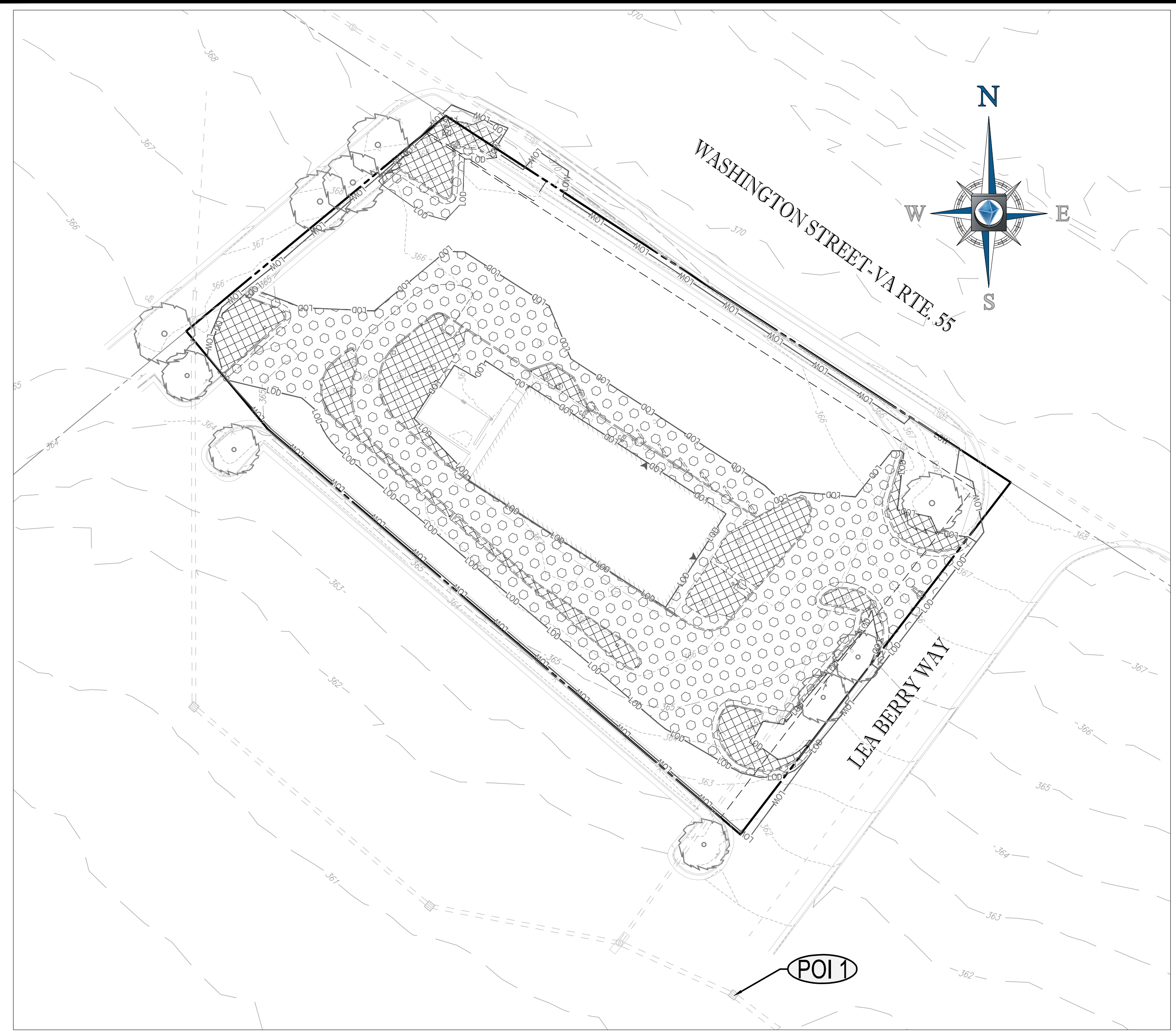
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GRADING PLAN

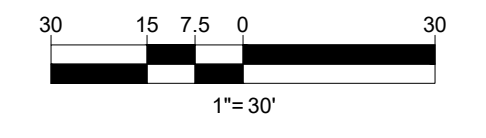
SHEET NUMBER:
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HATCH LEGEND

	IMPERVIOUS AREA (0.36 ACRES)
	PERVIOUS AREA (0.11 ACRES)

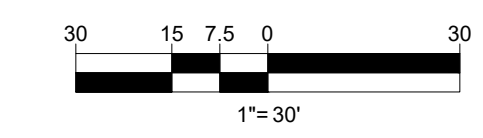
PRE-DEVELOPMENT AREA MAP



HATCH LEGEND

	IMPERVIOUS AREA (0.36 ACRES)
	PERVIOUS AREA (0.11 ACRES)

POST-DEVELOPMENT AREA MAP



DEL Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

Site Summary

Project Name	McDonald's Haymarket - V175000
Date	10/20/2020
Total Facility (sq ft)	48
Total Disturbed acreage	0.47

Site Land Cover Summary

Pre-Development Land Cover (acres)	# Soils	# Soils	C Soils	D Soils	Permeable	% Impervious
Impervious	0.00	0.00	0.00	0.00	0.00	0
Permeable	0.00	0.00	0.11	0.00	0.11	25
Impervious Cover (acres)	0.00	0.00	0.00	0.00	0.00	0
Total	0.00	0.00	0.11	0.00	0.11	0

Post-Development Land Cover (acres)

Post-Development Land Cover (acres)	# Soils	# Soils	C Soils	D Soils	Permeable	% Impervious
Impervious	0.00	0.00	0.00	0.00	0.00	0
Permeable	0.00	0.00	0.11	0.00	0.11	25
Impervious Cover (acres)	0.00	0.00	0.00	0.00	0.00	0
Total	0.00	0.00	0.11	0.00	0.11	0

Site To and Land Cover Nutrient Loads

Site To	Pre-Development (lb/yr)	Post-Development (lb/yr)	Change (lb/yr)
TP Load (lb/yr)	0.25	0.25	0.00
TP Load (lb/yr)	0.25	0.25	0.00

Total TP Load Reduction Required (lb/yr)

Pre-Development	0.25
Post-Development	0.25
Total Reduction Required	0.00

Site Compliance Summary

Maximum % Reduction Required (Below P-Value)	20%
--	-----

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	0.00
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post-Development TP Load (lb/yr)	0.25
Remaining TP Load Reduction (lb/yr) Required	0.00

VRRM SUMMARY SHEETS

STORMWATER MANAGEMENT AND BMP NARRATIVE:

THE PROPOSED PROJECT IS FOR THE REDEVELOPMENT OF AN EXISTING DRIVE-THRU RESTAURANT, ASSOCIATED SITE IMPROVEMENTS AND PARKING LOT RECONFIGURATION. THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF WASHINGTON STREET (VA ROUTE 55) AND LEA BERRY WAY. RUNOFF FROM THIS REDEVELOPMENT DRAINS TO AN EXISTING STORMWATER SYSTEM VIA EXISTING CURB INLETS ON THE EASTERN AND WESTERN SIDES OF THE SITE AND IS CONVEYED TO THE EXISTING STORMWATER SYSTEM. BASED ON AVAILABLE GIS DATA, THE SHOPPING CENTER DRAINS TO THE SOUTH INTO NORTH FORK BROAD RUN.

STORMWATER QUANTITY

THE PROPOSED LIMITS OF DISTURBANCE FOR THIS PROJECT IS APPROXIMATELY 0.47 ACRES. THE EXISTING SITE FLOWS INTO A LARGER STORMWATER SYSTEM BELONGING TO THE ADJACENT SHOPPING CENTER TO THE SOUTH. PRIOR TO THE PROPOSED IMPROVEMENTS, THE LIMITS OF DISTURBANCE CONTAINED 0.36 ACRES OF IMPERVIOUS AREA AND 0.11 ACRES OF PERVIOUS AREA IN THE DISTURBED AREA, EQUIVALENT TO A C FACTOR OF 0.76.

THE PROPOSED REDEVELOPMENT WILL NOT INCREASE IMPERVIOUS AREA ONSITE. THE DISTURBED AREA WILL ALSO CONTAIN 0.36 ACRES OF IMPERVIOUS AREA AND 0.11 ACRES OF PERVIOUS AREA, EQUIVALENT TO A C-FACTOR OF 0.76.

C-FACTORS OF 0.30 AND 0.90 WERE USED FOR PERVIOUS AND IMPERVIOUS SURFACES, RESPECTIVELY, PER EXHIBIT 1, SECTION 700 OF THE PWC DCSM. RAINFALL INTENSITIES WERE BASED ON NOAA ATLAS 14 RAINFALL DATA.

THE PRE AND POST-DEVELOPMENT FLOW RATES AT THE POINT OF INTEREST ARE SUMMARIZED BELOW:

PRE	POST
2-YEAR: 1.58 CFS	2-YEAR: 1.56 CFS
10-YEAR: 2.45 CFS	10-YEAR: 2.45 CFS

AT THE POINT OF INTEREST, THERE IS NO CHANGE IN THE 2 AND 10-YEAR FLOW RATES BETWEEN THE EXISTING AND PROPOSED CONDITIONS. THEREFORE, AS THE EXISTING, MANMADE CONVEYANCE SYSTEM IS CONCRETE PIPE, DESIGNED TO ADEQUATELY CONVEY THE 10-YEAR STORMWATER EVENT, THERE IS NO CONCERN FOR EROSION DURING THE 2-YEAR STORMWATER EVENT. THIS MEETING CHANNEL PROTECTION REQUIREMENTS. GIVEN THE EXISTING FLOW IS UNCHANGED IN POST DEVELOPED CONDITIONS, THE EXISTING STORM CONVEYANCE SYSTEM IS STILL ADEQUATE FOR THE 10-YEAR STORM EVENT AS WELL, THEREFORE MEETING FLOOD PROTECTION REQUIREMENTS.

BASED ON REVIEW OF AVAILABLE GIS DATA, THE SHOPPING CENTER DRAINS GENERALLY TO THE SOUTH TO THE NORTH FORK OF BROAD RUN. THE CONTRIBUTING DRAINAGE AREA TO THAT POINT IS APPROXIMATELY 3,800 AC, OVER ONE THOUSAND TIMES THE DISTURBED AREA. GIVEN THAT THE FLOW RATE DOES NOT INCREASE DUE TO THE PROPOSED DEVELOPMENT AND THERE IS NO EROSION OF THE MANMADE STORMWATER CONVEYANCE SYSTEM AT THE POINT OF INTEREST SHOWN ON THE PLAN, AT NO POINT BETWEEN THIS POINT OF INTEREST AND THE LIMITS OF ANALYSIS WILL THE PROPOSED DEVELOPMENT CAUSE THE EXISTING CONDITION TO INCREASE. THEREFORE IT IS THE OPINION OF THE ENGINEER THAT CHANNEL AND FLOOD PROTECTION REQUIREMENTS HAVE BEEN MET AND NO FURTHER ANALYSIS IS WARRANTED.

STORMWATER QUALITY

SINCE THE SUBJECT SITE WAS PREVIOUSLY DEVELOPED, WATER QUALITY REQUIREMENTS WERE CALCULATED USING THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) RE-DEVELOPMENT SPREADSHEET. USING THIS SPREADSHEET, IT WAS DETERMINED THAT THE DEVELOPMENT OF THIS SITE WOULD REQUIRE THE TREATMENT OF AN ADDITIONAL 0.08 BYR OF PHOSPHORUS REMOVAL, TO MEET THIS REMOVAL REQUIREMENT, NUTRIENT OFFSET CREDITS WILL BE PURCHASED, AN AVAILABILITY LETTER SHOWING THAT MORE CREDITS THAN REQUIRED ARE AVAILABLE HAS BEEN PROVIDED. SINCE THE PHOSPHORUS REMOVAL ACHIEVED BY THESE MEASURES MEETS THE AMOUNT REQUIRED BY THE VRRM RE-DEVELOPMENT SPREADSHEET, ALL STORMWATER QUALITY REQUIREMENTS FOR THIS PROJECT HAVE BEEN MET AND NO FURTHER ANALYSIS IS REQUIRED.

CONCLUSION

AS STORMWATER QUALITY REQUIREMENTS ARE BEING MET THROUGH THE PURCHASE OF NUTRIENT OFFSET CREDITS AND THE STORMWATER QUANTITY REQUIREMENTS ARE BEING MET BY SHOWING THAT EXISTING DRAINAGE AREAS AND FLOWS ARE BEING MAINTAINED, IT IS THE OPINION OF THE ENGINEER THAT THE STORMWATER QUANTITY AND QUALITY REQUIREMENTS ARE SATISFIED FOR THIS PROJECT AND NO FURTHER ANALYSIS IS WARRANTED.

res

Date: February 27, 2019

To: Kevin Lee, Staff Engineer, Bohler Engineering

From: Caitlan Parker, Credit Sales Coordinator, Resource Environmental Solutions

Subject: Potomac Watershed - Nutrient Credit Availability

Project Reference: McDonald's - Haymarket, VA; 0.10 Credits Requested; HUC 02070010

This letter is to confirm the availability of 0.10 authorized nutrient credits ("RES" Credits) from one or more of Resource Environmental Solutions' ("RES") Potomac nutrient bank facilities for use by permit applicants within the Potomac watershed, including HUC 02070010, to compensate for nutrient loadings in excess of state or local regulations, as per Virginia Code § 62.1-44.15-35 and § 62.1-44.19-14 and Virginia Administrative Code 9 VAC 25-220-10 et seq. These Nutrient Credits are generated and managed under the terms of the Banking Instruments known as the Antonio Nutrient Reduction Implementation Plan ("NRIP").

Please feel free to contact me if you have any questions.

Sincerely,
Caitlan B. Parker
Resource Environmental Solutions
cparker@res.us

NUTRIENT CREDIT AVAILABILITY LETTER

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SUSTAINABLE DESIGN
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PROJECT No.:	V175000
DRAWN BY:	DSH
CHECKED BY:	JOR
DATE:	3/11/19
SCALE:	1" = 20'
CAD I.D.:	SS1

PROJECT: **PROP. SITE PLAN DOCUMENTS**

FOR

LOCATION OF SITE
6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA

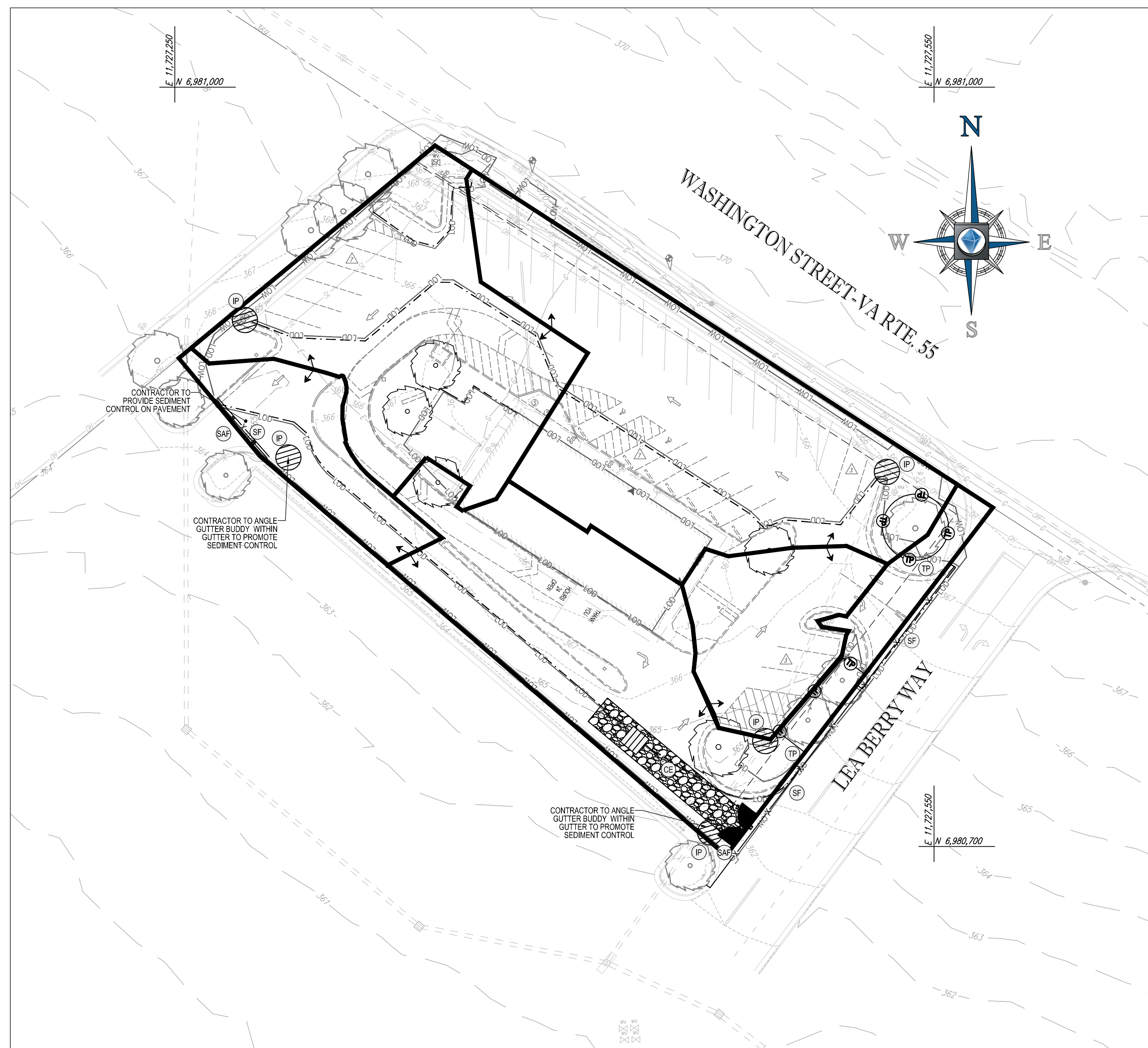
JOHN W. BOHLER
Lic. No. 052544

10/23/2020

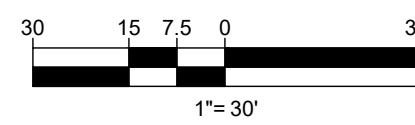
PROFESSIONAL ENGINEER

SHEET TITLE:
PRE/POST DEVELOPED DRAINAGE MAP

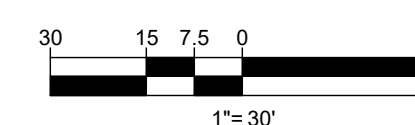
SHEET NUMBER:
9



E&S CONTROL PLAN - PHASE I



E&S CONTROL PLAN - PHASE II



SOILS TABLE		
SYMBOL	SOIL NAME	SLOPES
4B	ARCOLA SILT LOAM	2-7%

VIRGINIA UNIFORM CODING SYSTEM

FOR EROSION AND SEDIMENT CONTROL PRACTICES

NO.	TITLE	KEY	SYMBOL	NO.	TITLE	KEY	SYMBOL
3.01	SAFETY FENCE	SAF		3.32	PERMANENT SEEDING	PS	
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE		3.35	MULCHING	MU	
3.05	SILT FENCE	SF		3.38	TREE PRESERVATION AND PROTECTION	TP	
3.07	STORM DRAIN INLET PROTECTION	IP					

EROSION CONTROL NOTES

1. REFER TO EROSION CONTROL DETAILS FOR ADDITIONAL EROSION NOTES & DETAILS.
2. THIS PLAN TO BE UTILIZED FOR EROSION PURPOSES ONLY.
3. SEE SHEET 11 FOR SEQUENCE OF CONSTRUCTION.

