

TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ AGENDA ~

Emily Lockhart, Town Planner http://www.townofhaymarket.org/

15000 Washington Street, Suite 100 Haymarket, VA 20169

Monday, December 16, 2019

7:00 PM

Council Chambers

I. Call To Order

II. Pledge of Allegiance

III. Minute Approval

- 1. Planning Commission Regular Meeting Oct 21, 2019 7:00 PM
- 2. Planning Commission Regular Meeting Nov 18, 2019 7:00 PM

IV. Citizens Time

V. Agenda Items

1. Haymarket Hotel Venture, LLC Final Site Plan

VI. New Business

VII. Old Business

VIII. Architectural Review Board Update

IX. Town Council Update

X. Adjournment



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner http://www.townofhaymarket.org/

15000 Washington Street, Suite 100 Haymarket, VA 20169

Monday, October 21, 2019

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call to Order

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Aayush Kharel: Present.

II. Pledge of Allegiance

Chairman Matt Caudle invited everyone to stand for the Pledge of Allegiance, followed by a moment of silence.

III. Citizen's Time

There were no citizens wishing to address the Planning Commission at this meeting.

IV. Public Hearing

Town Planner Emily Lockhart requested to Chairperson Caudle that the applicant give a presentation of the updated changes on the project prior to opening the floor for public comment. Chairperson Caudle invited the applicant to the podium to present their changes to the Planning Commission.

A representative for Van Metre Companies gave a slide presentation of the changes made from the original plan. She stated that the entrance to the property would only be accessible from Washington Street on the western edge of the property not to conflict with St. Paul Street. This would eliminate all traffic coming off of Hunting Path Road, which raised concerns at the last meeting. There would be no access to the town houses off of Hunting Path Road. The design also showed a tot lot at the north western corner of the site. The representative shared the type of business that would occupy the southern end of the property. The representative stated that they are currently in communication with a high end day care facility to occupy the space. The representative continued with an explanation of the design for 38 town home units with 4 parking spaces per unit, 2 of which would be in the garage. In addition, there would be an additional 30 parking spaces located throughout the property. She also stated that they have been meeting with their traffic engineer in regards to the right hand turn off of Washington Street onto the property. After the presentation, the Planning Commission asked several questions, particularly on the design and storm water management.

At this time, Chairperson Caudle opened the floor for public comment.

Dottie Leonard, 14801 Washington Street, stated that she liked the changes that were made. She said that she would like to see the Planning Commission recommend approval on this project.

With no other public comment, Chairperson Matt Caudle closed the public hearing.

1. SUP#2019-004, Van Metre/Smith Property

V. Agenda Items

1. SUP#2019-004, Van Metre/Smith Property, 6701 Hunting Path Rd & 14850/14860 Washington Town Planner Emily Lockhart stated that she reviewed the revised plans and included her comments in her staff report. She stated that her biggest concern would be the right turn lane meeting VDOT standards. There was a discussion on the subject of the turn lane.

Minutes Acceptance: Minutes of Oct 21, 2019 7:00 PM (Minute Approval)

The representative from Van Metre answered several questions from the Planning Commission Members about the request for the Special Use Permit to have town homes versus making the property all commercial buildings and the amount of the town home units.

The Planning Commission discussed the Special Use Permit application and the Town of Haymarket's zoning ordinance, the comprehensive plan and the walk ability of the Town in length.

Councilman Shannon moved that the Planning Commission recommend approval to the Town Council for the proposed Special Use Permit for the proposed 38 town houses located at 14850 and 14860 Washington Street and 6701 Hunting Path Road as presented in the Special Use Permit plan to the Commission on October 21, 2019.

RESULT: ADOPTED [3 TO 1]

MOVER: Steve Shannon, Councilman SECONDER: Aayush Kharel, Commissioner

AYES: Matt Caudle, Steve Shannon, Aayush Kharel

NAYS: Nicholas Pulire

2. McDonald's Second Drive-Thru

Town Planner Emily Lockhart shared that McDonald's asked to be removed from the evening's Agenda. Ms. Lockhart stated that she and the Business Manager would be meeting with them and that they will be on a future meeting agenda.

VI. New Business

Business Manager Chris Coon shared with the Planning Commission that the Comprehensive Plan needs to be updated. He stated that he would be reaching out the Town Council for a request to have additional Planning Commission meetings in order to get the Plan updated. There was a discussion on the subject.

VII. Old Business

Town Planner Emily Lockhart shared that Haymarket Hotel Venture has submitted their second site plan.

VIII. Architectural Review Board Update

Mr. Kharel shared that the Architectural Review Board approved the design for Hotel Venture, LLC. He stated that they met all of the Boards requests for the parking lot lighting, the windows and signage. He also shared that the Board approved the signage for the Taco Bell.

IX. Town Council Update

Councilman Shannon gave the Town Council updates. He stated that they approved the bond release for A Dog's Day Out. They also adopted the Property Maintenance Code Ordinance. He also shared that the Council filled the vacant Town Council seat and the Town Clerk's position.

X. Adjournment

1. Motion to Adjourn

RESULT: ADOPTED [UNANIMOUS]

MOVER: Steve Shannon, Councilman

SECONDER: Aayush Kharel, Commissioner

AYES: Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel

Submitted: Approved:





TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner http://www.townofhaymarket.org/

15000 Washington Street, Suite 100 Haymarket, VA 20169

Monday, November 18, 2019

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call to Order

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Aayush Kharel: Present, Commissioner Pearl Carter-Bush: Present.

II. Pledge of Allegiance

Chairman Matt Caudle invited everyone to stand for the Pledge of Allegiance followed by a moment of silence.

III. Minutes Approval

1. Planning Commission - Public Hearing/Regular Meeting - Aug 19, 2019 7:00 PM Councilman Shannon moved to approve the Planning Commission Public Hearing/Regular meeting minutes for August 19, 2019. The motion was seconded by Commissioner Carter-Bush.

RESULT: ACCEPTED [UNANIMOUS]

MOVER: Steve Shannon, Councilman

SECONDER: Pearl Carter-Bush, Commissioner

AYES: Caudle, Shannon, Pulire, Kharel, Carter-Bush

2. Planning Commission - Regular Meeting - Sep 16, 2019 7:00 PM Councilman Shannon moved to approve the minutes of the Planning Commission Regular Meeting from September 16, 2019. The motion was seconded by Commissioner Kharel.