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DRAWN BY:	DSH
CHECKED BY:	JOR
DATE:	3/1/19
SCALE:	1" = 30'
CAD I.D.:	SS1

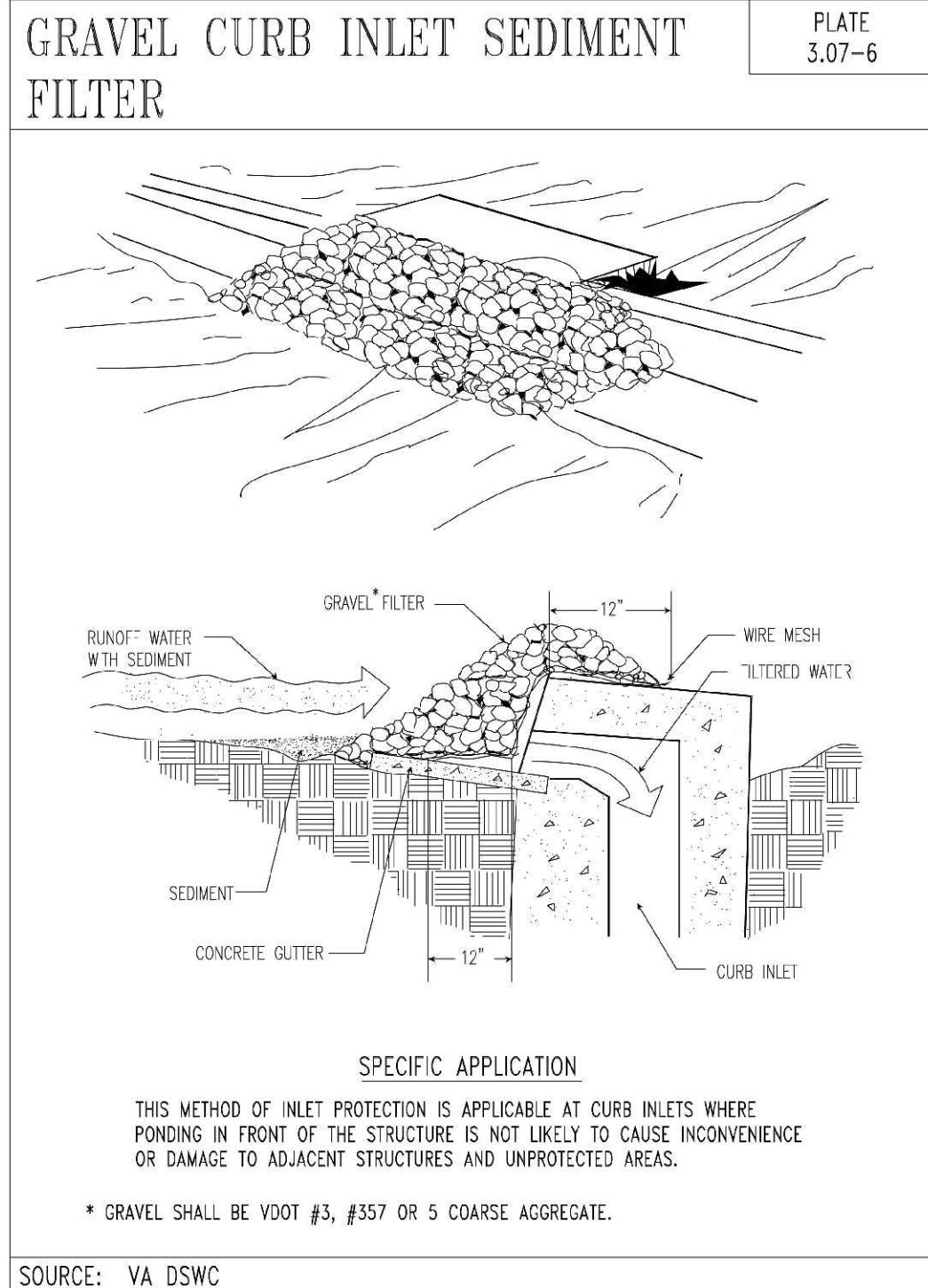
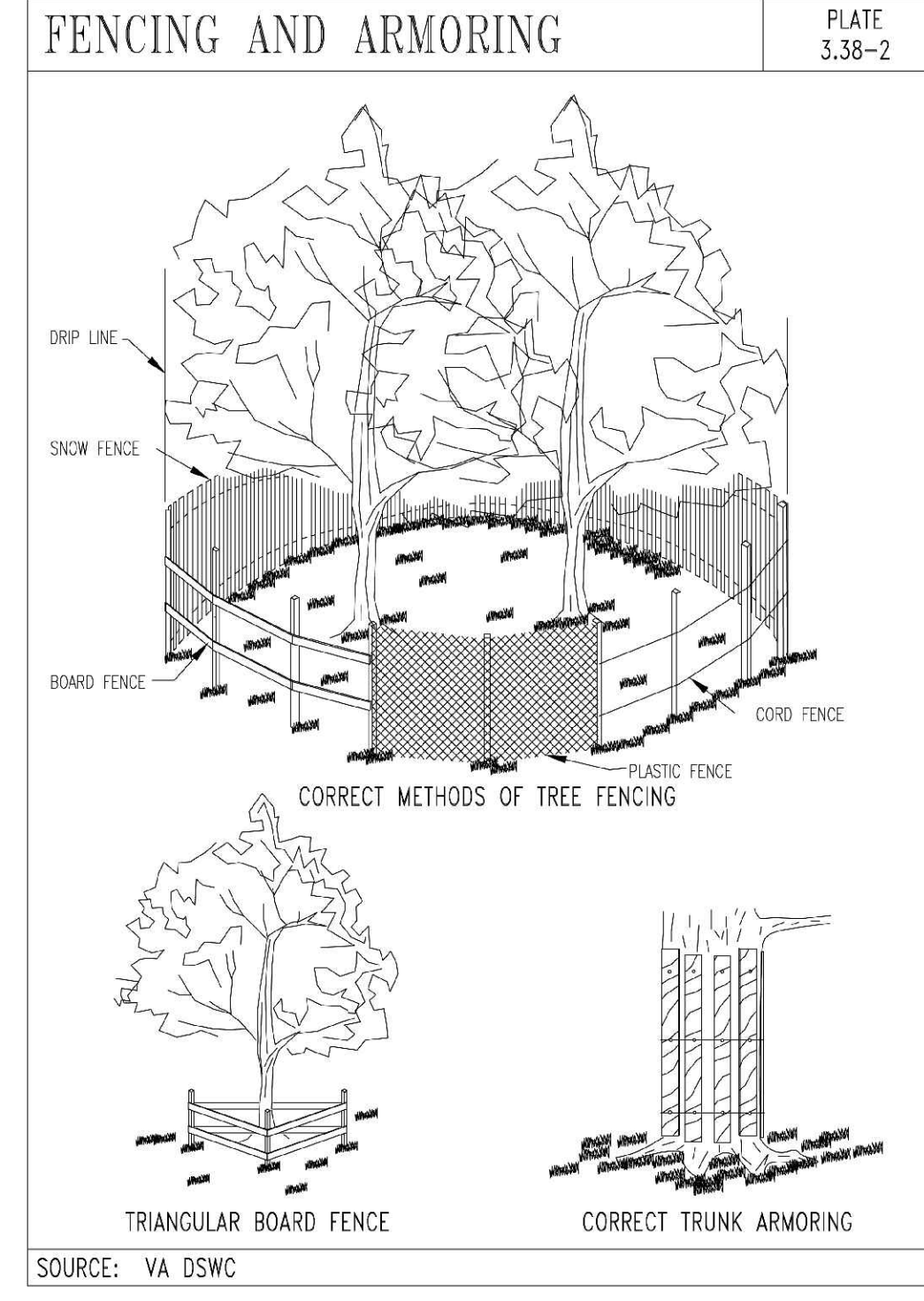
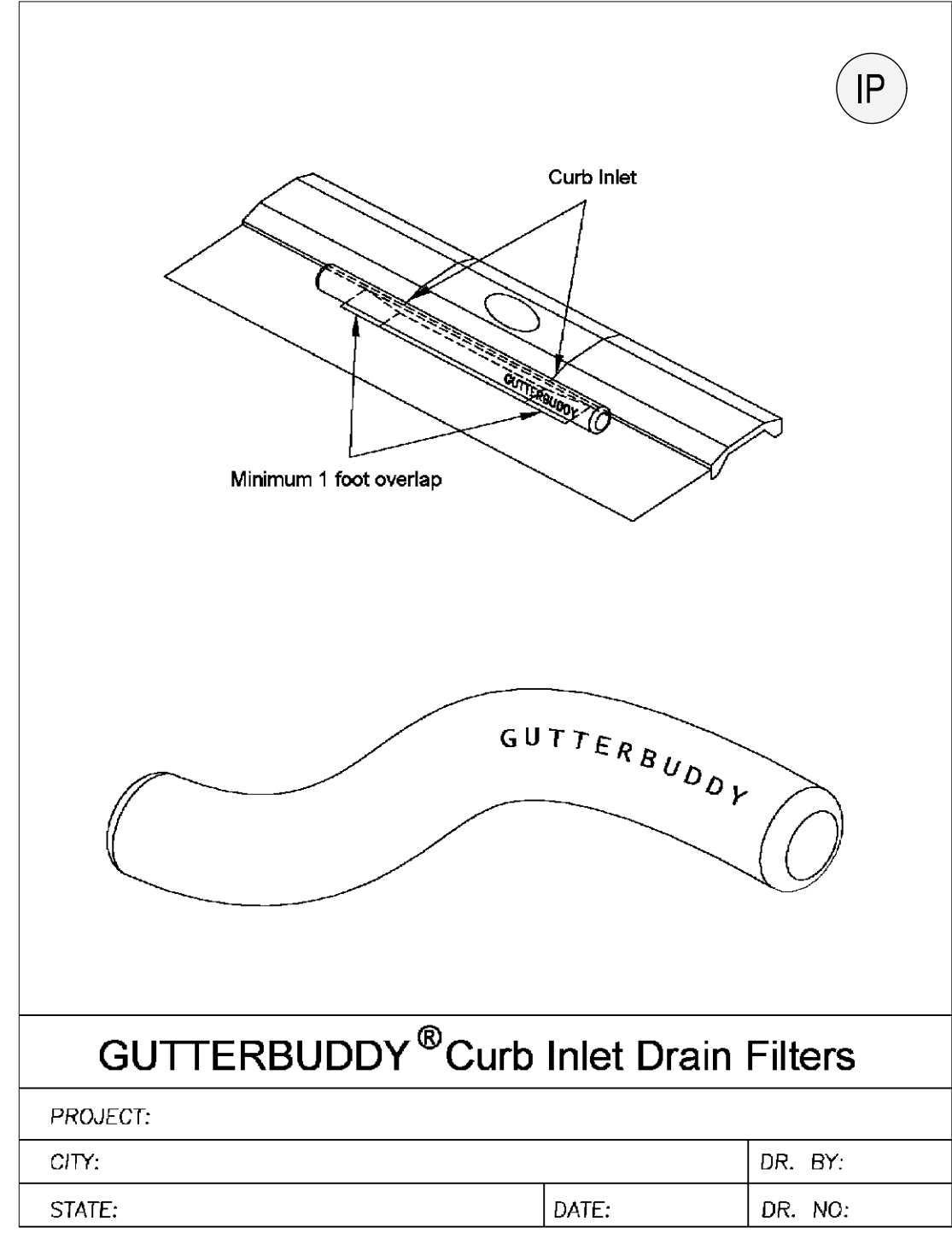
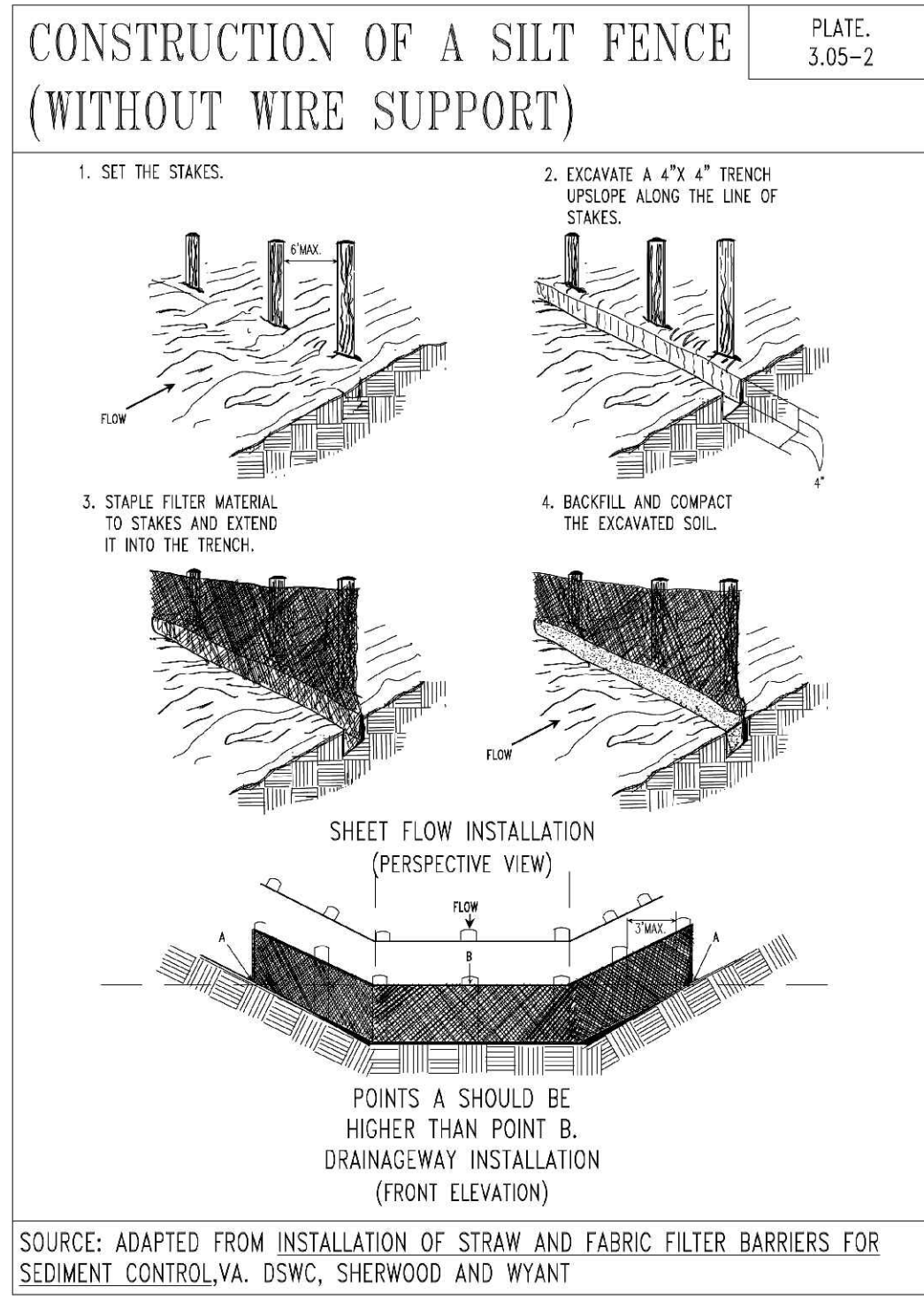
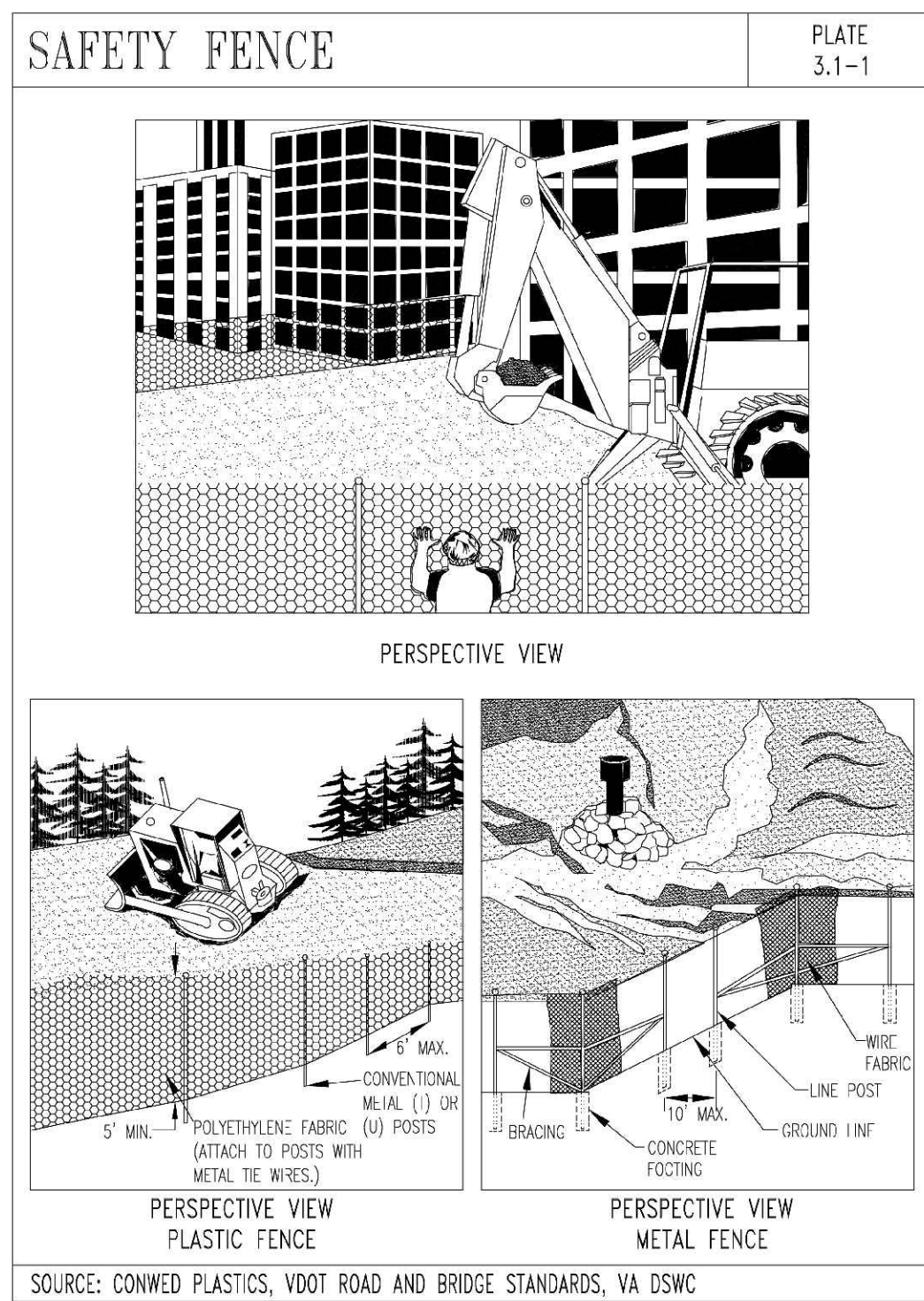
PROJECT: **PROP. SITE PLAN DOCUMENTS**
 FOR

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 6740 LEA BERRY WAY
 TOWN OF HAYMARKET
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 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JOHANNAN FRIGLIE
 Lic. No. 052544
 10/23/2020
 PROFESSIONAL ENGINEER

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I & II
 SHEET NUMBER:
10



1992 3.33

TABLE 3.33-A

TYPE OF SOD AVAILABLE IN VIRGINIA AND RECOMMENDED USES

Kentucky Bluegrass: Adapted to the Northern Piedmont and Mountain Regions. Individual varieties selected must make up not less than 10%, nor more than 35% of the total mixture on a weight basis. All varieties must be certified. Selections can be made from Category I alone or various combinations of Categories I, II and III, as noted.

Category I - Recommended Kentucky Bluegrass Varieties

65% - 100% A-34, Abbey, Aspen, Asset, Baron, Blackburg, Bristol, Cheri, Chateau, Classic, Coventry, Georgetown, Glade, Haga, Julia, Liberty, Loft's 1757, Merit, Midnight, Monopoly, Plush, Princeton 104, Rugby, Suffolk, Vieta

Category II - Special use varieties. If used, must contain at least 65% Category I varieties

Shade Tolerant

10-35% Bristol, Columbia, Georgetown, Glade, Midnight

Low-Maintenance Tolerant

10-35% Columbia, Georgetown, Monopoly, Ram I, Touchdown, Vieta

Category III - Promising Kentucky Bluegrass - Limited performance data or seed availability

10-35% Dawn, Estate, Freedom, Kelly

(continued)

1992 3.33

TABLE 3.33-A (CONTINUED)

TYPE OF SOD AVAILABLE IN VIRGINIA AND RECOMMENDED USES

Tall Fescue: Adapted to the entire state.

Recommended Tall Fescue Varieties:

90-100% Amigo, Apache, Bonanza, Chieftain, Finelawn 5GL, Mesa, Rebel II, Shenandoah, Tribute

Promising Tall Fescues

Certified Arriba, Austin, Avanti, Aztec, Cochise, Crossfire, Eldorado, Hubbard 87, Jaguar II, Maverick II, Monarch, Olympic II, Phoenix, Safari, Shortstop, Sundance, Taurus, Thoroughbred, Titan, Tradition, Vegas, Winchester, Wrangler

0-10% Kentucky bluegrass: Baron, Cheri, Columbia, Monopoly, Nassau, Ram I, Vieta

Bermudagrass: Tufcote is adapted to the Richmond-Danville-Newport News triangle. Midiron may be used east of Roanoke and south of Charlottesville. Tifgreen and Tifway may be used to the east and south of Richmond. Vamont may be used east of Roanoke and at lower elevations in southwestern Virginia.

Certified Midiron, Tifgreen®, Tifway, Tifway II, Tufcote and Vamont

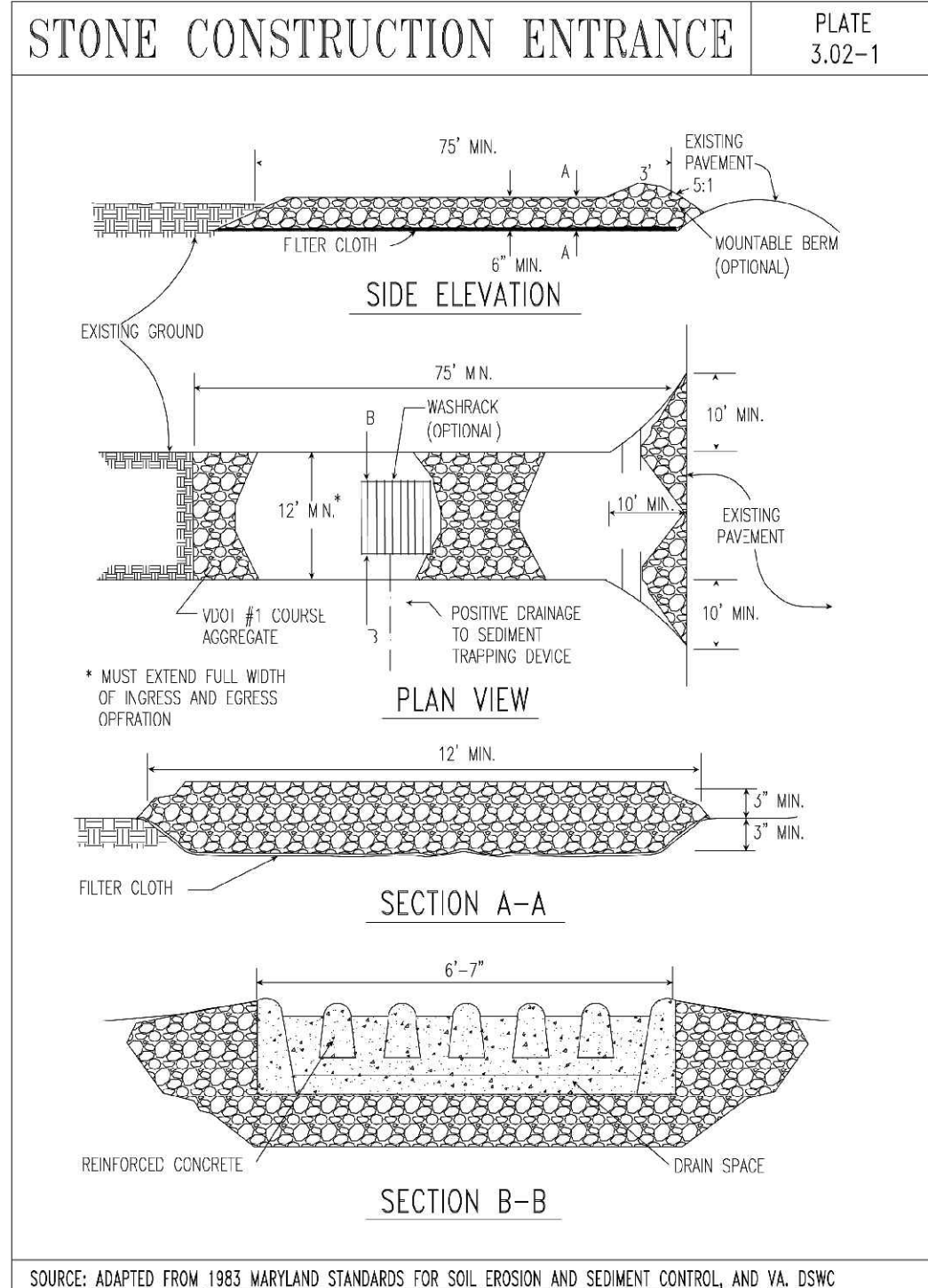
Zoysiagrass: This sod performs best in southeastern Virginia.

Meyer, Emerald®

Note: Common Bermudagrass is not recommended for sod production.

® Only recommended in southeastern Virginia.

SOURCE: 1991 Virginia Turfgrass Variety Recommendations, Virginia Crop Improvement Association



1992 3.35

TABLE 3.35-A

ORGANIC MULCH MATERIALS AND APPLICATION RATES

MULCHES:	RATES:		NOTES:
	Per Acre	Per 1000 sq. ft.	
Straw or Hay	1½ - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

SOURCE: Va. DSWC

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PROJECT No.: V175005
DRAWN BY: DSH
CHECKED BY: JOR
DATE: 3/11/19
SCALE: AS NOTED
CAD I.D.: SD1

PROJECT: **PROP. SITE PLAN DOCUMENTS** FOR

LOCATION OF SITE
6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

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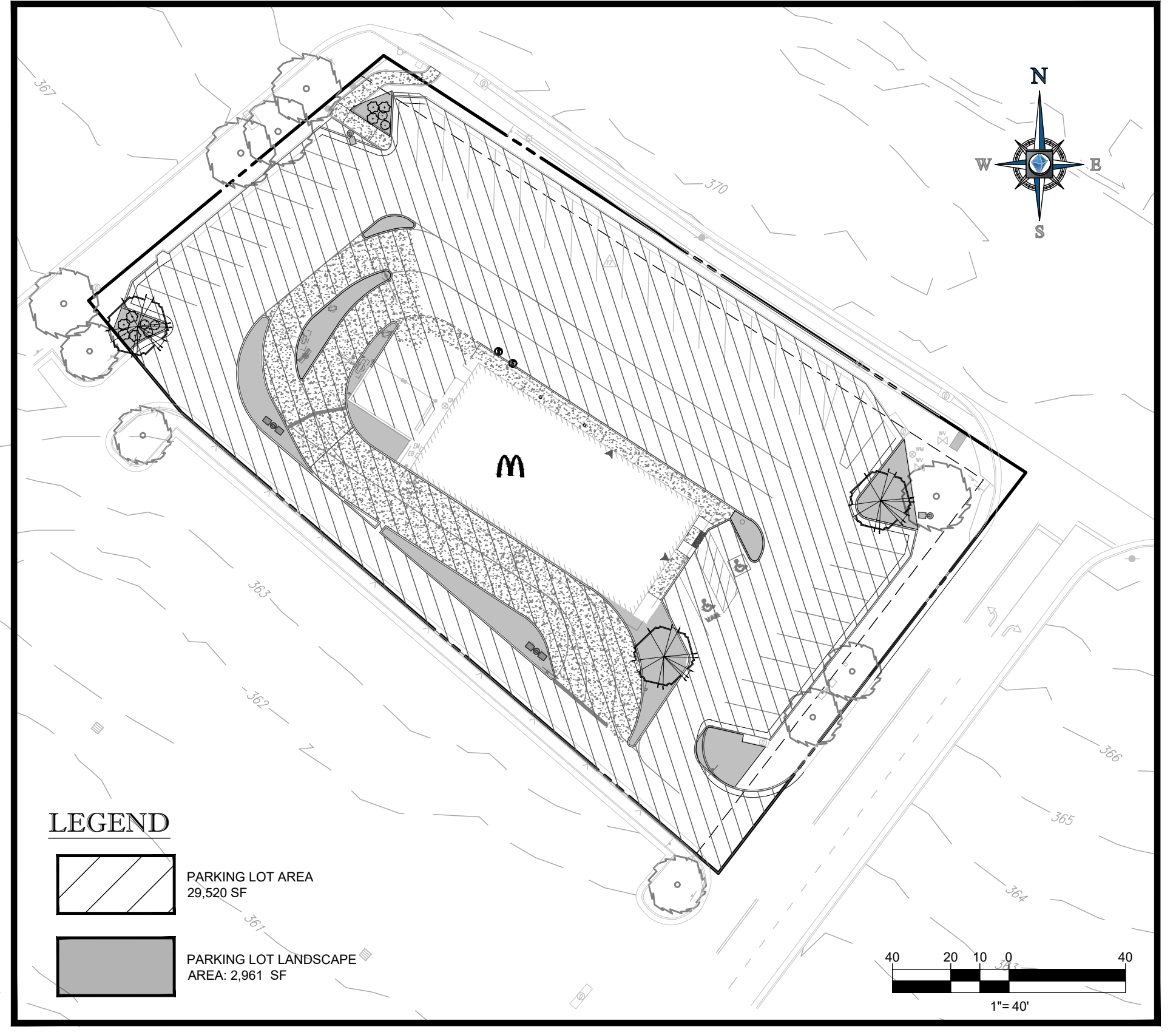
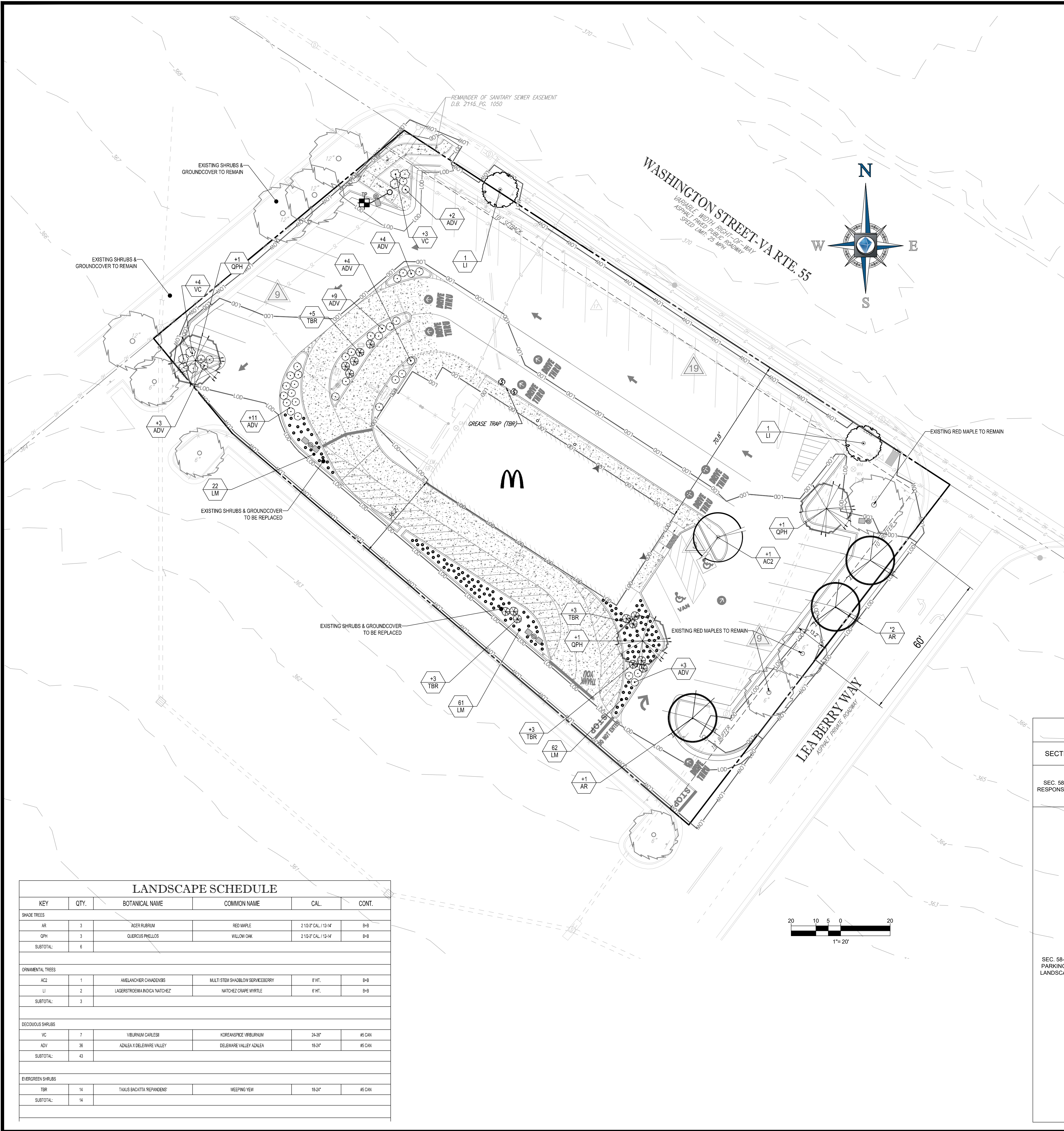
JOHN W. BOHLER
Lic. No. 052544

10/23/2020
PROFESSIONAL ENGINEER

SHEET TITLE:
EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER:
12

Attachment: 201022 McDonalds Haymarket Site Plan Rev 3 (4812) : McDonald's Site Plan for Second Drive Thru



LEGEND

- PARKING LOT AREA
29,520 SF
- PARKING LOT LANDSCAPE
AREA: 2,961 SF

LANDSCAPE NOTES:

1. DUE TO THE EXISTING CONDITIONS BEING MAINTAINED ADJACENT TO WASHINGTON STREET, THIS LANDSCAPE PLAN ASSUMES THAT THIS AREA IS EXEMPT FROM THE "PARKING LOTS ADJACENT TO PUBLIC STREETS" LANDSCAPE COMPLIANCE REGULATIONS.
2. DUE TO THE EXISTING CONDITIONS BEING MAINTAINED ADJACENT TO THE NORTHWEST AND SOUTHWEST PROPERTY LINES, THIS LANDSCAPE PLAN ASSUMES THAT THESE AREAS ARE EXEMPT FROM THE "PARKING LOTS ADJACENT TO OTHER PARKING LOTS" LANDSCAPE COMPLIANCE IN THESE REGULATIONS LOCATIONS.

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.
SHADE TREES					
AR	3	ACER RUBRUM	RED MAPLE	2 1/2" CAL. 12'-14'	B+B
QPH	3	QUERCUS PELLIS	WILLOW OAK	2 1/2" CAL. 12'-14'	B+B
SUBTOTAL:	6				
ORNAMENTAL TREES					
AC2	1	AVICELANCHER CANADENSIS	MULTI STEM SHADBLON SERVICEBERRY	8 FT.	B+B
LI	2	LAGERSTROEMIA INDICA NATCHIEZ	NATCHIEZ CHAPE WYRTLE	8 FT.	B+B
SUBTOTAL:	3				
DECIDUOUS SHRUBS					
VC	7	VIORNIAM CARLESII	KOREANSPICE VIBURNUM	24-30"	#5 CAN
ADV	39	AZALEA X DELEWARE VALLEY	DELEWARE VALLEY AZALEA	18-24"	#5 CAN
SUBTOTAL:	46				
EVERGREEN SHRUBS					
TBR	14	TAXUS SACATA REPANDENS	WEeping YEW	18-24"	#5 CAN
SUBTOTAL:	14				

TOWN OF HAYMARKET COMPLIANCE CHART			
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED	COMPLIANCE
SEC. 58-17.5 RESPONSIBILITY	THE MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING IN COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OPEN SPACE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNERS. PLANTED MATERIAL SHALL BE MAINTAINED IN A HEALTHY STATE AND REPLACED WHEN DISEASED OR DEAD. ALL LANDSCAPING STRUCTURES SHALL ALSO BE KEPT IN GOOD CONDITION.	REPLACEMENT LANDSCAPE CALCULATIONS EXISTING TREES TO BE DEMOLISHED: 4 CANOPY TREES PROPOSED REPLACEMENT TREES: 4 CANOPY TREES	COMPLIES
SEC. 58-17.13 PARKING LOT LANDSCAPING	(C) PARKING LOTS ADJACENT TO PUBLIC STREETS. A CONTINUOUS LANDSCAPE STRIP TEN FEET IN WIDTH NOT INCLUSIVE OF THE SIDEWALK SHALL BE LOCATED BETWEEN THE PROPERTY LINE AND THE PARKING LOT. IF ROAD IMPROVEMENTS ARE NECESSARY ACROSS THE FRONT OF THE PROPERTY, A CONTINUOUS LANDSCAPE STRIP WITH AN AVERAGE WIDTH OF TEN FEET MAY BE PROVIDED TO MEET THE REQUIREMENTS OF THIS SECTION. IF A PARKING LOT IS BUILT ADJACENT TO AN EXISTING PARKING LOT WHICH HAS A LANDSCAPE STRIP NARROWER THAN TEN FEET IN WIDTH, THE WIDTH OF THE EXISTING LANDSCAPE AREA MAY BE CONTINUED PROVIDED THAT IT IS A MINIMUM FIVE FEET WIDE. (D) NUMBER OF TREES. THERE WILL BE ONE TREE FOR EACH 30 FEET OF FRONTAGE AND SHALL BE PLANTED IN THE LANDSCAPE STRIP. (E) SCREENING ADJACENT TO THE PUBLIC STREET. A SCREEN THROUGH THE USE OF THE PLANTING OF SHRUBS, HEDGES OR THE CREATION OF BERMS OF A COMBINATION OF SUCH USES SHALL BE USED TO SCREEN THE PARKING LOTS TO ANY PUBLIC STREET FOR THE FULL LENGTH OF THE STREET FRONTAGE. NO BERM OR PLANT MATERIAL SHALL OBSTRUCT THE SIGHT DISTANCE OF A MOTORIST ENTERING OR LEAVING THE SITE IN ACCORDANCE WITH 58-17.7(A). (F) SPECIES OF VEGETATION. ALL TREES AND SHRUBS PLANTED SHALL MEET THE REQUIREMENTS OF SECTIONS 58-17.12.	LANDSCAPE CALCULATIONS CONTINUOUS LANDSCAPE BUFFER REQUIRED: 10' CONTINUOUS LANDSCAPE BUFFER PROVIDED: 13.2' LEA BERRY WAY ADDITIONAL FRONTAGE PROPOSED: 60 FEET QUANTITY OF TREES REQUIRED: 60 LF x 1/30 : 2 TREES QUANTITY OF TREES PROVIDED: 2 TREES	COMPLIES
		*** INDICATED SPECIES USED TO FULFILL THIS REQUIREMENT	
	(E) INTERIOR PARKING LOT LANDSCAPING SHALL APPLY TO THE ENLARGEMENT OR CONSTRUCTION OF ANY PARKING AREA OR LOT WITH TEN OR MORE PARKING SPACES. THIS WILL BE IN ADDITION TO THE PERIMETER PARKING LOT LANDSCAPING, STREET TREE PLANTING AND SCREENING. (2) LANDSCAPE AREA REQUIREMENTS. THE MINIMUM LANDSCAPE FOR THE INTERIOR PARKING LOT SHALL BE FIVE PERCENT OF THE GROSS AREA WHICH SHALL INCLUDE ALL PAVED AREAS WITHIN THE LOT, INCLUDING INGRESS AND FOR PAVED STORAGE AREAS, A SUBTRACTION FROM THE FIGURE FOR LAND USE SUCH AS LUMBERYARDS AND WAREHOUSES MAY BE APPLIED. (3) MINIMUM LANDSCAPE AREA. THE TOTAL MINIMUM LANDSCAPE AREA FOR INTERIOR PARKING LOTS SHALL BE 25 SQUARE FEET. EACH LANDSCAPE AREA SHALL HAVE AT LEAST ONE CANOPY TREE. (4) NUMBER OF TREES. THERE WILL BE ONE TREE FOR EVERY TEN PARKING SPACES. (5) NUMBER OF SHRUBS. THERE WILL BE THREE SHRUBS FOR EVERY TEN PARKING SPACES. (6) SPECIES OF VEGETATION. ALL TREES AND SHRUBS PLANTED SHALL MEET THE REQUIREMENTS OF CANOPY SHADE TREES AS IDENTIFIED IN SECTIONS 58-17.12.	LANDSCAPE AREA CALCULATIONS PAVED PARKING AREA: 29,520 SF REQUIRED PARKING LOT LANDSCAPE AREA 5%: 1,476 SF PARKING LOT LANDSCAPE AREA PROVIDED: 2,961 SF 10% PARKING LOT TREES REQUIRED 40 x (1/10): 4 TREES PARKING LOT SHRUBS REQUIRED 40 x (3/10): 12 SHRUBS PARKING LOT TREES PROVIDED: 4 TREES PARKING LOT SHRUBS PROVIDED: 57 SHRUBS	COMPLIES
		** INDICATED SPECIES USED TO FULFILL THIS REQUIREMENT	

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PROJECT No.: V175005
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 CHECKED BY: JOR
 DATE: 3/1/19
 SCALE: AS NOTED
 CAD I.D.: SS1

PROP. SITE PLAN DOCUMENTS FOR

LOCATION OF SITE
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 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

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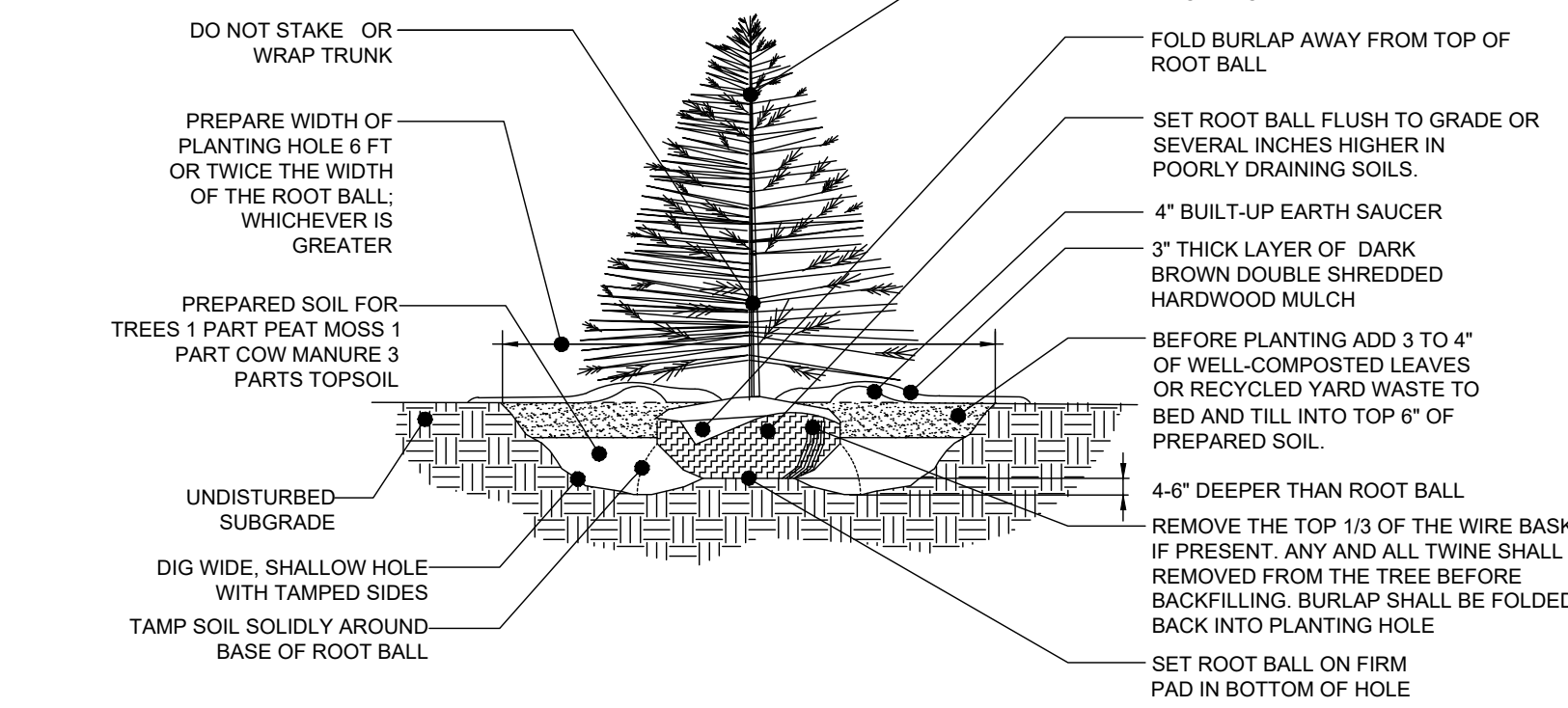
COMMONWEALTH OF VIRGINIA LANDSCAPE ARCHITECT
 ADAM T. ROGERS
 Lic. No. 0406001810
 10/23/2020

SHEET TITLE:
LANDSCAPE PLAN
 SHEET NUMBER:
13

LANDSCAPE SPECIFICATIONS

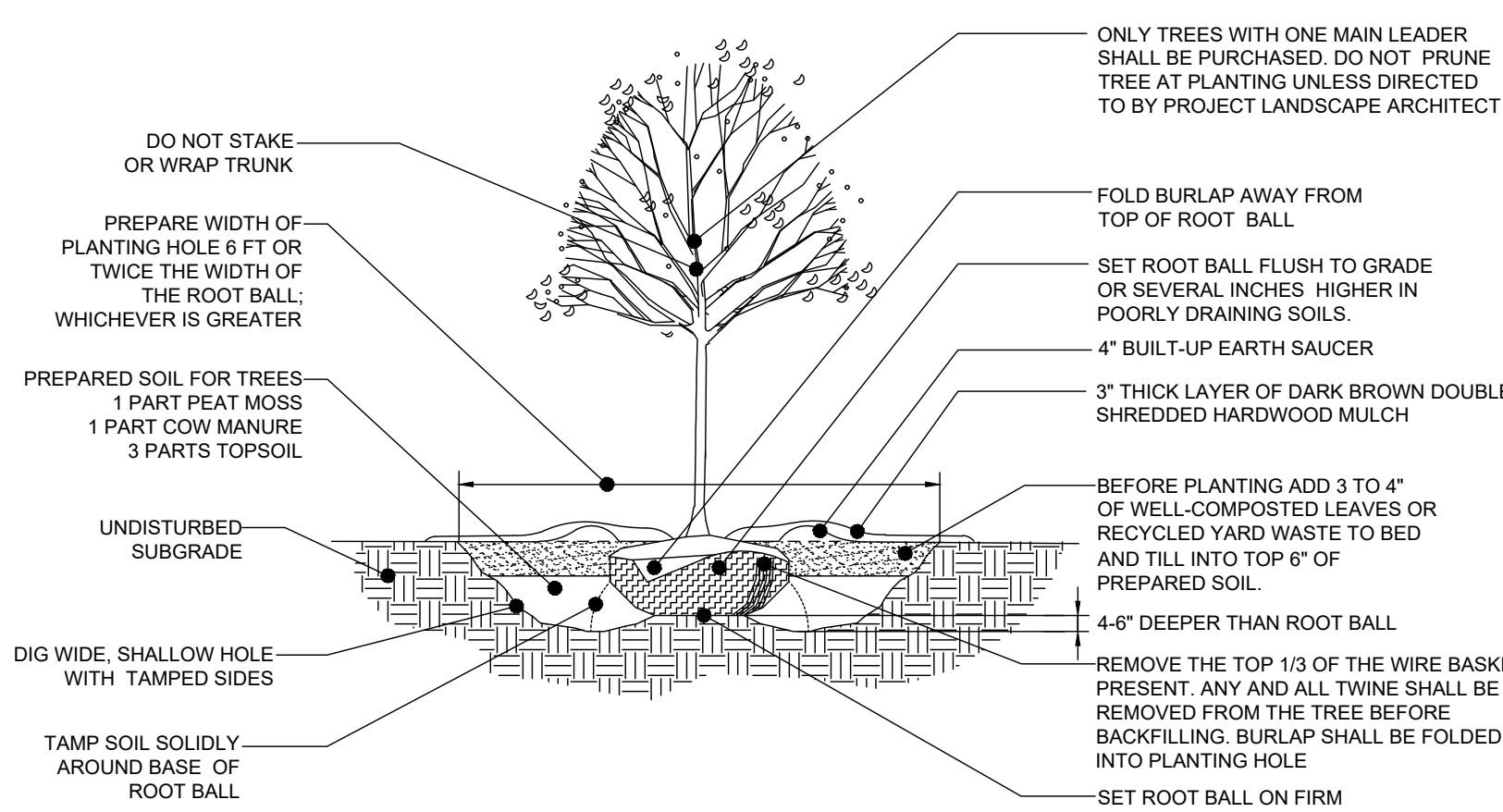
- 1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT... 2. MATERIALS: A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS... 3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY... 4. FERTILIZER: 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER... 5. PLANT MATERIAL: 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z603-1)... 6. SITE PREPARATIONS: A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN... 7. TREE PROTECTION: A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER... 8. SOIL MODIFICATIONS: A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING... 9. FINISHED GRADING: A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE... 10. TOPSOILING: A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS... 11. PLANTING: A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY... 12. MAINTENANCE: A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE... 13. CLEANUP: A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE...