RESULT: ACCEPTED [UNANIMOUS]
MOVER: Steve Shannon, Councilman
SECONDER: Aayush Kharel, Commissioner

AYES: Caudle, Shannon, Pulire, Kharel, Carter-Bush

IV. Citizen's Time

Marie Turner, Fayette Street South, asked if there would be a possibility for VDOT to set the light to flashing red at the intersection of Washington and Old Carolina Road during the overnight hours. She stated that vehicular traffic is using a cut through to avoid the traffic light.

Ms. Turner also stated that, after looking at the plans for the new hotel, she would like to see the traffic pattern move from Fayette Street to Payne Street since Fayette Street is already too busy.

Councilman Shannon stated that he could give her the number for VDOT so that she could make the request for the light change and that they would answer her request specifically.

Town Planner Emily Lockhart shared that the first round of the hotel plans will be a subject for the December meeting.

Nick Spiros, owner of Transforms Power Yoga, shared that he is looking at purchasing property at 14841 Washington Street so that he can expand his business. He stated that the property is currently zoned transitional commercial. He stated that the house on the property would need to be lifted up and work would need to be done. He stated that he would like some feedback from the Commission and that he would hopefully have some ideas to bring forth at the December meeting. The Commission asked Town Planner Lockhart about the zoning by right uses. Ms. Lockhart stated that the business would meet the by right use of transitional commercial. She also stated that the building is registered as a historical building. The Commission confirmed that Mr. Spiros would have to comply by the Architectural Review Board guidelines.

Several Battlefield High School students were in attendance at the evening's meeting for a requirement in a government class.

V. Agenda Items

1. New Planning Commissioner Introduction

Town Planner Emily Lockhart introduced and welcomed Pearl Carter-Bush to the Planning Commission. Ms. Carter-Bush gave a brief autobiography.

2. 2020 Town Meeting Calendar

Town Planner Emily Lockhart shared that 2 Planning Commission meetings in 2020 fall on holidays. The first meeting date that falls on a holiday is January 20, 2020. Ms. Lockhart's recommendation was either Monday, January 13th or Tuesday, January 21st. The second meeting date that falls on a holiday is February 17, 2020. Ms. Lockhart's recommendation was either Monday, February 10th or Tuesday, February 18th. The Commission chose Tuesday, January 21st and Tuesday, February 18th for the meeting dates. Ms. Lockhart stated that with the winter months coming, the Town follows Prince William County Government inclement weather closings. She shared that if the office is closed due to inclement weather, the meeting would be cancelled. She stated that she would send out an email if the meeting is cancelled.

3. Town Council Directive to Update the Comprehensive Plan

Business Manager Chris Coon shared that the Comprehensive Plan needs to be updated. Mr. Coon suggested that the Commission do a small section at a time. There was a brief discussion. Town Planner Emily Lockhart suggested that the Commission schedule a work session night for December. She stated at that time, the Commission would work on an outline and set what the Commission would like to accomplish in 2020. Ms. Lockhart suggested that the work session be right before the scheduled regular meeting on December 15th. There was a consensus of the Commission to set the work session at 6 pm on December 16th.

VI. New Business

Ms. Lockhart shared that the only New Business item is the second submission of the site plans for the hotel. Ms. Lockhart stated that she and the Town Engineer have reviewed the plans and have submitted some changes. Ms. Lockhart stated that the plans will come before the Commission at the December regular meeting.

VII. Old Business

Ms. Lockhart shared that Morias Vineyard is working on their building. She also shared that Van Metre/Smith Property project will go before the Town Council in a public hearing at their December meeting.

VIII. Architectural Review Board Update

Commission Kharel did not have any updates since the scheduled ARB meeting was set for Wednesday, November 20, 2019.

IX. Town Council Update

Councilman Shannon gave the Council updates from the November 4th meeting.

X. Adjournment

1. Motion to Adjourn

RESULT: ADOPTED [UNANIMOUS] MOVER: Steve Shannon, Councilman SECONDER: Aayush Kharel, Commissioner

AYES: Caudle, Shannon, Pulire, Kharel, Carter-Bush

Submitted:	Approved:		
Kimberly Henry, Clerk of the Council	Matt Caudle, Chairperson		



Town of Haymarket 15000 Washington Street, #100 Haymarket, VA 20169 703-753-2600

Emily K. Lockhart Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart, Town Planner

DATE: December 13, 2019

SUBJECT: Haymarket Hotel Final Site Plan

Background:

Haymarket Hotel Venture, LLC has worked through the Preliminary Site Plan and the Final Site Plan for the proposed hotel located at 15001 Washington Street. The site plan has been sent to all outside agencies for review.

The Town Engineer and I have worked through two iterations of the preliminary site plan and provided approval of the preliminary plan. The applicant then submitted a final site plan and was provided with comments. The attached version of the final site plan is the most recent version addressing the outstanding comments from the Town.

Please review the final site plan using the Zoning Ordinance and provide comments and feedback at the Planning Commission meeting 12/16.

LOCATION OF SITE

15001 WASHINGTON STREET HAYMARKET, VA 20169 TOWN OF HAYMARKET

GAINESVILLE MAGISTERIAL DISTRICT

GPIN: 7297896995, GPIN: 7297897585, GPIN: 7297898679,

GPIN: 7297899391, GPIN: 7297898699

PLAN REFERENCES AND CONTACTS WASHINGTON STREET AND FAYETTE STREET TOWN OF

♦ ARCHITECTURAL PLAN: CAD FILE "A1-09" 1950 ABBOTT STREET, SUITE 605 CHARLOTTE, NC 28203 PHONE: (704) 373-3101

MANASSAS, VIRGINIA 20110

DATED: 11/04/19

♦ GEOTECHNICAL REPORT "GEOTECHNICAL INVESTIGATION, PROPOSED HAYMARKET HOTEL PROJECT, SWC WASHINGTON AND JEFFERSON STREETS, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA" WDP & ASSOCIATES CONSULTING ENGINEERS, INC. 10621 GATEWAY BLVD., SUITE 200

◆ PRINCE WILLIAM COUNTY SERVICE AUTHORITY CONTACT - TOM RIGBY 4 COUNTY COMPLEX COURT, WOODBRIDGE VA, 22192 PHONE: (703) 335-7930 **♦ BUILDING DEPARTMENT** PWC DEPARTMENT OF DEVELOPMENT SERVICES 5 COUNTY COMPLEX COURT, SUITE 120,

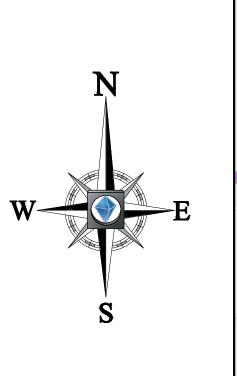
PHONE: (703) 792-6930 ♦ VA DEPT OF TRANSPORTATION 4975 ALLIANCE DRIVE, FAIRFAX, VA 22030

WOODBRIDGE, VA 22192

PHONE: (703) 259-2775

♦ DEPT OF ENVIRONMENTAL QUALITY CONTACT - MARGARET DANNEMANN 13901 CROWN COURT, WOODBRIDGE, VA 22193 PHONE: (703) 583-3892

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE







LOCATION MAP SCALE: 1" = 2,000' Copyright MICROSOFT CORP.

DEVELOPER HAYMARKET HOTEL VENTURE, LLC 820 SHADES CREEK PKWY SUITE 2300

PREPARED BY



28 BLACKWELL PARK LANE, SUITE 201 **WARRENTON, VIRGINIA 20186**

Phone: (540) 349-4500 (540) 349-0321

VA@BohlerEng.com **CONTACT: JONATHAN RITCHIE**

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It's fast. It's free. It's the law. NOT APPROVED FOR CONSTRUCTION CAD I.D.: SITE PLAN DOCUMENTS HAYMARKET HOTE VENTURE, LLC PROPOSED SITE 15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA 8 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com COVER SHEET

SENERAL NOTE:

IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT RK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVI HE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN VRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE PTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AN

THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS. THESE NOTES. AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER

INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS

THE CONTRACTOR MUST FIELD VERIEY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD. THEREAFTER. PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE

CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH, AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

I. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY. THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS. PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS

AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT. . ENGINEER OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS. HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY 13. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY

ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE 4. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL. COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR.

16. $\,$ IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. 17. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION. INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES. PAVEMENT. STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

18. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER ENGINEERING HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER ENGINEERING SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS AT ANY TIME

19. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER ENGINEERING, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND

FIRST PARTY CLAIMS

20. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES RULES STATUTES AND THE LIKE IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY. INDEPENDENTLY. SEPARATELY. AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER ENGINEERING SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER ENGINEERING INCUR AS RELATED TO SAME

1. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED. WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S). ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS. AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

3. NEITHER THE PROFESSIONAL ACTIVITIES OF: BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER ENGINEERING PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS EMPLOYEES, PERSONNEL, AGENTS, SUBCONTRACTORS AND SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER ENGINEERING FOR AND FROM ANY LIABILITY TO BOHLER ENGINEERING RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER ENGINEERING AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER ENGINEERING'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER ENGINEERING HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER ENGINEERING WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER ENGINEERING'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER ENGINEERING'S ATTENTION. BOHLER ENGINEERING IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN. WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND. FURTHER. MUST DEFEND. INDEMNIFY. PROTECT. AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS,

26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL FITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND. FURTHER, THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND/OR BOHI FR ENGINEERING INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE

28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS. AMENDMENTS OR REVISIONS TO SAME.

29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER ENGINEERING HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

30. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND/OR BOHLER ENGINEERING PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

31. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER OF RECORD, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY

SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLITITION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL

EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES,

REGULATIONS. STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE

RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB. EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

GRADING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF

RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. 4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING.

THE CONTRACTOR IS RESPONSIBLE FOR RE SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER LINSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR

ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS REQUIREMENTS RULES, STATUTES, LAWS, ORDINANCES AND CODES,

IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S).

8. THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

ACCESSIBILITY DESIGN GUIDELINES

(Rev. 1/2019)

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. 2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND

CONSISTENCY WITH INDUSTRY GUIDELINES THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS

SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE

AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING

VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES. AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION, RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. <u>HAND RAILS</u> ON BOTH SIDES OF THE

RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH.

RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT

DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).

WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCIES AND/OR FIFLD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.

G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS

CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION

DEMOLITION NOTES

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES, THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL

REGULATIONS THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES

ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.

THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OF COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL

REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS. TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME

THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY. WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME TO OR NEAR THE DEMOLITION AREA

PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST, IN WRITING RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING. IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO BY THE ENGINEER OF RECORD AND/OR BY BOHLER ENGINEERING. IN WRITING, ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS RULES REQUIREMENTS STATUTES ORDINANCES AND CODES

THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:

OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.

INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED

IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND

STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR

PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK"

HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF AND TO THE AFFECTED PARTIES, WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL. THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER ENGINEERING, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.

. THE CONTRACTOR MUST ENSURE THAT ANY EXISTING ASBESTOS-CONTAINING MATERIALS ENCOUNTERED ARE PROPERLY REMOVED FROM THE SUBJECT PREMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PRIOR TO THE COMMENCEMENT OF DEMOLITION ON SITE AND MUST PERFORM ALL AGENCY NOTIFICATIONS AS REQUIRED. AT THE CONTRACTOR'S SOLE EXPENSE. 12. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS,

FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE ANL CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER 13. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION

14. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES, BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE

15. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE

16. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRF-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST 17. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH

OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION, STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY 18. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE

WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 19. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

LIGHTING NOTES

(Rev. 1/2019)

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND

THIS LIGHTING PLAN DEPICTS PROPOSED. SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC

GOVERNMENTAL REGULATIONS.

PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK ALL OF THE ABOVE OUTLINED AND DESCRIBED RESPONSIBILITIES SHALL BECOME SOLELY THE OWNER'S.

WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION

UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE. EQUIPMENT TOLERANCES. WEATHER CONDITIONS. ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN ARE TO BE CONSIDERED APPROXIMATE THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND

APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT REGARDING ANY AND ALL POWERS SOURCE FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.

 $10.\;\;$ THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY

COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. EROSION CONTROL MEASURES MUST CONFORM TO THE VIRGINIA DEQ GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION

CONTROL CONSTRUCTION NOTES THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 2.25 ACRES. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:

A. STABILIZED CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE

B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.

C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE

FROM DISTURBANCE. WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA 5. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS

6. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.

7. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

8. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR

ALL SUCH COSTS. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.

11. THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES. SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT SPECIFIED METHOD OF STABILIZATION THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE

NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE. 13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE

AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS. 14 THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION

15. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE

OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES. 17. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

DRAINAGE AND UTILITY NOTES

(Rev.1/2019)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY

VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING NY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO,

GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL LITILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS

DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME 7. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT

BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS. OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS

DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. 9. THE CONTRACTOR MUST ENSURE THAT ALL LITILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY

WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE

HAS NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL.