EVERGREEN TREE PLANTING DETAIL



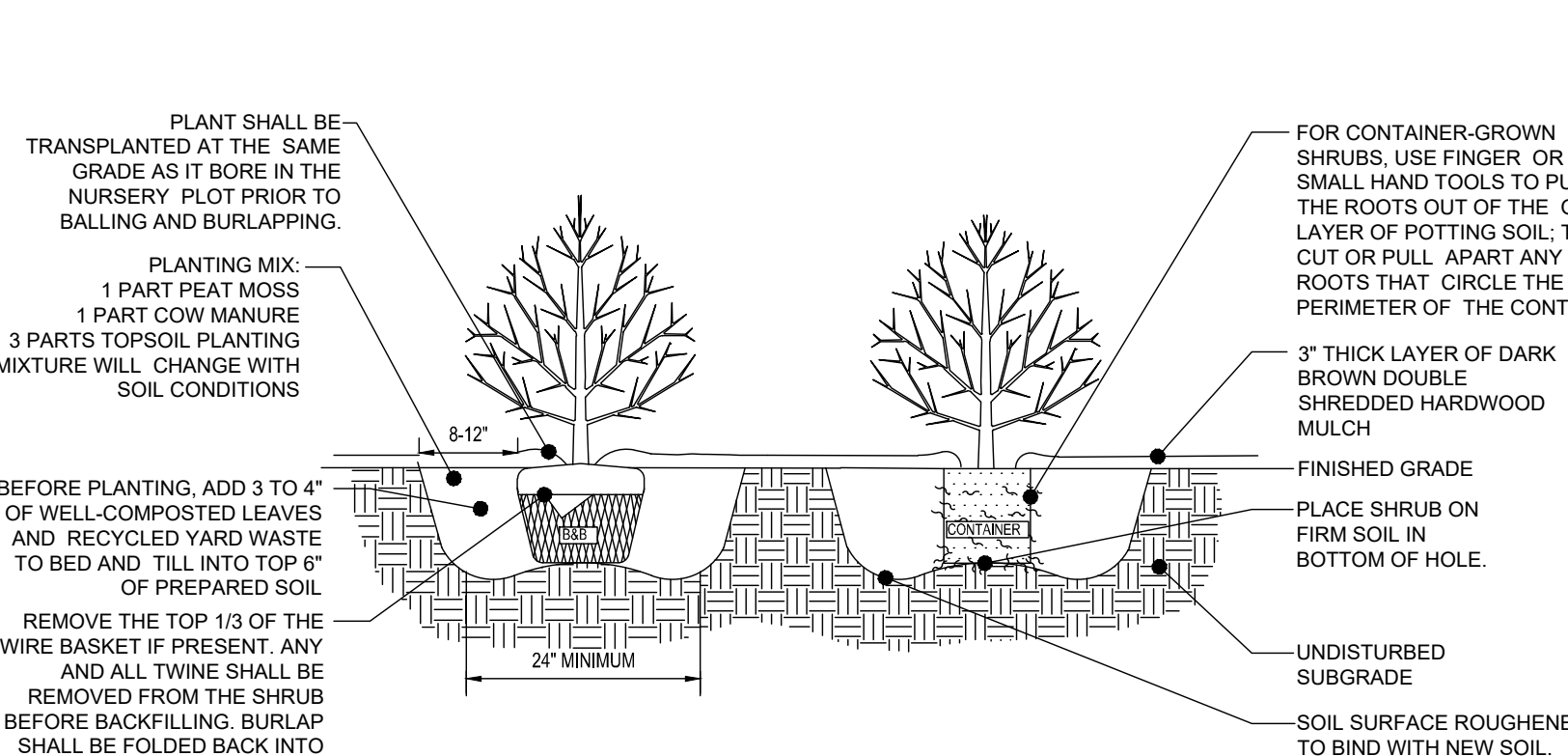
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. NOT TO SCALE.

DECIDUOUS TREE PLANTING DETAIL



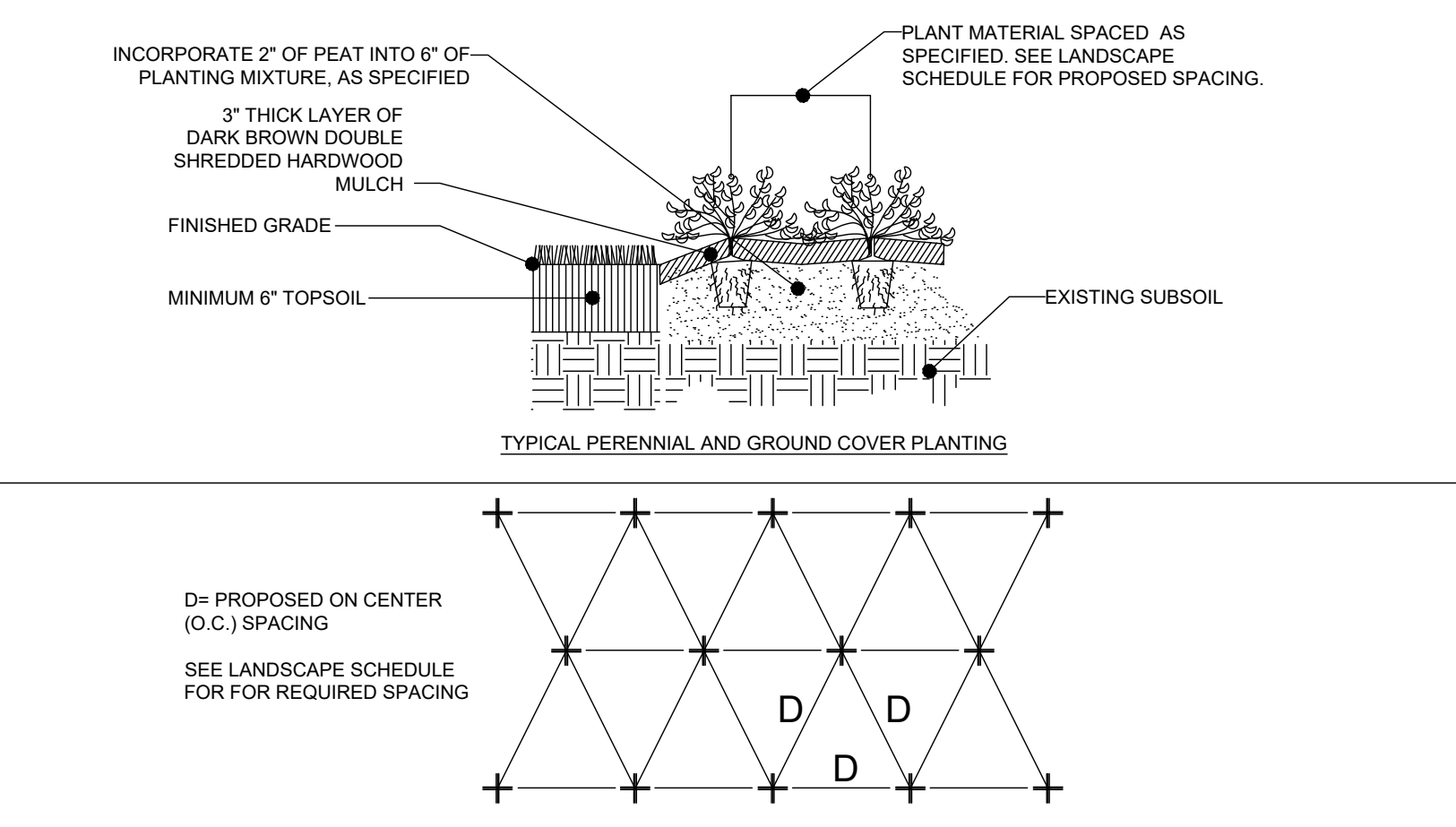
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. NOT TO SCALE.

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL



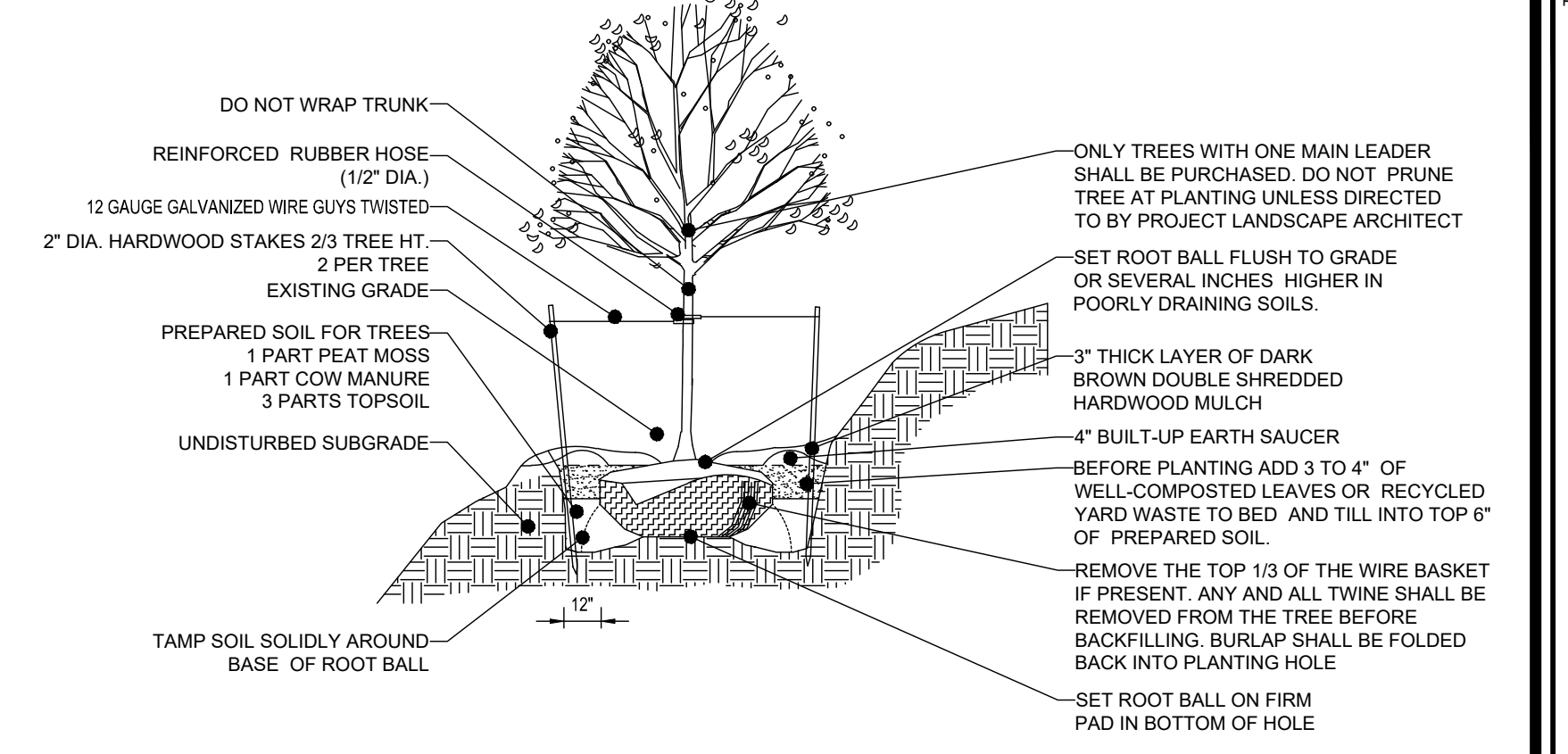
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. NOT TO SCALE.

PERENNIAL/GROUND COVER PLANTING DETAIL



NOT TO SCALE.

NOTE: TREE STAKING TO BE REMOVED AFTER 2 GROWING SEASONS



TREE PLANTING ON SLOPE DETAIL

NOT TO SCALE.

SEEDING SPECIFICATIONS

- 1. MATERIAL: 1.1. SEED MIXTURE MUST BE COMPRISED OF THE FOLLOWING VARIETIES AND AT THE SPECIFIED COMPOSITION: 1.1.1. 80% - TURF TYPE TALL FESCUE SEED, 1.1.2. 10% - KENTUCKY BLUEGRASS SEED, 1.1.3. 10% - ANNUAL RYE GRASS SEED... 2. EXECUTION AND PREPARATION: 2.1. A SOIL ANALYSIS SHOULD BE PERFORMED TO ASSESS THE FERTILITY NEEDS AND PH OF THE SOIL... 3. INSTALLATION: 3.1. STRICTLY COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS... 4. MAINTENANCE: 4.1. FREQUENT LIGHT IRRIGATION WILL NEED TO BE APPLIED TO SEEDED AREAS IF NO NATURAL RAIN EVENTS HAVE OCCURRED WITHIN 2 WEEKS OF SEEDING...

OWNER MAINTENANCE RESPONSIBILITIES

- UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS... TRES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL... VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS... FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

BOHLER ENGINEERING logo and contact information. SITE CIVIL AND CONSULTING ENGINEERING, LAND SURVEYING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PROJECT MANAGEMENT, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, BY.

Table with columns: REV, DATE, COMMENT, BY. It lists two revisions from 1/3/2020 and 10/23/2020, both by JOR.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG logo and text.

NOT APPROVED FOR CONSTRUCTION

Project information: PROJECT No.: V175005, DRAWN BY: DSH, CHECKED BY: JOR, DATE: 3/1/20, SCALE: AS NOTED, CAD I.D.: SD1.

PROJECT: PROP. SITE PLAN DOCUMENTS FOR LOCATION OF SITE 6740 LEE BERRY WAY TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA. Includes McDonald's logo.

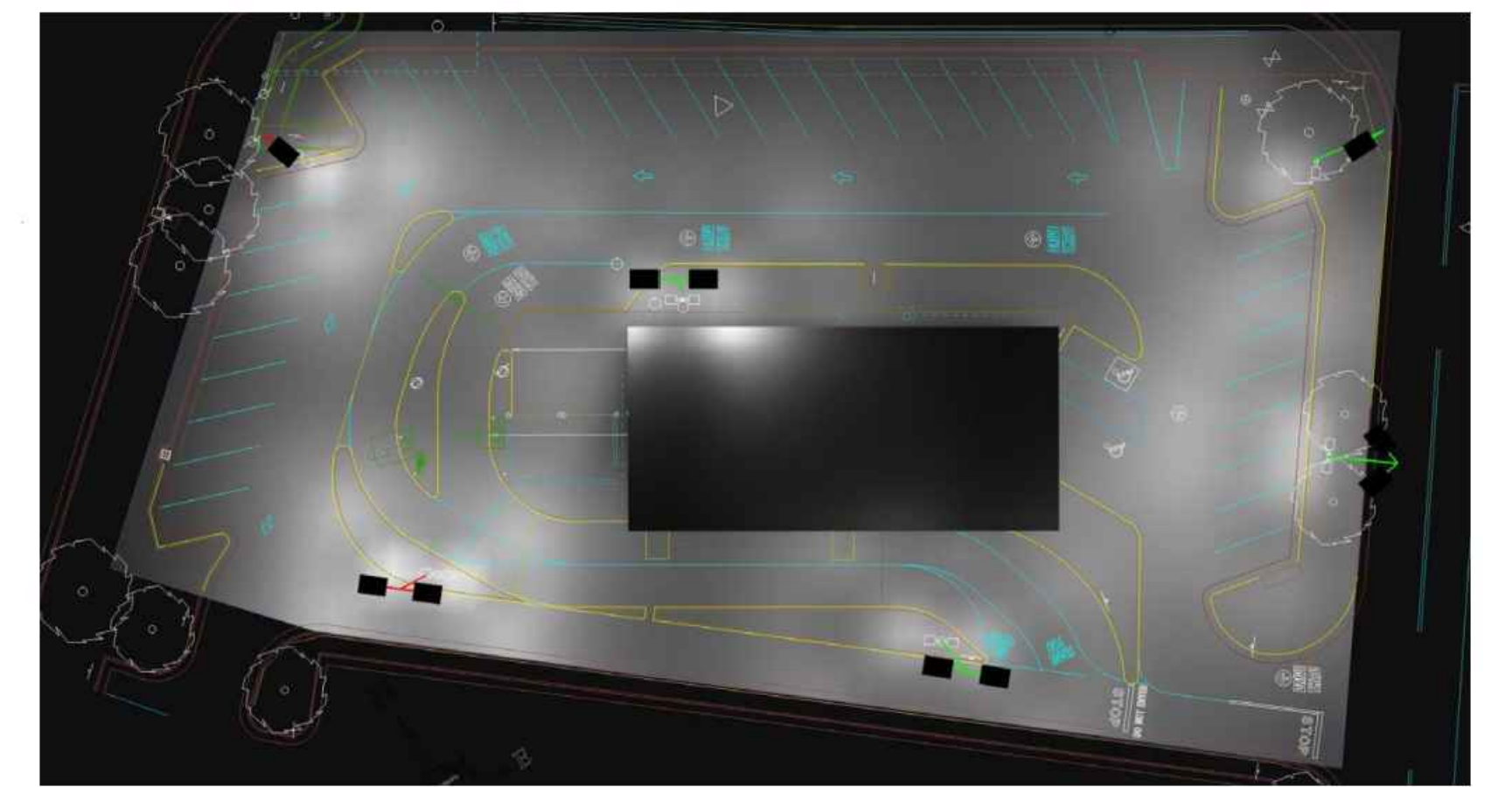
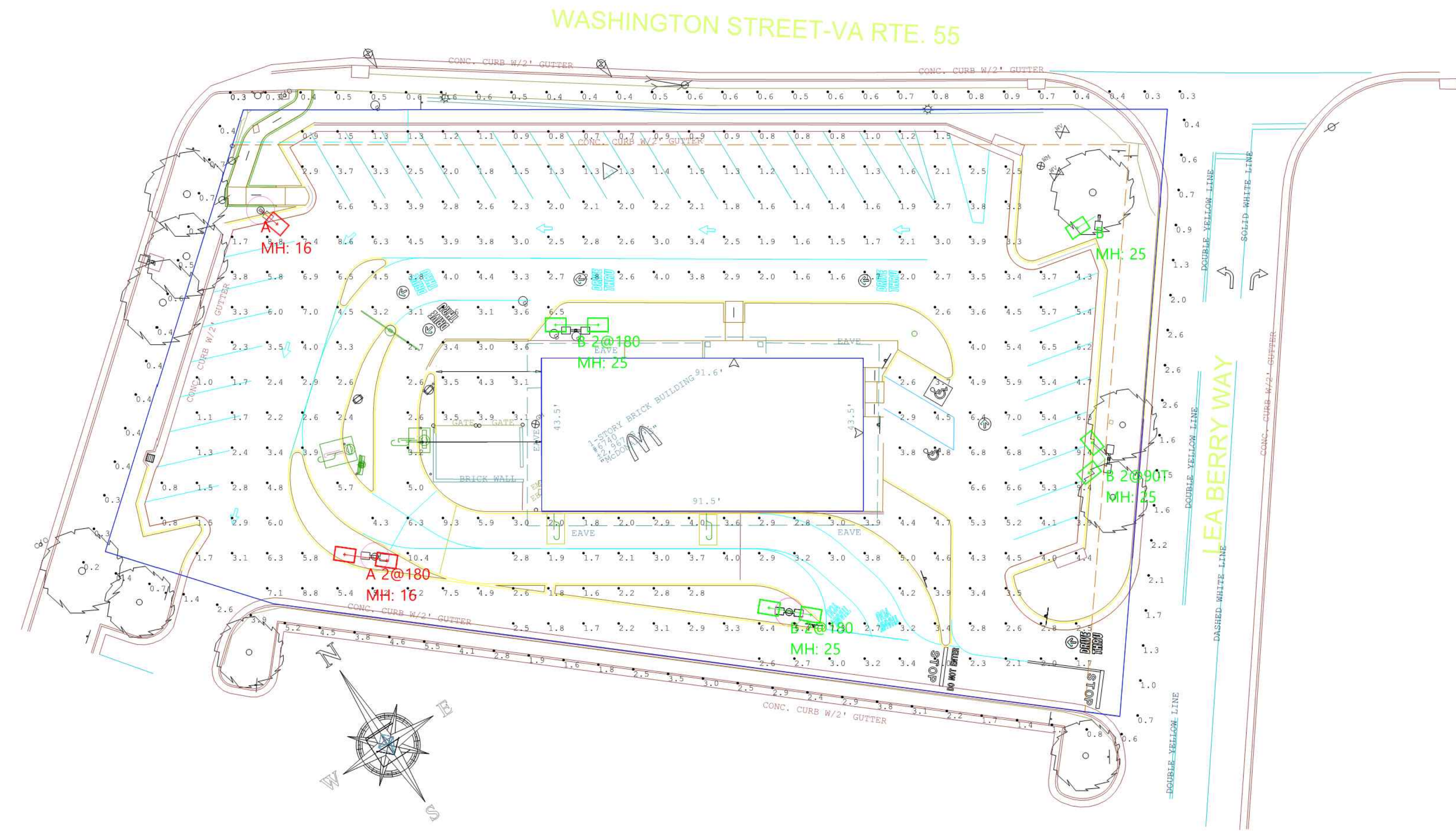
BOHLER ENGINEERING logo and address: 28 BLACKWELL PARK LANE, SUITE 201 WARRENTON, VIRGINIA 20186. Phone: (540) 349-4500, Fax: (540) 349-0321, VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA PROFESSIONAL ENGINEER logo for Jonathan Engle, Lic. No. 052544, dated 10/23/2020.