RESPECTIVE LITHLITY COMPANY REGARDLESS OF WHAT THIS PLAN DEPICTS WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

REVISIONS V DATE COMMENT

TOWN AND VDOT 11/27/19 COMMENTS REVIEW AND APPROVAL. IT IS NOT INTENDED AS A



NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY: 11/08/2019 CAD I.D.:

SITE PLAN

HAYMARKET HOTEI VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA



8 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 (540) 349-0321 VA@BohlerEng.com



GENERA

REVISION 1 - 11/27/19

H:\19\V192055\DRAWINGS\PLAN SETS\SITE PLAN\V192055-SDP-1.DWG PRINTED BY: SSHEFFIELD 12.02.19 @ 1:25 PM LAST SAVED BY: SSHEFFIELD

NUMBER

VDOT GENERAL NOTES REVISED: 10/15/2019

- 1. THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF (SELECT ONE): N/A
- VDOT SECONDARY STREET ACCEPTANCE REQUIREMENTS (SSAR 24VAC-30-92 EFFECTIVE FEBRUARY 1, 2012 AND VDOT ROAD DESIGN MANUAL APPENDIX B1). VDOT SECONDARY STREET ACCEPTANCE REQUIREMENTS (SSAR 24VAC-30-92 EFFECTIVE FEBRUARY 1, 2012 AND VDOT ROAD DESIGN MANUAL APPENDIX B2 AS
- APPROVED FOR USE IN DESIGNATED HIGH DENSITY DEVELOPMENT AREAS). VDOT ROAD DESIGN MANUAL APPENDIX C, RURAL AND URBAN GEOMETRIC DESIGN STANDARDS EFFECTIVE AT THE TIME OF VDOT RECOMMENDED PLAN
- 2. VDOT APPROVED EXCEPTIONS/WAIVERS (MUST BE INCORPORATED IN THE PLAN):
- ACCESS MANAGEMENT DATE OF APPROVAL: PENDING
- DESIGN WAIVER DATE OF APPROVAL: N/A

SSAR- DATE OF APPROVAL: N/A

- OTHER_____ DATE OF APPROVAL: _____

APPROVAL; LIST STANDARD USED: GS-_____.