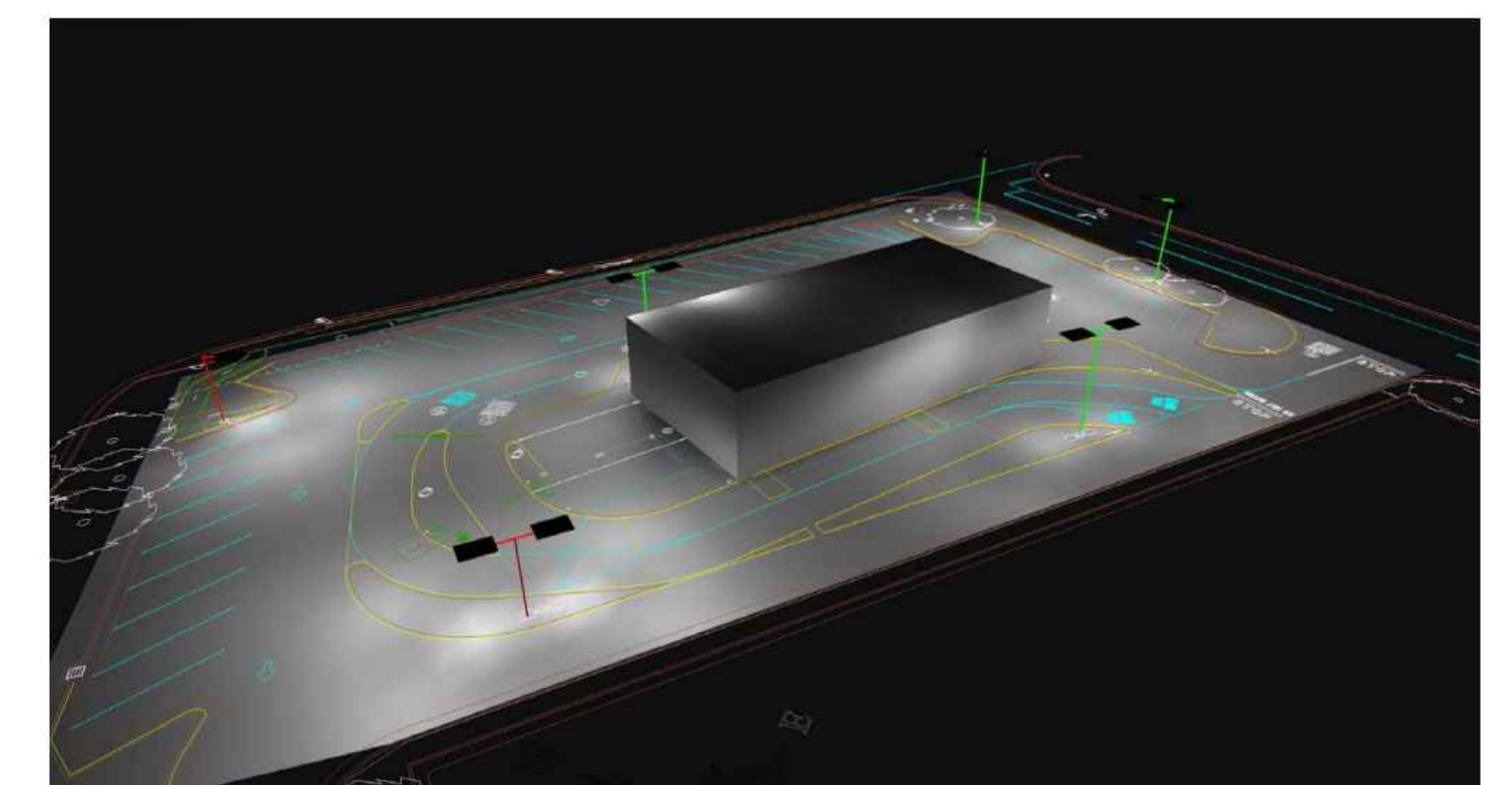
SHEET TITLE: LANDSCAPE NOTES AND DETAILS, SHEET NUMBER: 14.

NOTES:
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS _____ 10'

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.41	10.4	0.7	4.87	14.86
PROPERTY LINE READINGS	Illuminance	Fc	1.41	5.5	0.2	7.05	27.50



PLAN VIEW RENDERING
NOT TO SCALE



ISOMETRIC VIEW RENDERING
NOT TO SCALE

FOR REFERENCE ONLY

** - SPECIFY COLOR

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
[Red Box]	1	A	SINGLE	0.900	VP-L-80NB-180-5K-T4	180	1.2	16	SES-13-40-1-GL-TA-xx (4")
[Red Box]	1	A 2@180	BACK-BACK	0.900	VP-L-80NB-180-5K-T4	180	2.4	16	SES-13-40-1-GL-TA-xx (4")
[Green Box]	1	B	SINGLE	0.900	VP-L-80NB-180-5K-T4	180	1.2	25	EXISTING
[Green Box]	2	B 2@180	BACK-BACK	0.900	VP-L-80NB-180-5K-T4	180	2.4	25	EXISTING
[Green Box]	1	B 2@90T	2 @ 90 DEGREES	0.900	VP-L-80NB-180-5K-T4	180	2.4	25	EXISTING

* PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL

Wind Load 90MPH
 Allowed EPA 14.2
 (New Poles Only)

- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
- LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
- CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
- THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

SECURITY LIGHTING™
 2100 Gulf Road, Suite 400, Milling Meadows, FL 32008
 1-800-544-6848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
 SCALE 1"=20' 0"

DRAWN BY BV

POINT-BY-POINT FOOTCANDLE PLOT FOR
 MCDONALD'S
 6740 LEA BERRY WAY
 HAYMARKET, VA

NATIONAL STORE NUMBER
 25126

DATE 10/20/2020 DRAWING NUMBER 41886A-Rev2.AGI

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

VIPER L SERIES

ADVANCED LARGE VIBRUM LUMINAIRE

BEACON

Product Images: Rectangular arm, Rectroflex arm

Dimensions: 20.12" H, 24.10" W, 14.55" D, 4.13" H, 25.84" W, 1.8" D

Specifications:

- Material: Die-cast aluminum with anodized aluminum finish.
- Construction: Features a cast aluminum body with anodized aluminum finish.
- LED Options: Available in 100W, 150W, 200W, 250W, 300W, 400W, 500W, 600W, 800W, 1000W.

ORDERING INFORMATION

ORDERING EXAMPLE: VPL90W-200S-30/14W/POR-FL25/GENX/BL/CA/BS1

VP L	ENGINE WATTS	LED COLOR	VOLTAGE	ELECTRICAL OPTIONS	HOUSING SHAPE	FINISH
VPL 90W	90W	3000K	120V	FCB	Rectangular	Black
VPL 150W	150W	4000K	120V	FCB	Rectangular	Black
VPL 200W	200W	3000K	120V	FCB	Rectangular	Black
VPL 250W	250W	3000K	120V	FCB	Rectangular	Black
VPL 300W	300W	3000K	120V	FCB	Rectangular	Black
VPL 400W	400W	3000K	120V	FCB	Rectangular	Black
VPL 500W	500W	3000K	120V	FCB	Rectangular	Black
VPL 600W	600W	3000K	120V	FCB	Rectangular	Black
VPL 800W	800W	3000K	120V	FCB	Rectangular	Black
VPL 1000W	1000W	3000K	120V	FCB	Rectangular	Black

Technical drawings showing mounting locations and dimensions for various pole top configurations.

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 Phone: 941-763-5271 • Fax: 941-763-5272 • Email: sales@beaconlighting.com • www.beaconlighting.com

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SECURITY LIGHTING

SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Ordering Information table with columns for Catalog Number, Pole Height, Pole Diameter, Pole Weight, Pole Length, Pole Material, Pole Finish, Pole Mounting, Pole Accessories, Pole Price.

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SECURITY LIGHTING

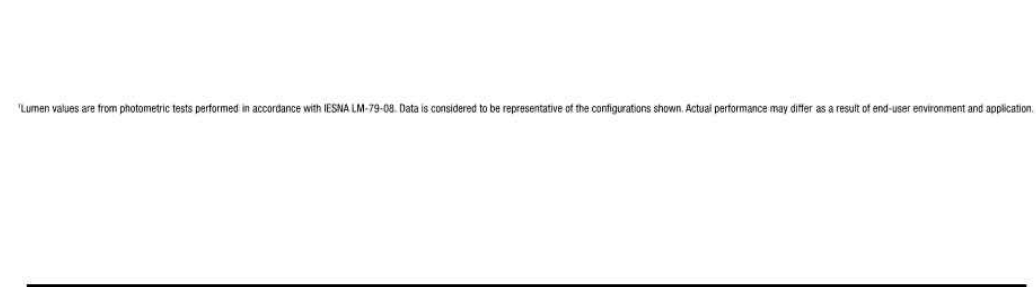
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PERFORMANCE DATA

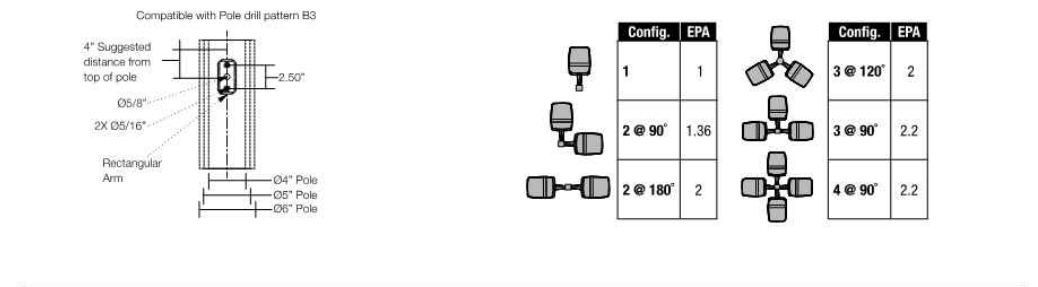
P.O. #	DATE	CITY	STATE	100' MOUNTING				150' MOUNTING				200' MOUNTING				250' MOUNTING			
				LUMENS	LMW	LMH	LMV	LUMENS	LMW	LMH	LMV	LUMENS	LMW	LMH	LMV	LUMENS	LMW	LMH	LMV
64	025	FLA	130W	19111	113	4.0	2.2	19111	113	4.0	2.2	19111	113	4.0	2.2	19111	113	4.0	2.2
80	170	FLA	180W	25844	116	4.0	2.2	25844	116	4.0	2.2	25844	116	4.0	2.2	25844	116	4.0	2.2
80	875	FLA	250W	35844	116	4.0	2.2	35844	116	4.0	2.2	35844	116	4.0	2.2	35844	116	4.0	2.2
96	700	FLA	220W	29844	116	4.0	2.2	29844	116	4.0	2.2	29844	116	4.0	2.2	29844	116	4.0	2.2
96	875	FLA	200W	26844	116	4.0	2.2	26844	116	4.0	2.2	26844	116	4.0	2.2	26844	116	4.0	2.2
96	1225	FLA	300W	39844	116	4.0	2.2	39844	116	4.0	2.2	39844	116	4.0	2.2	39844	116	4.0	2.2



PHOTOMETRICS

ELECTRICAL DATA

P.O. #	DATE	CITY	STATE	NUMBER OF LUMENAIRES	POLE HEIGHT (FT)	POLE DIAMETER (IN)	POLE WEIGHT (LB)	SYSTEM POWER (W)	CURRENT (Amps)	WIRE GAUGE	TERMINAL	TERMINAL TYPE	TERMINAL COLOR	TERMINAL SIZE	TERMINAL TYPE	TERMINAL COLOR	TERMINAL SIZE
64	1	825	FLA	1	130	4.0	2.2	19111	113	4.0	2.2	19111	113	4.0	2.2	19111	113
80	2	700	FLA	2	180	4.0	2.2	25844	232	4.0	2.2	25844	232	4.0	2.2	25844	232
80	2	875	FLA	2	250	4.0	2.2	35844	317	4.0	2.2	35844	317	4.0	2.2	35844	317
96	2	700	FLA	2	220	4.0	2.2	29844	266	4.0	2.2	29844	266	4.0	2.2	29844	266
96	2	875	FLA	2	200	4.0	2.2	26844	239	4.0	2.2	26844	239	4.0	2.2	26844	239
96	2	1225	FLA	2	300	4.0	2.2	39844	358	4.0	2.2	39844	358	4.0	2.2	39844	358



SECURITY LIGHTING

SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Specifications:

- Material: Square Steel Straight Pole
- Construction: One piece construction
- Finish: Powder coated aluminum
- Mounting: 2" x 2" x 1/4" mounting holes
- Dimensions: 2" x 2" x 1/4" mounting holes

Ordering Information: Order Example: SES-18-40-01-1A-D-08

SECURITY LIGHTING

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BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGEMENT
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY
1	03/27/2020	PER TOWN COMMENTS	JOR
2	10/23/2020	PER TOWN COMMENTS	JOR

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PROJECT No.: V175005
 DRAWN BY: DSH
 CHECKED BY: JOR
 DATE: 3/11/2020
 SCALE: AS NOTED
 CAD I.D.: SD1

PROJECT: PROP. SITE PLAN DOCUMENTS FOR

LOCATION OF SITE
 6740 LEA BERRY WAY
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA

JOHN J. BOHLER
 Lic. No. 052544

10/23/2020

PROFESSIONAL ENGINEER

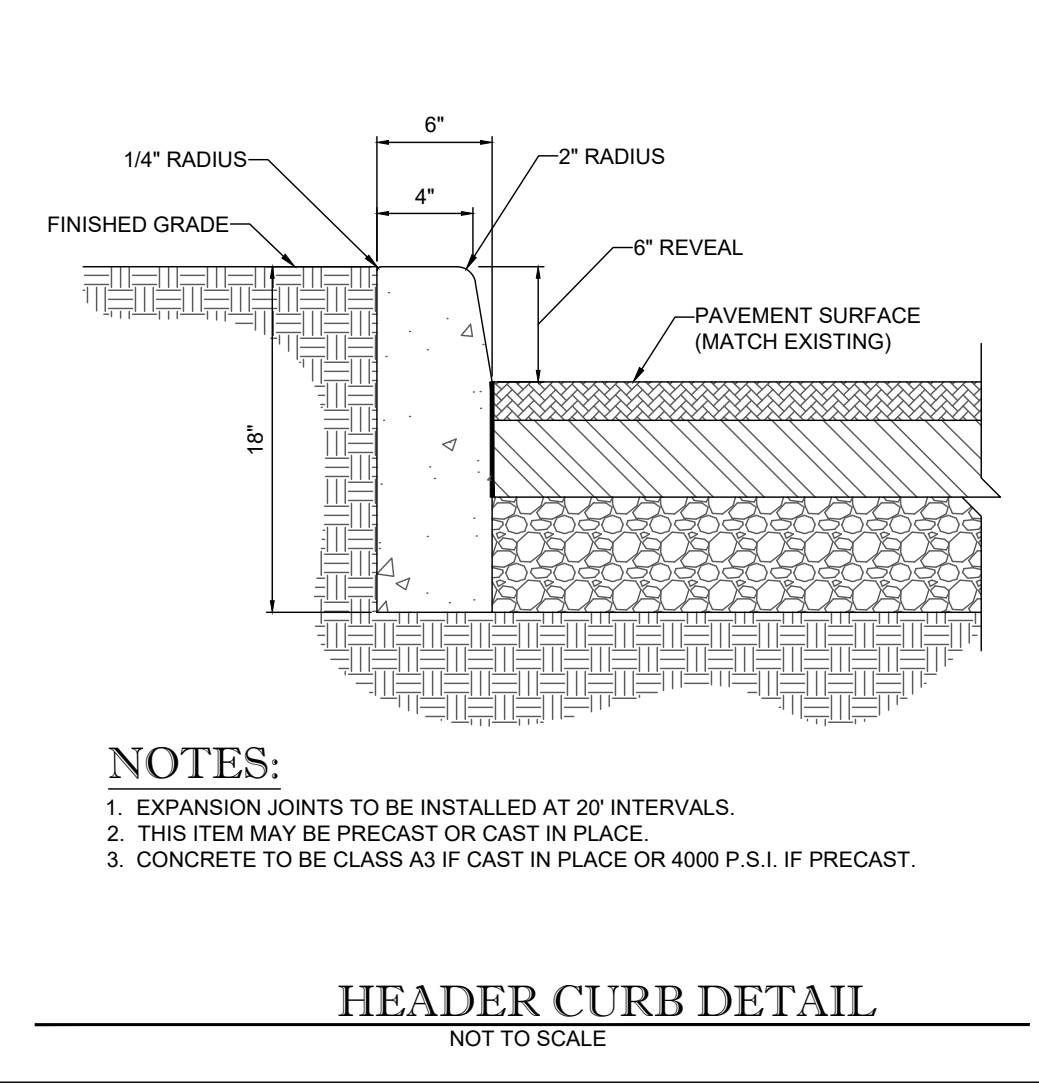
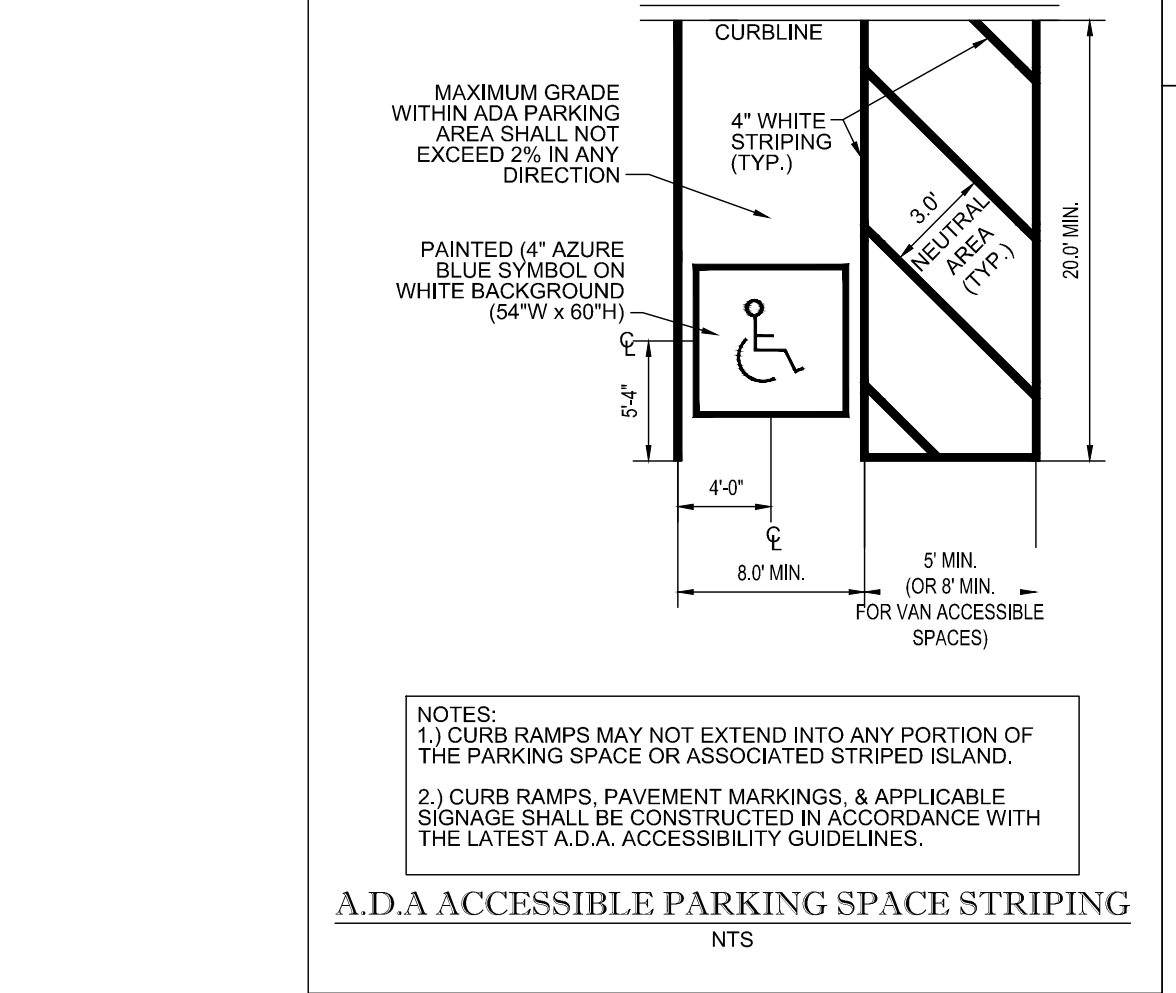
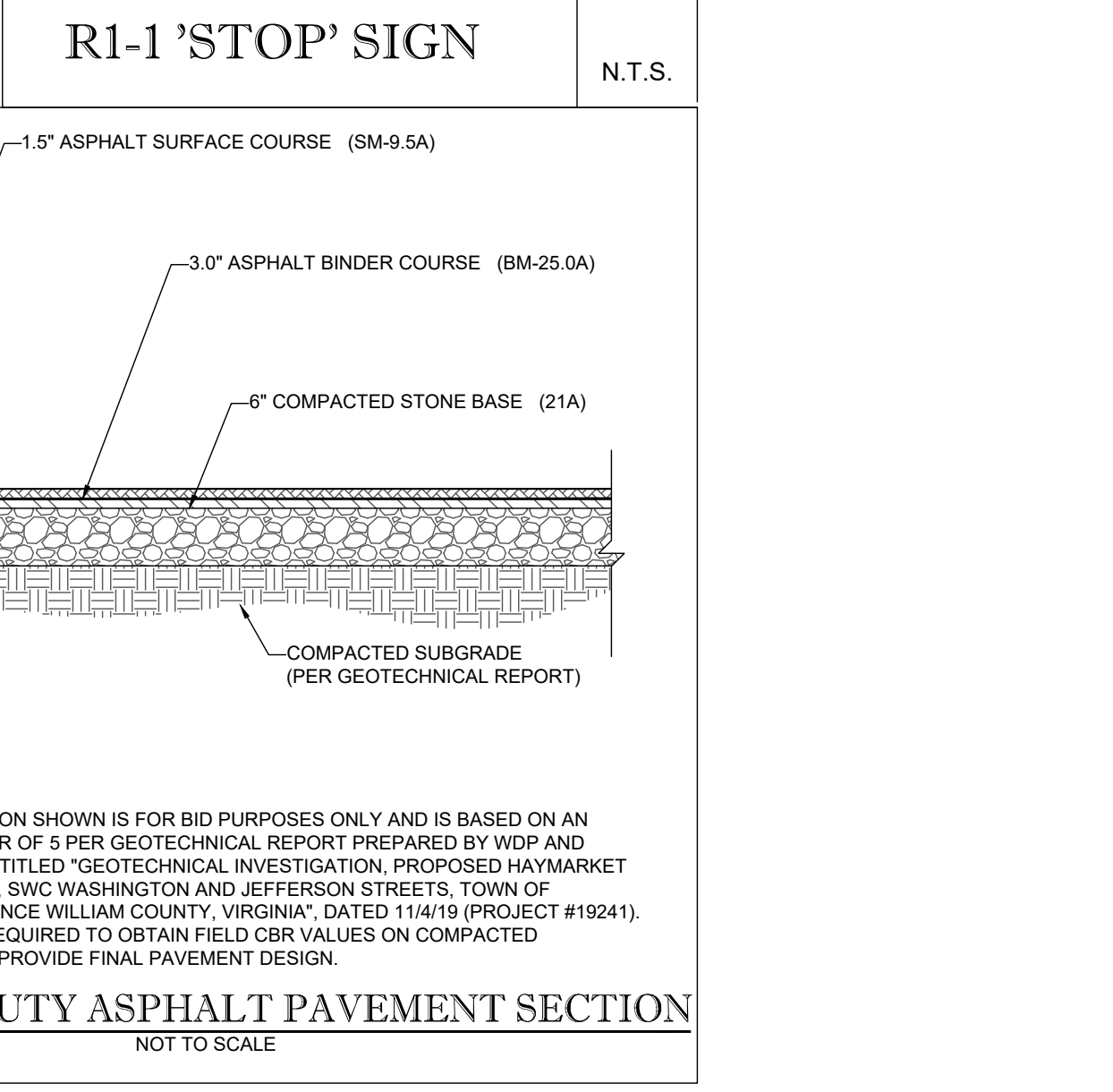
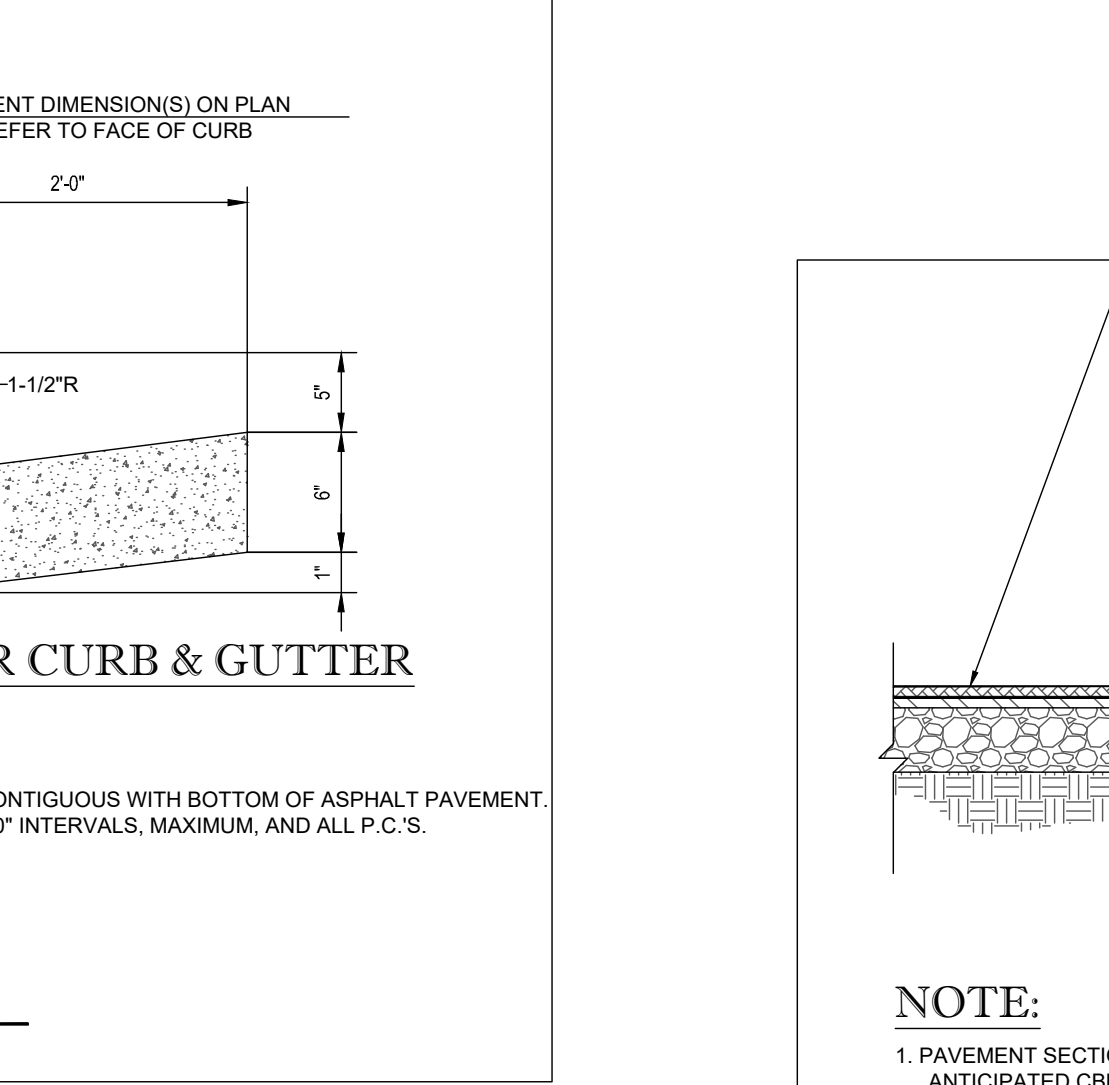
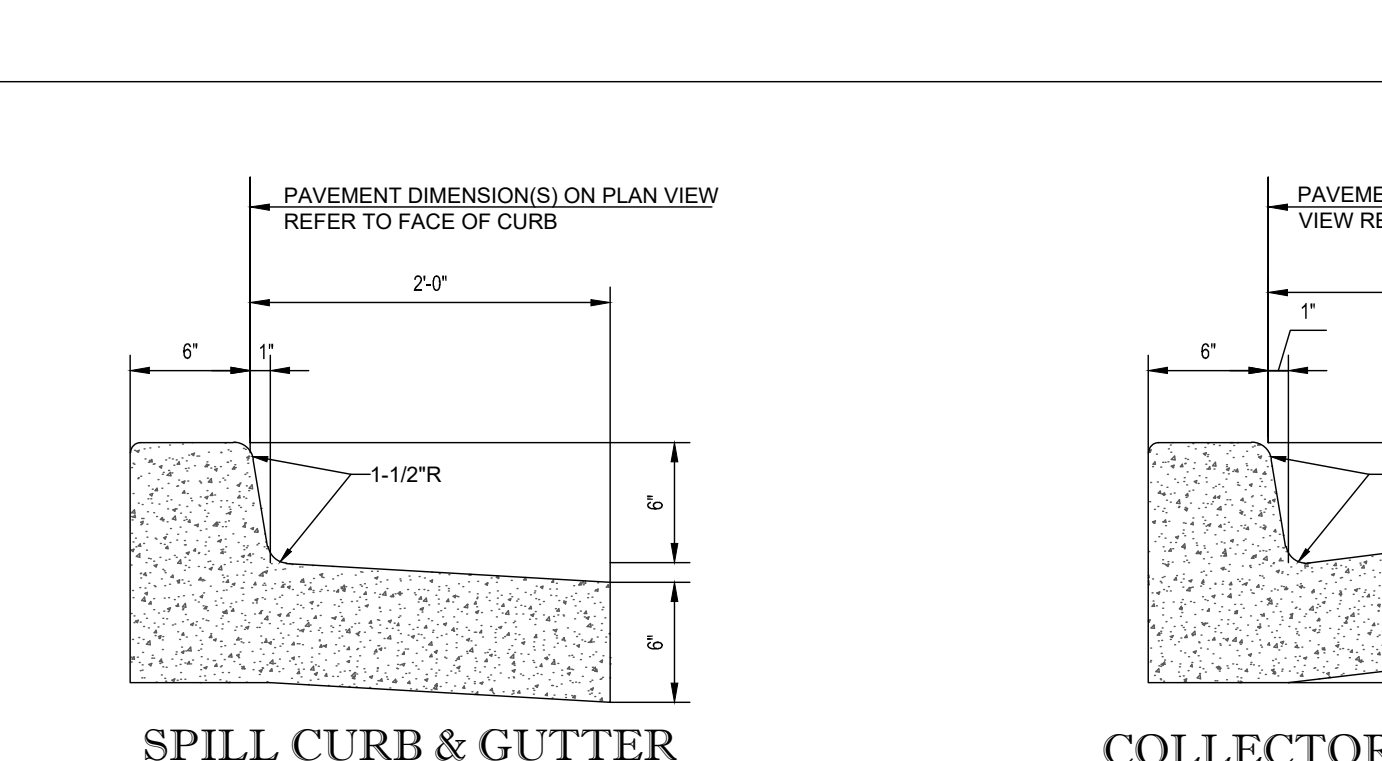
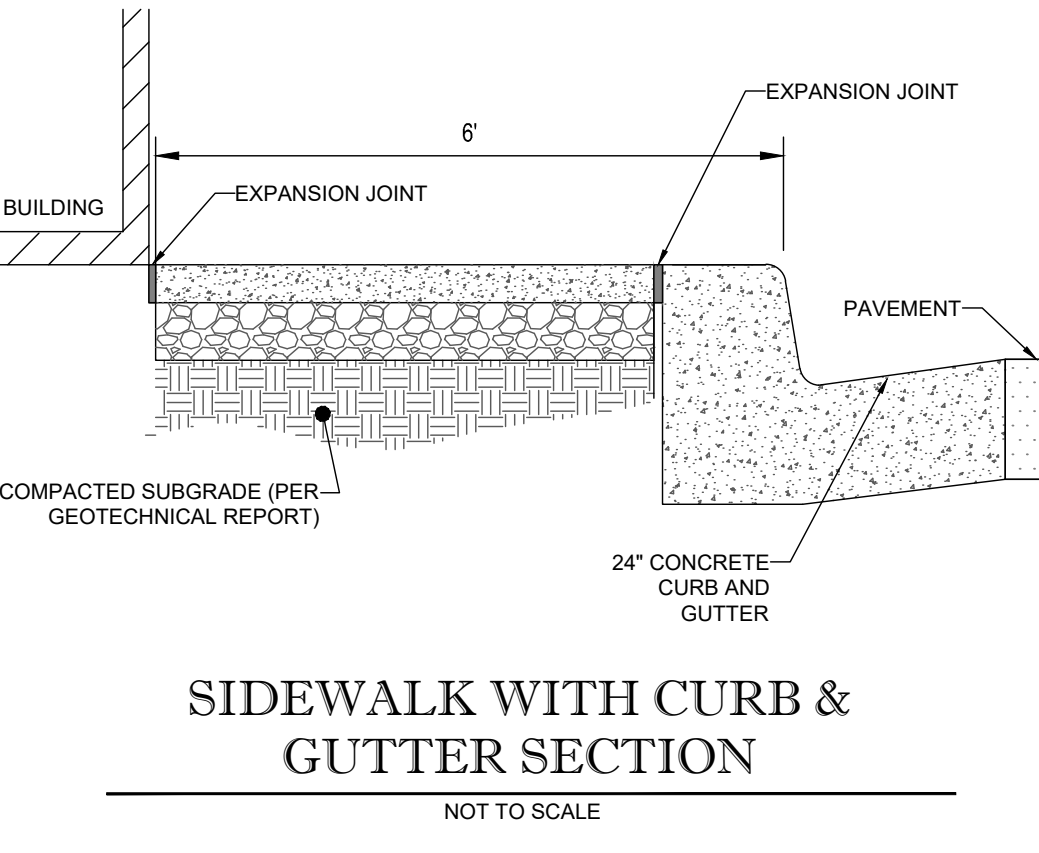
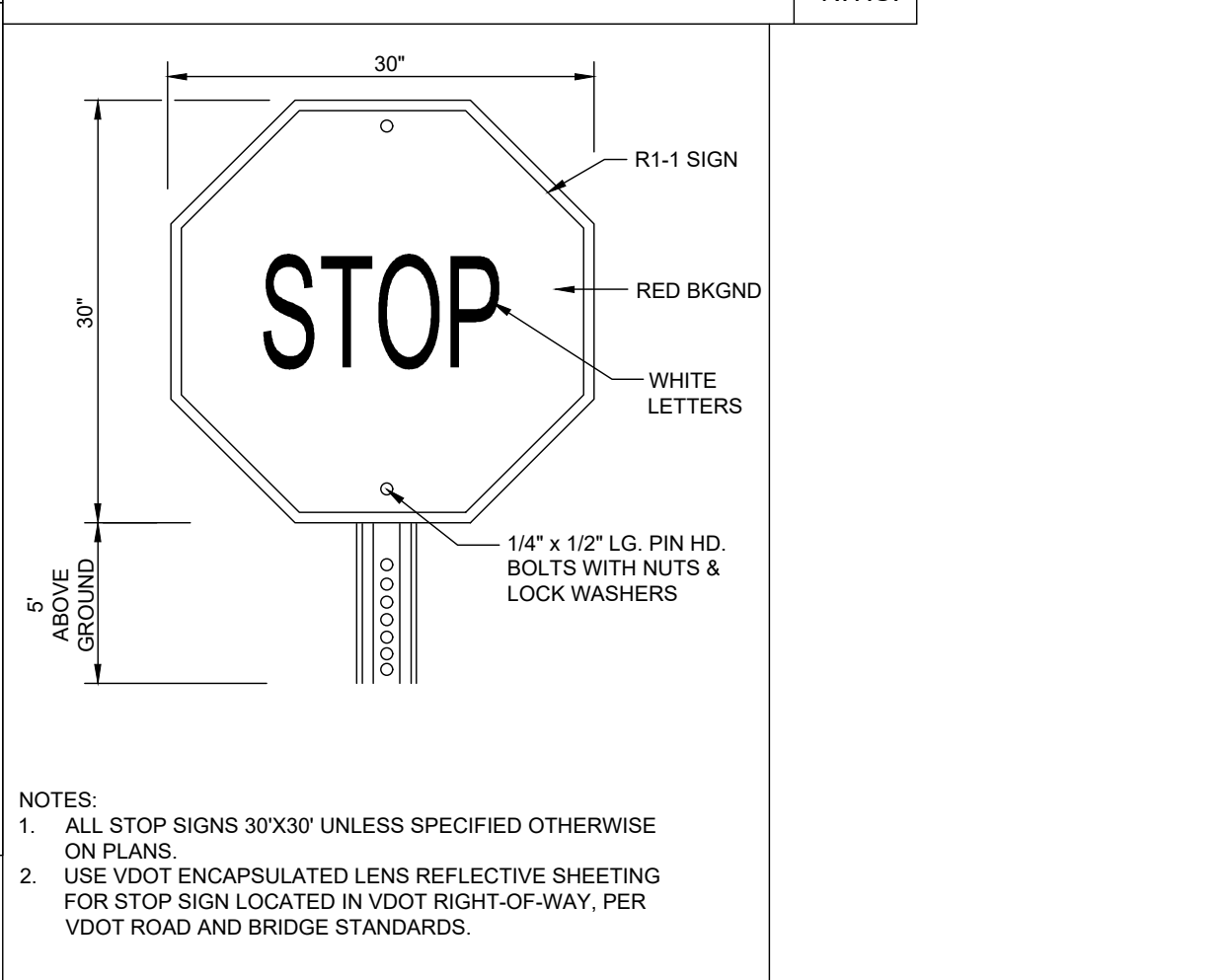
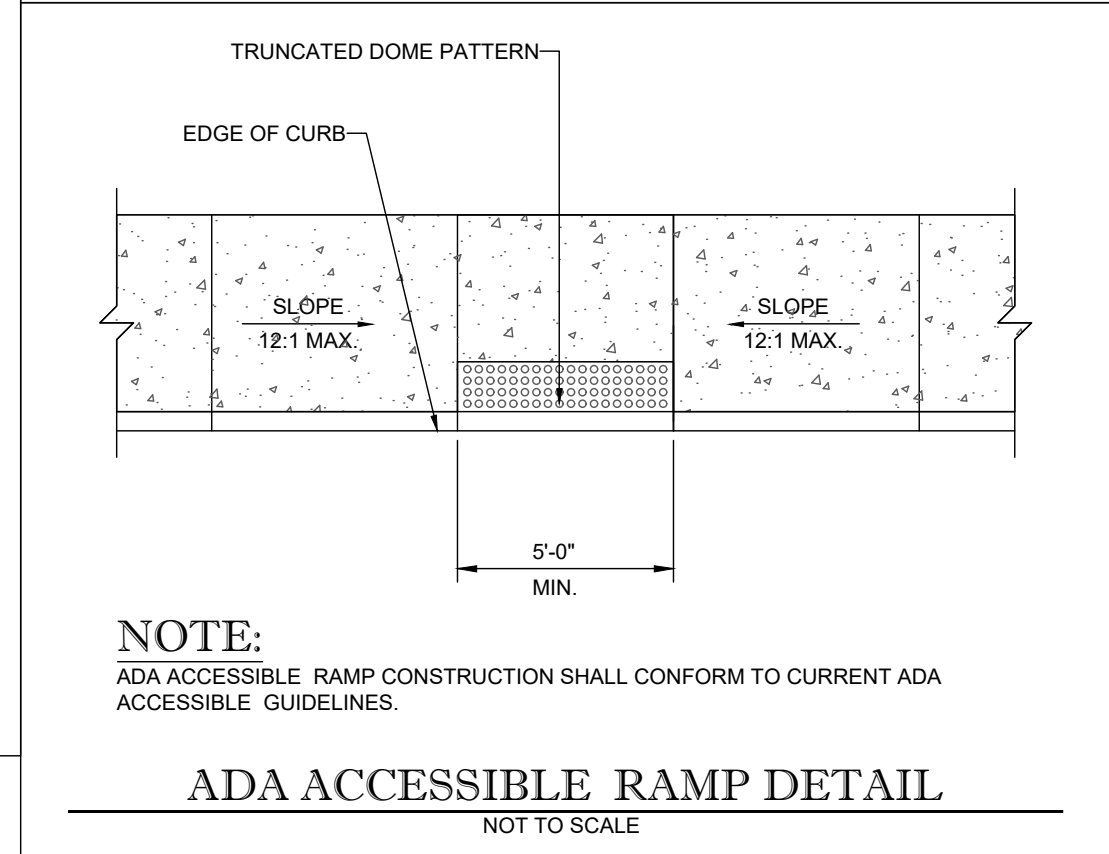
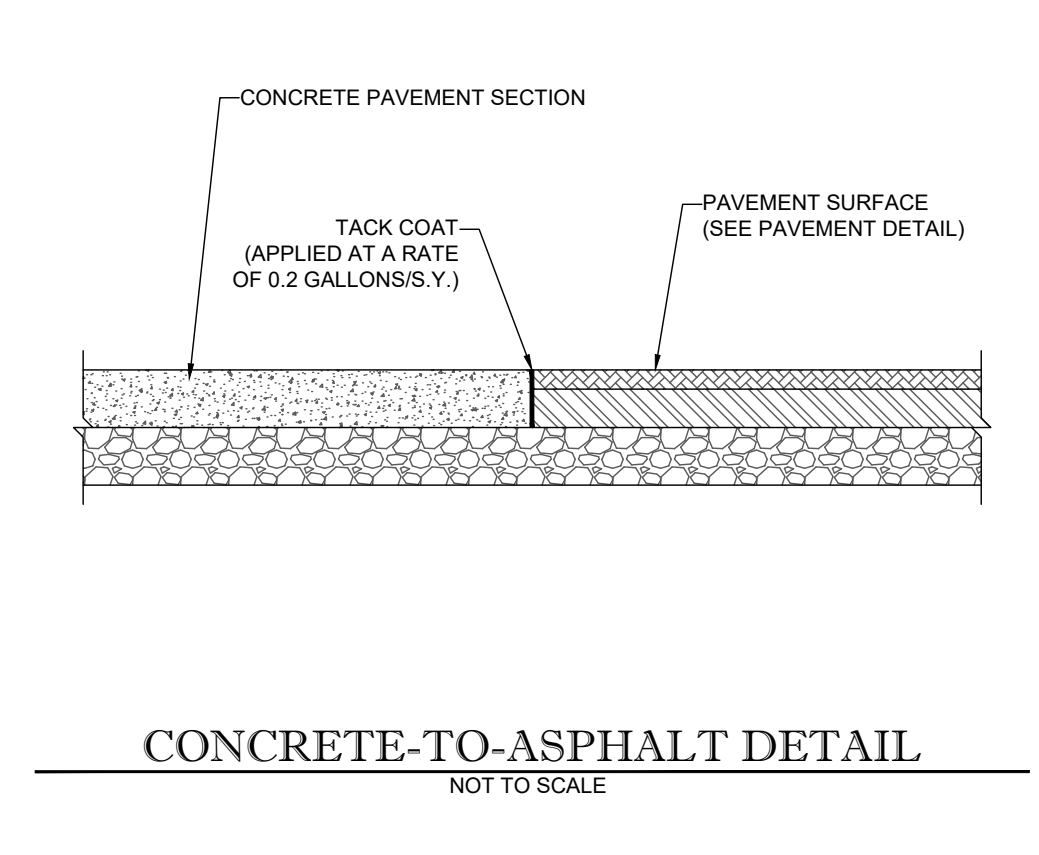
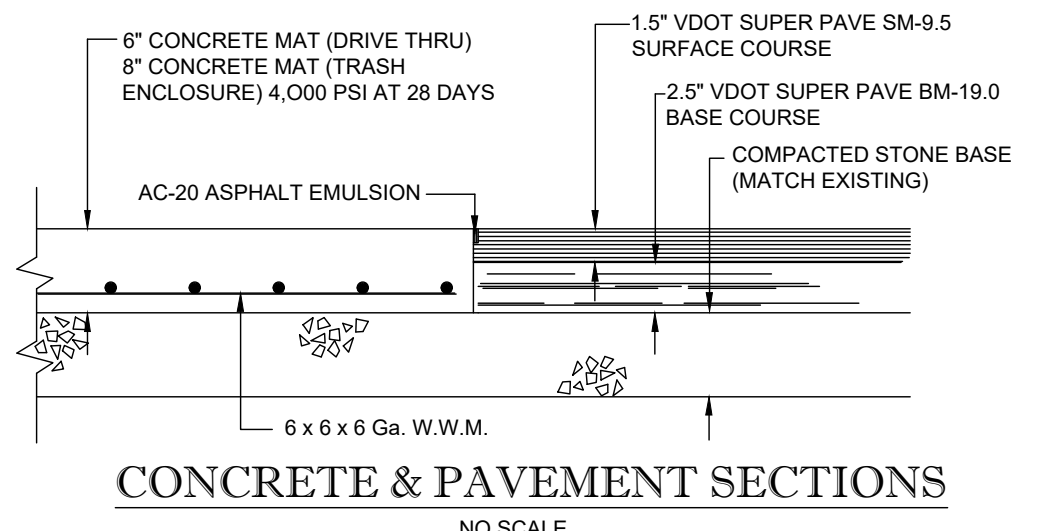
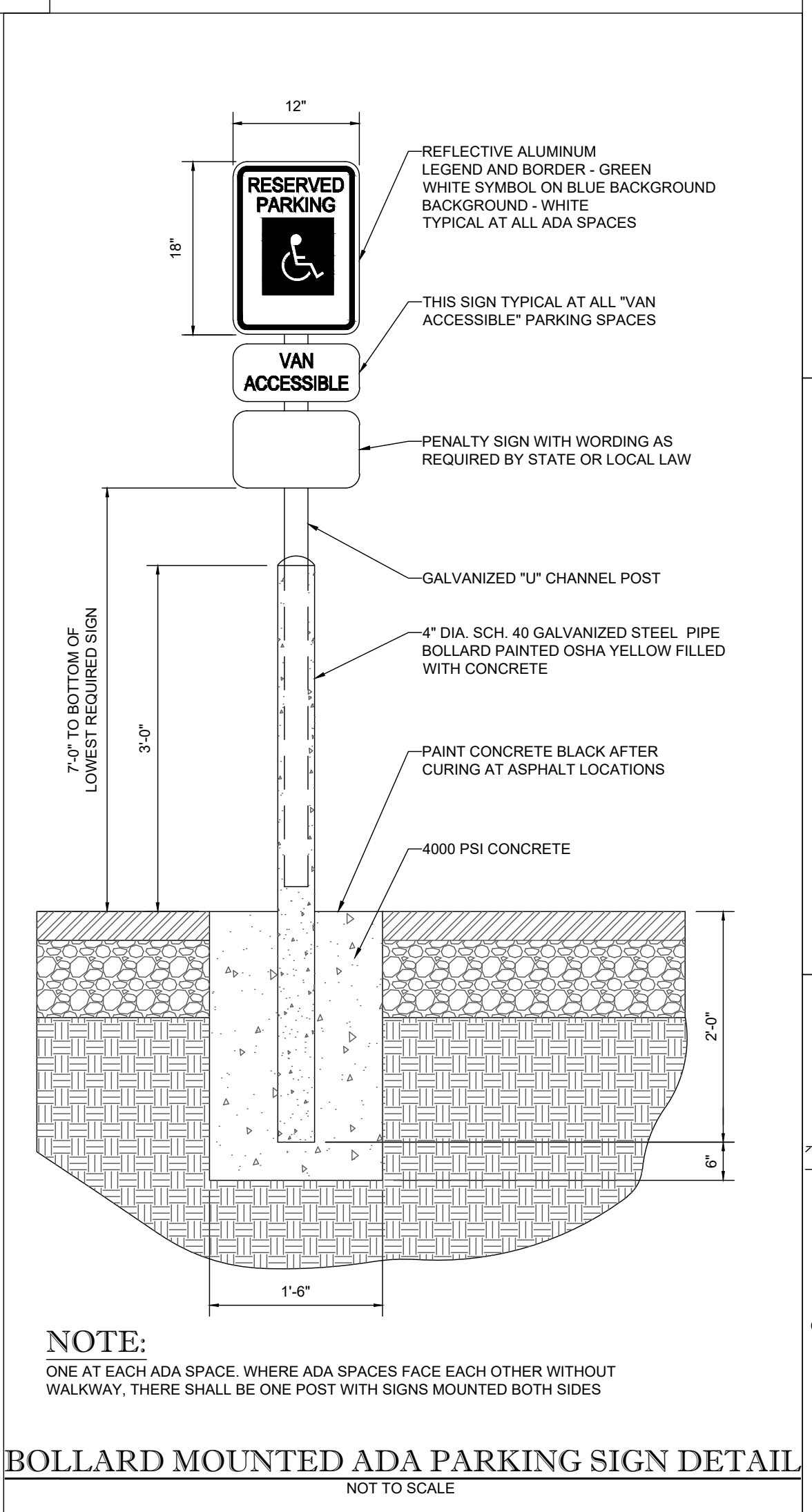
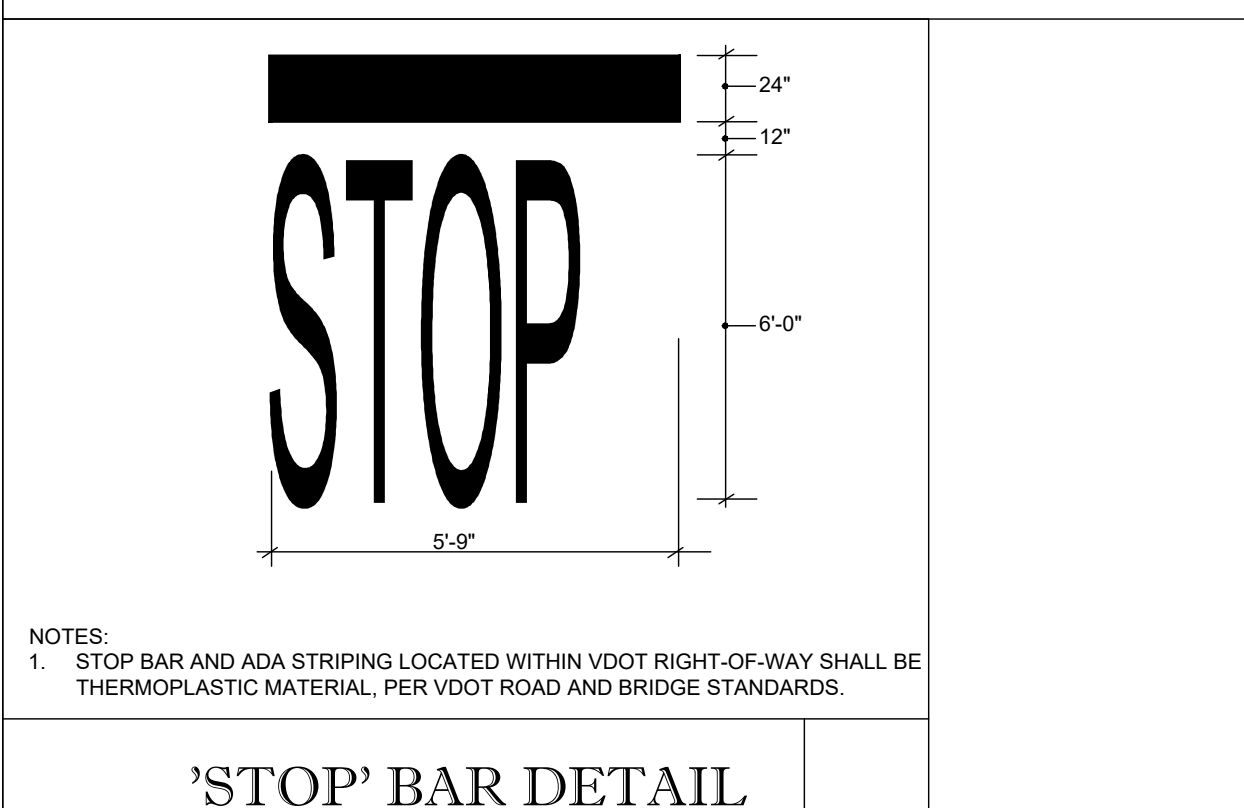
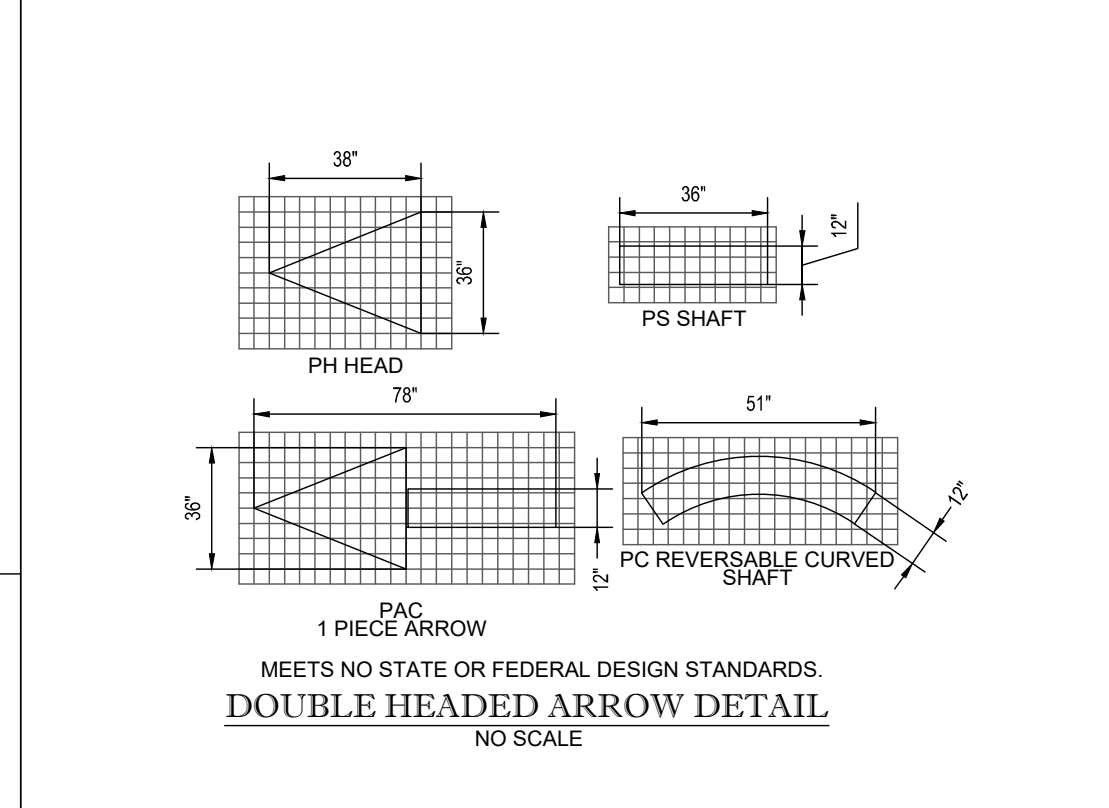
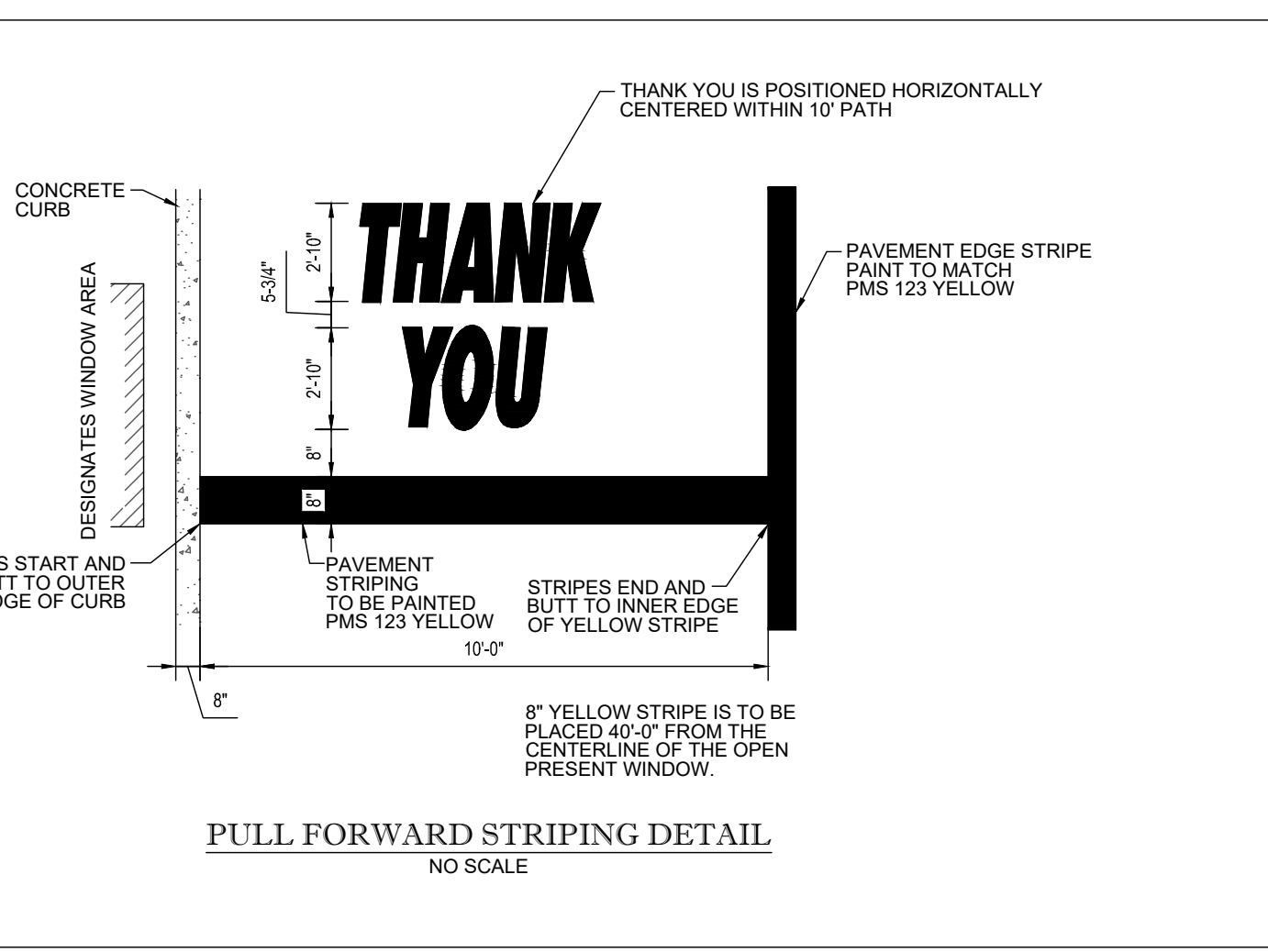
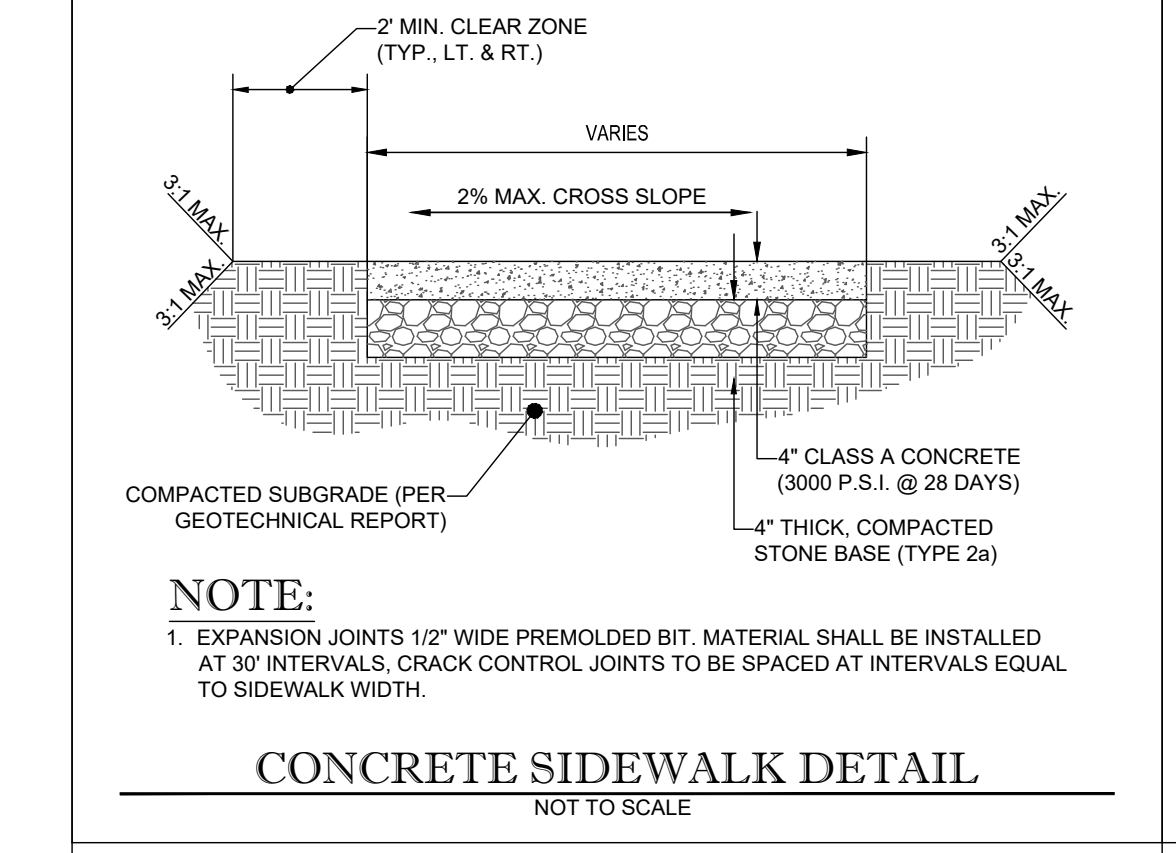
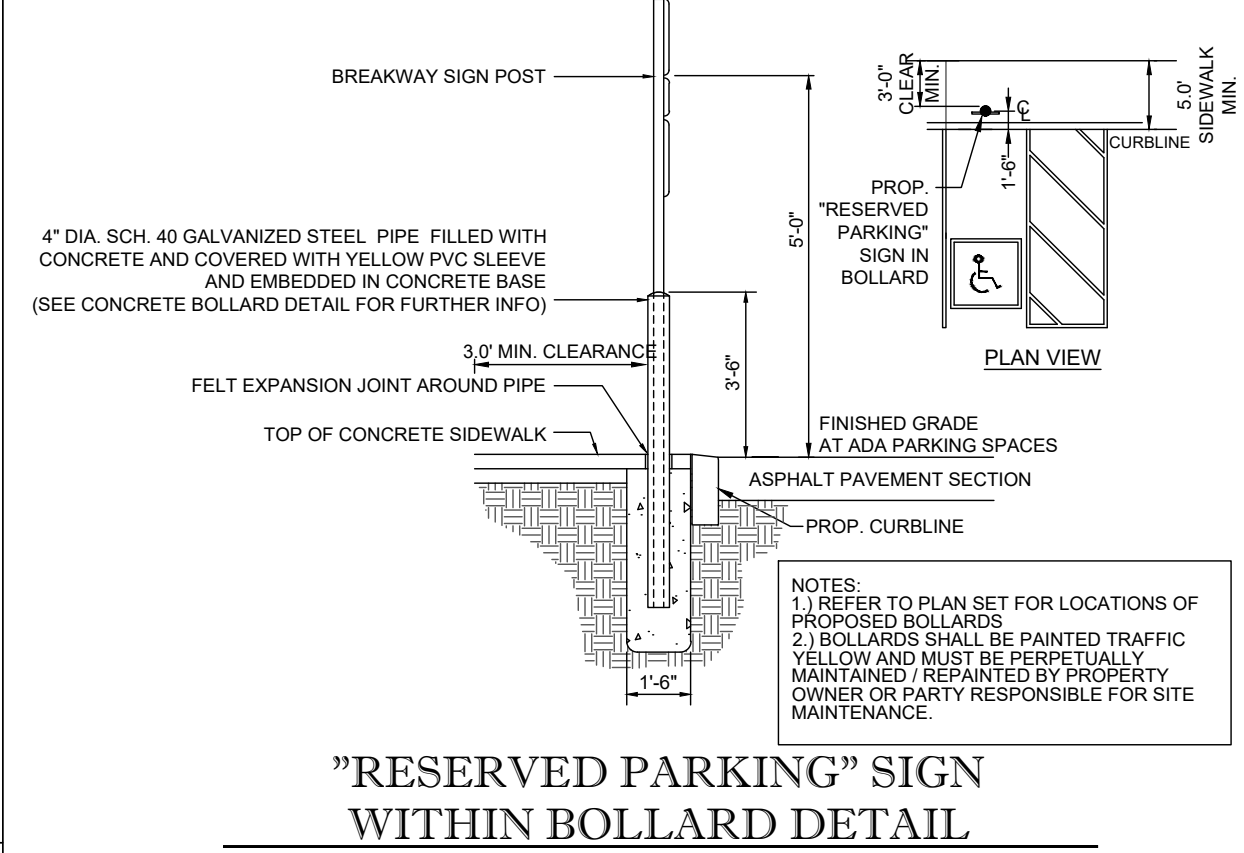
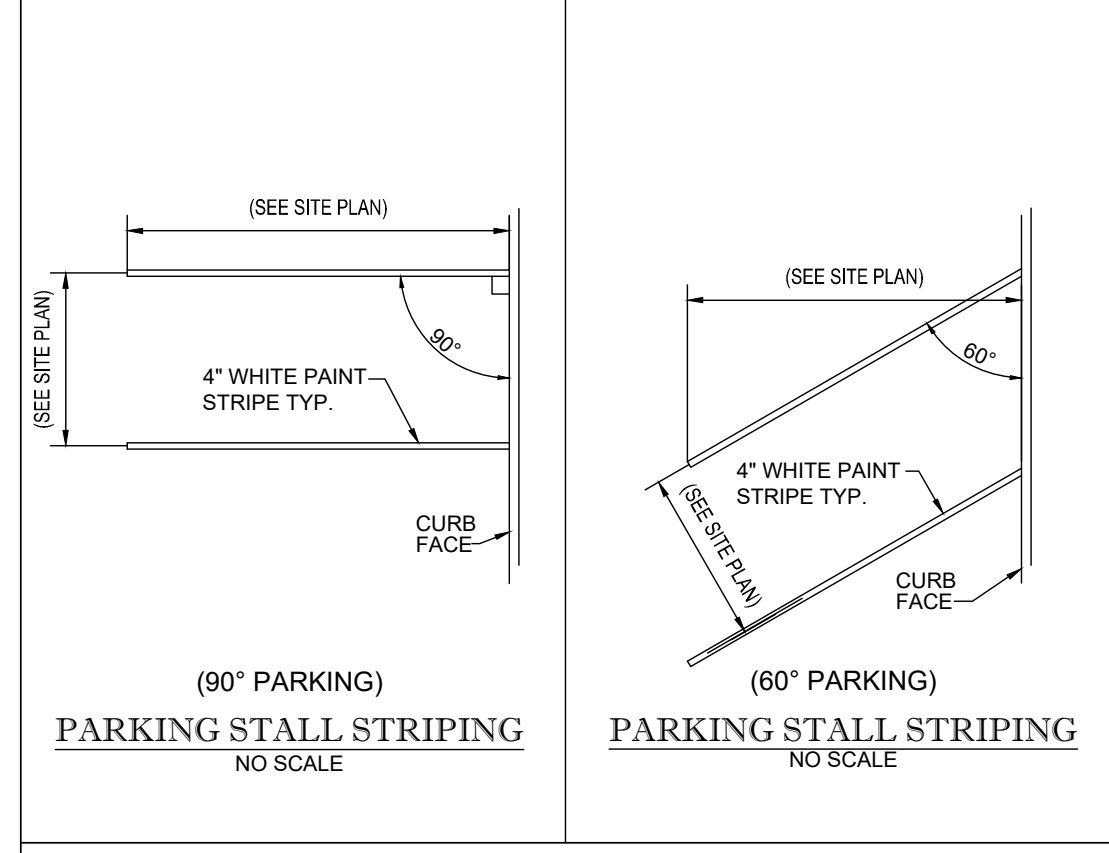
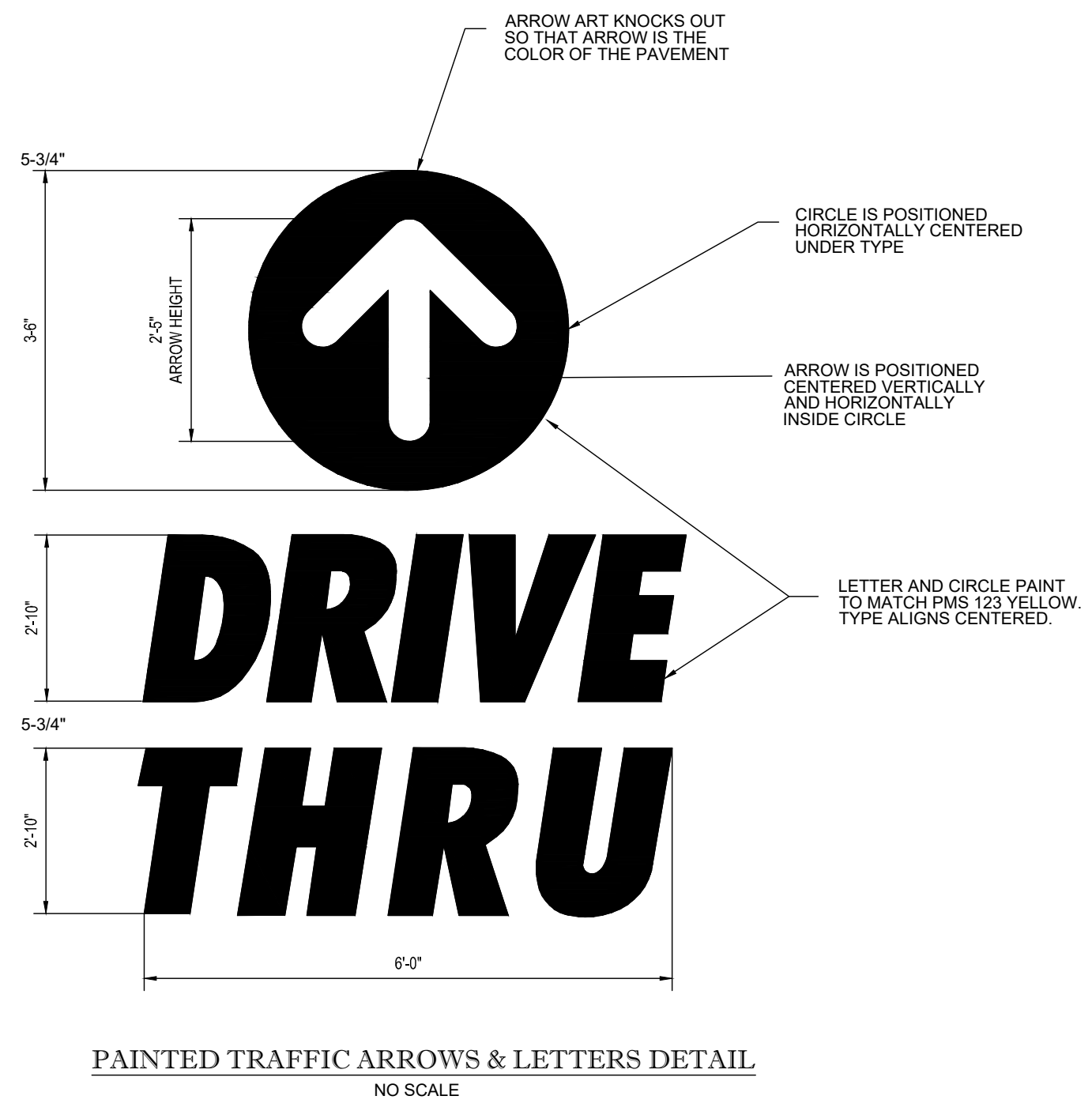
SHEET TITLE:

LIGHTING DETAILS

SHEET NUMBER:
16

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LAND SURVEYING
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LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY
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2	10/23/2020	PER TOWN COMMENTS	JOR

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: V175005
DRAWN BY: DSH
CHECKED BY: JOR
DATE: 3/1/19
SCALE: AS NOTED
CAD I.D.: SD1

PROP. SITE PLAN DOCUMENTS FOR

LOCATION OF SITE
6740 LEA BERRY WAY
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
JOHN W. BOHLER
Lic. No. 052544
10/23/2020
PROFESSIONAL ENGINEER

CONSTRUCTION DETAILS

SHEET NUMBER: 17

NOTES:

DESIGN CODES
 IRC 2009
 ASCE 7-05
 A318-05
 ASCE 15TH EDITION
 AWS D1.1
 WIND SPEED - 150 MPH, 3 SEC GUST
 EXPOSURE C

USE 4000 PSI CONCRETE COMPRESSIVE STRENGTH (F_c) W/ MFC RATIO - 0.45
 REINFORCING STEEL USE ASTM 615 GRADE 60 STEEL
 PIER DEPTHS REQUIRED ARE MINIMUM. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
 TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS
 MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE: 100 PSF/FT OF DEPTH (2)
 TOP OF SOIL SELECTED IN EMBEDEDMENT DEPTH CALCULATIONS (EMBEDEDMENT DEPTHS SHOWN ARE FROM GRADE)
 3" MIN. CONCRETE COVER FOR REINFORCEMENT
 DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
 AXIAL LOAD - 1000 LBS
 SHEAR FORCE - 2000 LBS
 OVERTURNING MOMENT - 15800 LB-FT
 AIR ENTRAINMENT SHALL BE 6% WITH A TOLERANCE OF ±1.5% (6% AGGREGATE)
 CONCRETE SHALL HAVE A SLUMP NOT GREATER THAN 4" TO WITHIN A TOLERANCE OF 1"

GENERAL NOTES:

THE FOLLOWING CODES WERE USED IN DESIGN:
 IRC 2009
 ASCE 7-05
 A318-05
 ASCE 15TH EDITION
 AWS D1.1
 WIND SPEED 150 MPH, 3 SEC GUST
 EXPOSURE C

ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (2)
 SETTING CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SOIL CONDITIONS
 TOP OF SOIL SELECTED IN EMBEDEDMENT DEPTH CALCULATIONS (EMBEDEDMENT DEPTHS SHOWN ARE FROM GRADE)
 ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS

CONCRETE:
 ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND ENGINEERS SHALL BE COMMITTED TO 5% OF ITS UNADJUSTED DENSITY AS PER ASTM D 1557 (STANDARD PROCTOR), UNLESS NOTED OTHERWISE
 ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
 TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 MINIMUM CONCRETE STRENGTH (F_c) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13.A OR MINIMUM OF 4000 PSI (2)
 USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13.A OR MINIMUM AS SPECIFIED IN THIS DRAWING
 AIR ENTRAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13.A OR MINIMUM AS SPECIFIED IN THIS DRAWING
 WRITE CONTRACT STATION SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13.A OR MINIMUM AS SPECIFIED IN THIS DRAWING
 PROVIDE A MINIMUM 7" OF CONCRETE COVER OVER ALL EMBEDDED STEEL REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.2.3.1.5
 ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASCE CODE OF STANDARD PRACTICE
 DO NOT PLACE POLES ON GROUND UNTIL CONCRETE IS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.1.1.E

ORDER POINT FOUNDATION DETAIL
 N.T.S.

NOTES:

1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.

OUTDOOR DISPLAY MENU BOARD FOUNDATION DETAIL
 SCALE: N.T.S.

NOTES:

1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.

PRE-BROWSE MENU BOARD FOUNDATION DETAIL
 SCALE: N.T.S.

NOTES:

DESIGN CRITERIA
 APPLY TO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS, 17TH EDITION (2015)

FOUNDATION DESIGN PARAMETERS:

1. MINIMUM LIGHT POLE REACTION
2. MAXIMUM WIND SPEED IS RECORD GUST - 150 MPH
3. MINIMUM REQUIRED SOIL PARAMETERS
4. FRICTIONAL COEFF. = 0.4 (CONTOUR LED TALL SIGN GEOTECHNICAL)
5. 2" SET ASSUMED TO BE THE DEPTH OF REFERENCE TO CONFIRM THAT THE MINIMUM SOIL PARAMETERS ARE MET OR EXCEED BEFORE THE DESIGN IS USED, IF THE MINIMUM SOIL PARAMETERS ARE NOT MET, THIS DESIGN SHALL NOT BE USED
6. THE ENGINEER OF RECORD SHALL REVIEW THE MINIMUM BASE REACTION AND DESIGN WIND SPEED FOR THE LIGHT POLE TO BE INSTALLED TO DETERMINE IF THE FOUNDATIONS SHALL NOT BE USED IF THE MINIMUM SOIL CONDITIONS OR WIND SPEED DO NOT EXCEED
7. THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHERE THE FROST IS 10" OR DEEPER
8. AIR ENTRAINMENT SHALL BE 6% WITH 1% TOLERANCE (CONFORMING TO ASTM C 493)
9. SLUMP FOR CONCRETE SHALL BE 4" WITH 1" TOLERANCE

GENERAL NOTES:

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5. USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13.A OR MINIMUM AS SPECIFIED IN THIS DRAWING
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8. PROVIDE A MINIMUM 7" OF CONCRETE COVER OVER ALL EMBEDDED STEEL REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.2.3.1.5
9. ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASCE CODE OF STANDARD PRACTICE
10. DO NOT PLACE POLES ON GROUND UNTIL CONCRETE IS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.1.1.E

ANCHOR BOLT DETAIL
 N.T.S.

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ANCHOR BOLT DETAIL
 N.T.S.

NOTES:

1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.

FOUNDATION
 N.T.S.

ANCHOR BOLT PATTERN
 N.T.S.

CONNECTION DETAILS
 N.T.S.

GENERAL NOTES:

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ALL DETAILS ON THIS SHEET WERE PROVIDED BY MCDONALD'S AND ARE FOR INFORMATIONAL PURPOSES ONLY. BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THESE DETAILS AND/OR STRUCTURAL FAILURE.

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY
1	03/27/2020	PER TOWN COMMENTS	JOR
2	10/23/2020	PER TOWN COMMENTS	JOR

811
 KNOW WHAT'S BELOW
 ALWAYS CALL 811
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 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT NO.: V175005
 DRAWN BY: DSH
 DATE: JOR
 SCALE: 3/16"
 CHECKED BY: AS NOTED
 CAD I.D.: SD1

PROP. SITE PLAN DOCUMENTS FOR

LOCATION OF SITE
 6740 LEA BERRY WAY
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 19186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JONATHAN P. BOHLER
 Lic. No. 052544
 10/23/2020
 PROFESSIONAL ENGINEER

SHEET TITLE:
CONSTRUCTION DETAILS
 SHEET NUMBER:
18

COUNTY OF PRINCE WILLIAM DEPARTMENTS OF TRANSPORTATION / PUBLIC WORKS
UNIT PRICE LISTS FOR PERFORMANCE BONDS, LANDSCAPING ESCROWS AND SILTATION & EROSION CONTROL ESCROWS

REVISED: March 15, 2017 EFFECTIVE DATE: March 15, 2017

PROJECT NAME: McDonald's - Haymarket, VA
P.W.C. FILE #: DATE PREPARED: Mar 01, 2019

Note: This form is to be used to estimate performance bond, landscaping escrow and soil erosion escrow prices posted with Prince William County. These prices do not include items that are to be bonded separately with the Virginia Department of Transportation.

1. MOBILIZATION/DEMOLITION OF CONSTRUCTION EQUIPMENT
Table with columns: QTY, Description, Unit, Price, Total

2. STORM DRAINAGE
A. STRUCTURES
Table with columns: QTY, Description, Unit, Price, Total

B. CONCRETE PIPE
Table with columns: QTY, Description, Unit, Price, Total

C. END WALLS
Table with columns: QTY, Description, Unit, Price, Total

D. END SECTIONS (ES - 1)
Table with columns: QTY, Description, Unit, Price, Total

E. CORRUGATED METAL PIPES
Table with columns: QTY, Description, Unit, Price, Total

F. END SECTION (ES - 2)
Table with columns: QTY, Description, Unit, Price, Total

G. AD N-12 (HDPE)
Table with columns: QTY, Description, Unit, Price, Total

H. STORMWATER MANAGEMENT / BMP FACILITIES COST ESTIMATES
PER IMPERVIOUS ACRE TREATED (SEE NOTE #3)

I. MISCELLANEOUS STORMWATER MANAGEMENT
Table with columns: Description, Unit, Price, Total

J. MISCELLANEOUS DRAINAGE ITEMS
Table with columns: QTY, Description, Unit, Price, Total

Ditches
Table with columns: QTY, Description, Unit, Price, Total

3. CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY AND/OR PRIVATE INGRESS/EGRESS EASEMENTS

A. SITE WORK
Table with columns: QTY, Description, Unit, Price, Total

Slope Stab. - Jute Mesh, Matting, Blankets, etc.
Table with columns: QTY, Description, Unit, Price, Total

B. SUBGRADE, SUBBASE AND BASE COURSE ITEMS
Table with columns: QTY, Description, Unit, Price, Total

Underdrains
Table with columns: QTY, Description, Unit, Price, Total

C. ENTRANCES AND PIPE STEMS
Table with columns: QTY, Description, Unit, Price, Total

D. MISCELLANEOUS CONSTRUCTION ITEMS
Table with columns: QTY, Description, Unit, Price, Total

Guardrail
Table with columns: QTY, Description, Unit, Price, Total

4. SANITARY SEWER & WATER LINE CONSTRUCTION

WATERMAIN (Exclusive of Fire Hydrants)
Table with columns: QTY, Description, Unit, Price, Total

SANITARY SEWER PIPE LINE (Exclusive of Manhole Structures)
Table with columns: QTY, Description, Unit, Price, Total

SUB-TOTAL \$ 170

5. MISCELLANEOUS COSTS
Table with columns: Description, Unit, Price, Total

6. FLOODPLAIN ITEMS ESCROW
Table with columns: Description, Unit, Price, Total

7. LANDSCAPING ESCROWS
A. DECIDUOUS TREES
Table with columns: QTY, Description, Unit, Price, Total

B. EVERGREEN TREES
Table with columns: QTY, Description, Unit, Price, Total

C. SHRUBS
Table with columns: QTY, Description, Unit, Price, Total

D. ORNAMENTAL
Table with columns: QTY, Description, Unit, Price, Total

E. PERENNIAL
Table with columns: QTY, Description, Unit, Price, Total

F. REFORESTATION
Table with columns: QTY, Description, Unit, Price, Total

TOTAL LANDSCAPE ESCROW AMOUNT \$ 4,131

7. SILTATION AND EROSION CONTROL ESCROWS

Table with columns: Description, Unit, Price, Total

TOTAL \$ 7,935

ADMINISTRATIVE COST (10% of Total Cost) \$ 794

TOTAL SILTATION & EROSION CONTROL ESCROW AMOUNT \$ 8,729

(Minimum acceptable amount for Siltation and Erosion Control Escrow is \$1,000.00)

PREPARER'S SIGNATURE, TELEPHONE #, NAME (print), COMPANY OR FIRM

- NOTES: 1. For items identified with ** the quantity for the embankment material the net difference of total fill material needed and cut material available at the project site, if excavated or cut material is suitable for embankment.
2. The excavation and embankment costs include the necessary grading, spreading and/or compaction of soil in accordance with County and State Standards and Specifications.
3. The unit cost for each of the items in this Unit Price List is the installation cost which includes factors such as excavation, bedding, backfilling, compaction, form work, etc.
4. Inflation has been calculated based on Northern Virginia Consumer Price Index of the Washington D.C. area provided by the Bureau of Labor and Statistics.
5. Whomever certifies the site development plans must also certify the total cost of the bonded items, landscaping escrow and siltation and erosion control escrow and must sign on "Preparer's Signature" on page 10 of this form.
6. Floodplain Items Escrow not to be part of Bond/Escrow reduction.

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS
Table with columns: REV, DATE, COMMENT, BY

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It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION
PROJECT No.: V175005
DRAWN BY: DSH
CHECKED BY: JOR
DATE: 3/1/19
SCALE: AS NOTED
CAD I.D.: SD1

PROP. SITE PLAN DOCUMENTS FOR
LOCATION OF SITE
6740 LEA BERRY WAY
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COMMONWEALTH OF VIRGINIA
JOHN W. BOHLER
Lic. No. 052544
10/23/2020
PROFESSIONAL ENGINEER

SHEET TITLE: UNIT PRICE LIST
SHEET NUMBER: 19



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Kimberly Henry
Town Clerk

MEMORANDUM

TO: Haymarket Planning Commission
FROM: Kimberly Henry, Town Clerk
DATE: December 21, 2020
SUBJECT: Calendar of Meetings

Town Staff is working on the 2021 calendar for Planning Commission meetings. Note that in January and February the 3rd Monday is a holiday. The Planning Commission will need to decide alternate meeting dates for January and February. Staff has proposed the following:

2021 Meeting Calendar

- **January:** 1/18 - Holiday: MLK Day - Staff recommends either Monday, 1/11 or Tuesday, 1/19
- **February:** 2/15 - Holiday George Washington Day - Staff recommends either Monday, 2/8 or Tuesday, 2/16
- **March:** Monday 3/15
- **April:** Monday 4/19
- **May:** Monday 5/19
- **June:** Monday 6/21
- **July:** Monday 7/19
- **August:** Monday 8/16
- **September:** Monday 9/20
- **October:** Monday 10/18
- **November:** Monday 11/15
- **December:** Monday 12/20

Draft Motion:

I move the Town of Haymarket Planning Commission set the 2021 Meeting Schedule as presented with the exception of January and February 2021. The January meeting shall be _____ and the February meeting shall be _____.

Or an Alternate Motion

Attachment: 2021 PC meeting calendar memo (4813 : 2021 Meeting Schedule)