- 3. SSAR CONNECTIVITY SUMMARY (PROVIDE A CHECK MARK & WHERE APPLICABLE OR WRITE N/A):
- CONNECTIONS IN MULTIPLE DIRECTIONS (FIRST CONNECTION MUST BE TO A VDOT MAINTAINED ROAD, THE SECOND CONNECTION MAY EITHER BE TO A VDOT ROAD OR TO A STUB OUT) N/A
- STUB OUT CONNECTION (THE PROP. RIGHT OF WAY TERMINATES AT PARCEL ABUTTING THE DEVELOPMENT AND CONSISTS OF A SHORT SEGMENT THAT IS INTENDED TO SERVE CURRENT AND FUTURE DEVELOPMENT; THE APPLICANT MUST VERIFY THAT CONNECTION WITH A FUTURE STREET IS FEASIBLE). 🗸
- NETWORK ADDITIONS PROVIDING DIRECT ACCESS TO (I) MORE THAN 200 DWELLING UNITS OR (II) LOTS WHOSE TRIP GENERATION IS EXPECTED TO BE OVER 2,000 VPD MAY BE ACCEPTED INTO THE SECONDARY SYSTEM OF STATE HIGHWAYS IF THE NETWORK ADDITION PROVIDES AN ADDITIONAL EXTERNAL CONNECTION BEYOND THAT REFERENCED ABOVE. N/A
- 4. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE CURRENT EDITIONS OF AND LATEST REVISIONS TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGE SPECIFICATIONS AND STANDARDS, THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, AND ANY OTHER APPLICABLE STATE, FEDERAL OR LOCAL REGULATIONS. IN CASE OF A DISCREPANCY OR CONFLICT BETWEEN THE STANDARDS OR SPECIFICATIONS AND REGULATIONS, THE
- 5. ALL RIGHT OF WAY DEDICATED TO PUBLIC USE SHALL BE CLEAR AND UNENCUMBERED.
- 6. ALL UTILITIES, INCLUDING ALL POLES, ARE TO BE RELOCATED AT THE DEVELOPER'S EXPENSE, PRIOR TO CONSTRUCTION.
- 7. THE DEVELOPER IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS AND UTILITIES WHICH OCCUR AS A RESULT OF PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT OF WAY.
- 8. OPEN CUTTING OF PAVED OR SURFACE TREATED ROADS IS NOT PERMITTED. ALL UTILITIES WHICH WILL BE PLACED UNDER EXISTING STREETS ARE TO BE BORED OR JACKED. ANY EXCEPTIONS, DUE TO EXTENUATING CIRCUMSTANCES, ARE TO BE ADDRESSED AT THE PERMIT STAGE.
- 9. THE PAVEMENT DESIGN IS BASED ON AN ASSUMED CBR VALUE OF 10 (USE A CBR VALUE OF 6 IN LOUDOUN CO.). SOIL TESTS OF SUBGRADE MUST BE SUBMITTED FOR THE ACTUAL DETERMINATION OF THE REQUIRED THICKNESS OF THE PAVEMENT INCLUDING LAYERS OF ASPHALT AND SUBBASE PRIOR TO SUBBASE
- 10. PAVEMENT DESIGN SHALL BE PROVIDED IN ACCORDANCE WITH THE PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS IN VIRGINIA. FOR PRIMARY ROADS AND INTERSTATE HIGHWAYS WHERE TRUCK TRAFFIC EXCEEDS 5%, PAVEMENT DESIGN SHALL BE PROVIDED IN ACCORDANCE WITH AASHTO GUIDELINES. TYPICAL PAVEMENT SECTIONS SHALL DEPICT THE TOP 6" OF THE SUBGRADE IMMEDIATELY UNDER THE PAVEMENT STRUCTURE COMPACTED TO 100% OF THE THEORETICAL MAXIMUM DRY DENSITY.
- 11. ALL UNTREATED AGGREGATE USED IN BASE OR SUBBASE COURSES SHALL BE 21B, EXCEPT ON ROADS WITH AN ADT OF 1000 VPD OR LESS, WHERE 21A AGGREGATE MAY BE USED. WHEN 21B AGGREGATE IS USED, UD-4 UNDERDRAINS MUST BE PROVIDED.
- 12. A 4" (MIN.) LAYER OF STONE IS REQUIRED BENEATH CURB AND GUTTER (MAY BE SHOWN ON TYPICAL SECTION IN LIEU OF A NOTE).
- 13. THE ENTIRE SURFACE OF THE ROADWAY (OLD AND NEW PORTIONS) SHALL BE OVERLAID AND RE-STRIPED AS REQUIRED BY VDOT PERSONNEL. OVERLAY OF EXISTING PAVEMENT SHALL BE A MINIMUM OF 1.25" DEPTH; ANY COSTS ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE ASSUMED BY THE DEVELOPER.
- 14. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE PROPOSED EDGE OF PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER IN THE ROADWAY.
- 15. ASPHALT PAVEMENT WIDENING SHALL CONFORM TO VDOT STANDARD WP-2.
- 16. ANY TYPE OF REVERSE CURB (SPILL CURB, CG-6R, ETC.) AND TRANSITION TO THESE CURBS SHALL NOT BE USED WITHIN THE PUBLIC RIGHT OF WAY.
- 17. THE COUNTY/TOWN SHALL OBTAIN A PERMIT FOR ALL SIDEWALKS/CROSSWALKS WITHIN THE RIGHT OF WAY THAT DO NOT QUALIFY FOR VDOT MAINTENANCE.
- 18. ADDITIONAL DITCH LININGS OR SILTATION AND EROSION CONTROL MEASURES SHALL BE PROVIDED, AT THE DEVELOPER'S EXPENSE, AS DETERMINED NECESSARY BY VDOT AND/OR THE COUNTY/TOWN DURING FIELD REVIEW. ALL COSTS SHALL BE ASSUMED BY THE DEVELOPER.
- 19. STANDARD GUARDRAILS AND/OR HANDRAILS SHALL BE INSTALLED AT HAZARDOUS LOCATIONS AS DESIGNATED DURING FIELD REVIEW BY THE COUNTY/TOWN
- 20. A LANDSCAPING AND IRRIGATION SYSTEMS PLAN SHALL BE SUBMITTED FOR VDOT APPROVAL PRIOR TO INSTALLING ANY LANDSCAPING AND IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT OF WAY.
- 21. FLOWERS, SHRUBS, TREES, AND IRRIGATION SHALL NOT BE PLACED WITHIN STATE MAINTAINED RIGHT OF WAY LIMITS WITHOUT AN APPROVED SET OF PLANS AND AN APPROVED PLANTING AGREEMENT. NO IRRIGATION (SPRINKLER) SYSTEMS, BRICK COLUMNS, END WALLS, AND/OR BRICK MAILBOXES WILL BE CONSTRUCTED OR INSTALLED WITHIN STATE MAINTAINED RIGHT OF WAY LIMITS WITHOUT A PERMIT. ANY OF THE ABOVE ITEMS FOUND IN THE RIGHT OF WAY WITHOUT A PERMIT WILL BE REMOVED, AND ALL COSTS OF THE REMOVAL WILL BE BORNE BY THE OWNER AND/OR DEVELOPER.
- 22. TRAFFIC CONTROL DEVICES OR ADVISORY SIGNS, SUCH AS MULTIWAY STOPS, SPEED LIMITS, WATCH FOR CHILDREN, PEDESTRIAN TRAFFIC ETC., SHALL NOT BE INSTALLED UNLESS SPECIFICALLY APPROVED BY VDOT TRAFFIC ENGINEERING SECTION. SHOULD UNAPPROVED SIGNS BE NOTED AT THE TIME OF VDOT INSPECTION, THE ROAD ACCEPTANCE PROCESS SHALL BE TERMINATED IMMEDIATELY AND NOT RECOMMENCED UNTIL A DETERMINATION IS MADE REGARDING THE APPROVAL OF ANY ADDITIONAL SIGNS. IMMEDIATE REMOVAL OF SUCH SIGNS SHALL NOT NEGATE THE NEED FOR THE SUBMISSION OF A REVISION.
- 23. A SPEED STUDY CERTIFIED BY A PROFESSIONAL ENGINEER SHALL BE SUBMITTED FOR VDOT APPROVAL PRIOR TO THE STREET ACCEPTANCE FOR ANY ROAD TO BE POSTED OTHER THAN THE STATUTORY SPEED LIMIT.
- 24. THE DEVELOPER IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. THE DEVELOPER SHALL SUBMIT A SIGNING, STRIPING AND/OR SIGNALIZATION PLAN TO THE VDOT LAND DEVELOPMENT SECTION PRIOR TO PERMIT APPLICATION. THE DEVELOPER SHALL NOT COMMENCE CONSTRUCTION OF ANY PAVEMENT COURSE WITHOUT
- 25. THE DEVELOPER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY TRAFFIC SIGNAL INSTALLATION OR MODIFICATION WHICH WILL BE NECESSARY AS A RESULT OF THE DEVELOPMENT OF THIS SITE.
- 26. DURING CONSTRUCTION, THE MAINTENANCE OF TRAFFIC SHALL CONFORM TO THE REQUIREMENTS IN THE MOST RECENT VERSION OF THE VIRGINIA WORK AREA PROTECTION MANUAL AND THE MUTCD.

PROPOSED EASEMENT LEGEND		
SI		SIGHT DISTANCE
STM DIM		STORM DRAIN
SS		SANITARY SEWER
W		WATER
PA		PUBLIC ACCESS
CSE		COMMON SHARED
IE DIM		INGRESS-EGRESS
PU		PUBLIC UTILITY
VAR		VARIABLE WIDTH S



			DRA
REV	DATE	COMMENT	CHE
1	11/27/19	TOWN AND VDOT COMMENTS	N J



11/08/2019

NOT APPROVED FOR CONSTRUCTION

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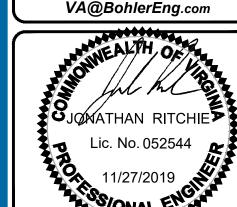
DOCUMENTS

HAYMARKET HOTE VENTURE, LLC

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA



8 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321



GENERAI

AREA = 92,524 SQUARE FEET OR 2.124 ACRES

LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE, SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT **EXCAVATION MAY BE NECESSARY**

4. THIS SURVEY WAS PERFORMED IN THE FIELD ON MAY 29, 2019 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.

THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24, 2019, 2ND REISSUE. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, PART II:

12) EASEMENTS AND RIGHTS OF WAY TO STONEWALL POWER COMPANY RECORDED IN DEED BOOK 84 AT PAGE 451; MAY AFFECT SUBJECT PROPERTY, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT. THERE WAS AN OVERHEAD POLE LINE LOCATED ALONG JEFFERSON STREET

(13) EASEMENTS AND RIGHTS OF WAY TO VIRGINIA PUBLIC SERVICE COMPANY RECORDED IN DEED BOOK 107 AT PAGE 293; MAY AFFECT SUBJECT PROPERTY, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT. THERE WAS AN OVERHEAD POLE LINE LOCATED ALONG JEFFERSON STREET

(4) EASEMENTS AND RIGHTS OF WAY TO VIRGINIA ELECTRIC AND POWER COMPANY RECORDED IN DEED BOOK 135 AT PAGE 464; AFFECT SUBJECT PROPERTY, APPROXIMATE LOCATION OF CENTERLINE EASEMENT SHOWN. DEED BOOK 142 AT PAGE 400; AFFECT SUBJECT PROPERTY, THERE WHERE GUYS AND ANCHORS LOCATED ALONG JEFFERSON STREET, SHOWN., DEED BOOK 144 AT PAGES 11; AFFECT SUBJECT PROPERTY, APPROXIMATE LOCATION OF CENTERLINE EASEMENT SHOWN. AND 26; AFFECT SUBJECT PROPERTY, APPROXIMATE LOCATION OF CENTERLINE EASEMENT SHOWN., AND DEED BOOK 2874 AT PAGE 1475; DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND EAST OF JEFFERSON STREET.

(15.) EASEMENTS AND RIGHTS OF WAY TO CONTEL OF VIRGINIA RECORDED IN DEED BOOK 1624 AT PAGE 1797; DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND ON THE NORTH SIDE OF WASHINGTON

(6.) TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN FIRE HYDRANT EASEMENT TO PRINCE WILLIAM COUNTY SERVICE AUTHORITY RECORDED IN DEED BOOK 2481 AT PAGE 1794; DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND ON THE NORTH SIDE OF WASHINGTON STREET.

EASEMENTS AND RIGHTS OF WAY TO COMMONWEALTH OF VIRGINIA RECORDED IN DEED BOOK 2823 AT PAGES 1936, 1940 AND 1944, AND DEED BOOK 2827 AT PAGES 1883 AND 1887; AFFECT SUBJECT PROPERTY, STORM DRAIN AND TEMPORARY EASEMENTS ARE SHOWN.

(18) TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN EASEMENTS AND RIGHTS OF WAY RECORDED IN DEED BOOK 319 AT PAGE 560 AND INCLUDING THE WELL AND SEPTIC TANK RIGHTS LOCATED THEREIN; AFFECT SUBJECT PROPERTY, NOT PLOTTABLE, NO WELL LOCATED ON PROPERTY.

19.) EASEMENTS AND RIGHTS OF WAY CONVEYED BY INSTRUMENT NO. 200208060101207; THIS DOCUMENT IS A CORRECTIVE DOES NOT CREATE ANY EASEMENTS AND RIGHT OF WAY.

TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS. MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN DEED OF EASEMENT WITH THE TOWN OF HAYMARKET, DATED APRIL 2, 2007, AND RECORDED AS INSTRUMENT NO. 200704030040581; AFFECT SUBJECT PROPERTY, SHOWN.

THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY; HOWEVER, NO PHYSICAL INDICATIONS OF SUCH WERE FOUND AT THE TIME OF THE FIELD INSPECTION OF THIS SITE.

ELEVATIONS ARE BASED ON NAVD88 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS SURVEY CONTROL NO. PW11 WITH A PUBLISHED ELEVATION OF 348.645 FEET.

THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PRINCE WILLIAM COUNTY, VIRGINIA AND INCORPORATED AREAS], PANEL 67 OF 330", MAP NUMBER 51153C0067D, WITH A MAP EFFECTIVE DATE

ZONING: B-1 PLANNED USE: NEIGHBORHOOD/TOWN CENTER

BUILDING SETBACKS

FRONT 5 FEET FROM STREET RIGHT-OF-WAY 5 FEET FROM STREET RIGHT-OF-WAY

5 FEET FROM STREET RIGHT-OF-WAY

PARKING REQUIREMENT 1.1 SPACES PER ROOM MAXIMUM HEIGHT

ALL ZONING INFORMATION WAS PROVIDED BY BOHLER ENGINEERING, DATED APRIL 23, 2019 AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME, TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE-SPECIFIC INFORMATION." SHOULD THERE BE ANY CHANGE IN USE. SETBACK(S) AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR

REFERENCING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT. 10. THE PROPERTY SURVEYED HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO WASHINGTON STREET-VAIRTE 55; JEFFERSON STREET-VAIRTE 625 PAYNE LANE AND FAYETTE STREET, EACH A PUBLIC RIGHT OF WAY MAINTAINED BY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT).

LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR

11. THE PROPERTY SURVEYED IS THE SAME PROPERTY DESCRIBED IN A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24, 2019 AND VESTING DEED RECORDED IN INSTRUMENT 200505260085471, AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

12. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY IN THE PROCESS OF

13. NO DESIGNATION FOR DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES, NOR THE OBTAINING OF NECESSARY PERMISSIONS, HAVE BEEN PROVIDED BY THE CLIENT TO THE SURVEYOR PER THE DATE OF THIS SURVEY. CLIENT DID NOT DESIGNATE WALLS TO BE DETERMINED AS PLUMB AT THE TIME OF

14. SURVEYOR OBSERVED NO EVIDENCE OF ACTIVE DRILLING OR PRODUCTION OF MINERALS OF ANY KIND AT THE TIME OF SURVEY.

TITLE DESCRIPTION

ALL THOSE CERTAIN LOTS OR PARCELS OF LAND SITUATE, LYING AND BEING IN THE TOWN OF HAYMARKET. GAINESVILLE MAGISTERIAL DISTRICT, PRINCE WILLIAM COUNTY, VIRGINIA, MORE PARTICULARLY DESCRIBED

PARCEL 1 (TENTATIVE DESCRIPTION): THAT CERTAIN LOT CONTAINING ABOUT ONE (1) ACRE, MORE OR LESS, KNOWN AS THE SHIRLEY LOT BEING

MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 89, PAGE 269 AT FOLLOWS: "CONTAINING ABOUT ONE ACRE AND KNOWN AS THE SHIRLEY LOT AND, TOGETHER WITH PARCEL 2 DESCRIBED BELOW, COMPRISING TAX MAP PARCEL NO. 137-2-30 AND BEING THE SAME LOT CONVEYED TO CORNELIA L. BIGLOW BY DEED FROM JOHN W. SMITH, ET UX, DATED OCTOBER 6, 1893; RECORDING IN THE COUNTY CLERK'S OFFICE FOR PRINCE WILLIAM COUNTY, VIRGINIA, OCTOBER 15, 1893, AND BEING THE SAME LOT DEVISED TO SAID JOHN W. SMITH BY T.A. SMITH IN HIS WILL ADMITTED TO PROBATE, OCTOBER 4, 1889. AND RECORDED IN SAID CLERK'S OFFICE IN WILL BOOK U, AT FOLIO 210, AND BEING THE SAME LOT CONVEYED TO ALWILDA J. PATTIE BY CORNELIA L. BIGLOW, BY DEED DATED JANUARY 8, 1897 AND RECORDED IN DEED BOOK 45 AT FOLIO 356, AND BEING THE SAME INHERITED BY SUSAN PATTIE BROWN FROM HER MOTHER, ALWILDA J. PATTIE, AND IS THE SAME CONVEYED TO SAID O.C. HUTCHISON AS OSCAR C. HUTCHISON BY SUSAN PATTIE BROWN AND J. WALTER BROWN, HER HUSBAND, BY DEED DATED AUGUST 14, 1905 AND RECORDED IN DEED BOOK 54, AT FOLIO 206 OF SAID CLERK'S OFFICE, TO WHICH SAID DEEDS AND WILL

A LOT CONTAINING 0.438 ACRE, MORE OR LESS, ADJOINING PARCEL 1 AND MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 89, PAGE 269 AS FOLLOWS:

REFERENCE IS MADE FOR A MORE PARTICULAR DESCRIPTION OF THE ABOVE DESCRIBED FIRST PARCEL.

"ADJOINING SAID FIRST PARCEL AND LOCATED AS AFORESAID, AND BEGINNING AT BUTLER'S CORNER IN THE NORTH LINE OF FRANKLIN STREET, 105 FEET WEST OF THE NORTHWEST CORNER OF FRANKLIN AND JEFFERSON STREETS, IN SAID TOWN OF HAYMARKET; THENCE N. 58 DEG. 30' W. 86 FEET TO 2, A POST IN LINE OF FRANKLIN STREET, A CORNER TO SAID OSCAR HUTCHISON AND T.E. GARNETT; THENCE N. 33 DEG. 45' E. 202.3 FEET TO 3, A POST, A CORNER TO HUTCHISON, GARNETT AND THE SCHOOL GROUNDS; THENCE S. 58 DEG. 30' E., 94.34 FEET TO 4, A LOCUST POST, AND INCLUDING THREE-FOURTHS OF SAID POST, AND THENCE S. 36 DEG. 15' W. 202.3 FEET TO THE BEGINNING, CONTAINING .438 OF AN ACRE; AND IS THE SAME PROPERTY CONVEYED TO SAID O.C. HUTCHISON AND ADA L. HUTCHISON (ADA HUTCHISON BEING THE SAME AS ADA L. HUTCHISON) BY DEED DATED JULY 5, 1910, BY T.E. GARNETT, ET UX, AND RECORDED IN DEED BOOK 59, AT FOLIO 487 OF SAID CLERK'S OFFICE TO WHICH REFERENCE IS LIKEWISE MADE."

PARCEL 3 (TENTATIVE DESCRIPTION):

A LOT CONVEYED TO JAMES R. GOSSOM BY DEED DATED AUGUST 7, 1958, RECORDED IN DEED BOOK 231, PAGE 490 AND THEREIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

"ALL THAT CERTAIN LOT OR PARCEL OF LAND, LYING AND BEING SITUATE IN THE TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA, AT THE INTERSECTION OF STATE ROUTE 625 WITH ROUTE 1302, AND BEING A LOT 105 X 116 FEET, COMPOSED OF TWO LOTS, ONE OF WHICH WAS ACQUIRED BY W.W. BUTLER (ALSO KNOWN AS WILLIAM WYATT BUTLER) AND M.A. BUTLER, HIS WIFE, BY DEED DATED DECEMBER 14, 1905. AND RECORDED IN DEED BOOK 57, PAGE 494 FROM T.E. GARNETT AND WIFE, AND THE OTHER HAVING BEEN ACQUIRED BY W.W. BUTLER FROM T.E. GARNETT AND WIFE BY DEED DATED MAY 1, 1911 AND RECORDED IN DEED BOOK 61, PAGE 183.

LESS AND EXCEPTING FROM PARCELS 1, 2 AND 3 ABOVE, A PARCEL OF LAND CONTAINING 14 393 SQUARE FEET, MORE OR LESS, CONVEYED TO ALAN C. GOSSOM AND DOROTHY E. GOSSOM BY DEED DATED MAY 18, 1964. RECORDED IN DEED BOOK 319, PAGE 560 AND THEREIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY SIDE OF PAYNE LANE (FORMERLY FRANKLIN STREET) SAID POINT BEING APPROXIMATELY 99 FEET FROM THE CENTERLINE OF JEFFERSON STREET; THENCE RUNNING ALONG THE NORTHERLY SIDE OF PAYNE LANE N. 58 DEG. 00' 00" W. 141.00 FEET (PASSING THROUGH AN IRON PIPE MARKING THE ORIGINAL SOUTHWEST CORNER OF THE FORMER BUTLER PROPERTY, NOW GOSSOM AT 21, 11 FEET) TO AN IRON PIPE; THENCE DEPARTING FROM PAYNE LANE AND RUNNING THROUGH THE GOSSOM PROPERTY ALONG THE FOLLOWING BEARINGS: N. 32 DEG. 00' 00" E. 100.44 FEET TO AN IRON PIPE: AND S. 37 DEG. 00' 00" W. 98 .00 FEET TO THE POINT OF BEGINNING, CONTAINING 14,393 SQUARE FEET, MORE OR LESS, ACCORDING TO A PLAT AND SURVEY DATED APRIL 16, 1964, MADE BY ROSS & FRANCE, SURVEYORS, RECORDED WITH DEED BOOK 319, PAGE 560.

TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON AN ADJOINING LOT KNOWN AS THE HENRY W. BUTLER LOT, ACQUIRED BY THE SAID JAMES R. GOSSOM FROM HENRY W. BUTLER, ET AL, AND MORE FULLY DESCRIBED IN DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS MADE FOR FULL PARTICULARS, SAID RIGHT OF WAY OF EASEMENT TO RUN FROM A WELL LOCATED NEAR THE SOUTHERN BORDER OF SAID LOT DESCRIBED IN DEED BOOK 231, PAGE 490, AS AFORESAID, TO THE PROPERTY HEREIN DESCRIBED ALONG WITH THE RIGHT OF USE OF WATER FROM THE WELL MENTIONED.

ALSO TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON TWO ADJOINING LOTS WHICH SAID LOTS ARE MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 159, PAGE 484. SAID RIGHT OF WAY TO RUN FROM A WELL SITUATED AT THE NORTHEASTERLY CORNER OF THE LOT DESCRIBED AT DEED BOOK 159, PAGE 484, AFORESAID TO THE PROPERTY HEREIN DESCRIBED.

AND ALSO A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON A CERTAIN LOT ADJOINING THE PARCEL HEREIN CONVEYED DESCRIBED IN DEED BOOK 124, PAGE 218, WHICH EXTENDS FROM THE PROPERTY HEREIN CONVEYED INTO A PORTION OF THE LAND RETAINED BY THE SAID JAMES R. GOSSOM AND MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AFORESAID.

A LOT CONTAINING 0.21 ACRES, MORE OR LESS, CONVEYED TO JAMES R. GOSSOM, BY DEED DATED DECEMBER 4, 1951, RECORDED IN DEED BOOK 159, PAGE 484, AND MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 98, PAGE 361, AS FOLLOWS:

"BEGINNING AT 1, LOCATION ON THE SOUTH EDGE OF CONCRETE SIDEWALK N. 53 DEG. 10' W. 97.7 FEET FROM SOUTHWEST CORNER OF THOUROUGHFARE ROAD AND JEFFERSON STREET: THENCE S. 36 DEG. 15' W. 97.9 FEET TO POST (2), CORNER OF O.C. HUTCHISON IN GARNETT'S LINE; THENCE WITH HUTCHISON'S LINE N. 51 DEG. 26' W. 94.34 FEET TO 3, CORNER OF TOWN HALL LOT, IN HUTCHISON'S LINE; THENCE WITH TOWN HALL LOT N. 34 DEG. E. 95 FEET TO 4, ANOTHER CORNER OF TOWN HALL LOT ON THOROUGHFARE ROAD, AND THENCE WITH THOROUGHFARE ROAD S. 53 DEG. 10' E. 98 FEET TO THE POINT OF BEGINNING, CONTAINING TWENTY-ONE HUNDREDTHS (.21) OF AN ACRE, MORE OR LESS."

LESS AND EXCEPT FROM THE ABOVE DESCRIBED PROPERTY 93.88 SQUARE FEET, MORE OR LESS, OF LAND CONVEYED TO THE COMMONWEALTH OF VIRGINIA BY DEED RECORDED IN DEED BOOK 2823 AT PAGE 1940 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

A LOT CONTAINING 17,143 SQUARE FEET, MORE OR LESS, CONVEYED TO JAMES R. GOSSOM BY DEED DATED SEPTEMBER 21, 1971, RECORDED IN DEED BOOK 604, PAGE 360 AND THEREIN MORE PARTICULARLY

"BEGINNING AT A PIPE ON THE WEST SIDE OF JEFFERSON STREET A CORNER OF LAWRENCE J. KRUSE AND JAMES R. GOSSOM, THENCE DEPARTING FROM THE STREET AND RUNNING WITH GOSSOM N. 54 DEG. 41' W. 105.20' TO A PIPE. THENCE WITH ANOTHER LINE OF GOSSOM N. 39 DEG. 54' E. 172.57' TO A PIPE ON THE SOUTH SIDE OF ROUTE 55, THENCE WITH ROUTE 55 S. 49 DEG. 15' E. 99.57' TO A PIPE ON THE WEST SIDE OF JEFFERSON STREET, THENCE DEPARTING FROM ROUTE 55 AND RUNNING WITH JEFFERSON STREET S. 38 DEG. 02' W. 162.77' TO THE BEGINNING, CONTAINING 17,143 SQUARE FEET, MORE OR LESS.

LESS AND EXCEPT FROM THE ABOVE-DESCRIBED PROPERTY 185.12 SQUARE FEET, MORE OR LESS, OF LAND CONVEYED TO THE COMMONWEALTH OF VIRGINIA BY DEED RECORDED IN DEED BOOK 2823 AT PAGE 1936 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

BEGINNING AT A POINT IN THE NORTHERLY SIDE OF PAYNE LANE (FORMERLY FRANKLIN STREET); SAID POINT BEING APPROXIMATELY 99 FEET FROM THE CENTERLINE OF JEFFERSON STREET; THENCE RUNNING ALONG THE NORTHERLY SIDE OF PAYNE LANE N. 58 DEG. 00' 00" W. 141.00 FEET (PASSING THROUGH AN IRON PIPE MARKING THE ORIGINAL SOUTHWEST CORNER OF THE FORMER BUTLER PROPERTY, NOW GOSSOM AT 21.11 FEET) TO AN IRON PIPE; THENCE DEPARTING FROM PAYNE LANE AND RUNNING THROUGH THE GOSSOM PROPERTY ALONG THE FOLLOWING BEARINGS: N. 32 DEG. 00' 00" E. 100.44 TO AN IRON PIPE; S. 56 DEG 55'20" E. 149.57 FEET TO AN IRON PIPE; AND AND S. 37 DEG. 00' 00" W. 98.00 FEET TO THE POINT OF BEGINNING. CONTAINING 14,393 SQUARE FEET, MORE OR LESS, ACCORDING TO A PLAT AND SURVEY DATED APRIL 16, 1964, MADE BY ROSS & FRANCE, SURVEYORS, ATTACHED THERETO AND MADE A PART THEREOF, AND BEING A PORTION OF THE SAME LAND CONVEYED TO THE SAID JAMES R. GOSSOM BY DEEDS RECORDED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS HEREBY MADE FOR FURTHER AND COMPLETE PARTICULARS AND DERIVATION OF TITLE.

TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON AN ADJOINING LOT KNOWN AS THE HENRY W. BUTLER LOT, ACQUIRED BY THE SAID JAMES R. GOSSOM FROM HENRY W. BUTLER, ET AL. AND MORE FULLY DESCRIBED IN DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS MADE FOR FULL PARTICULARS, SAID RIGHT OF WAY OF EASEMENT TO RUN FROM THE WELL LOCATED NEAR THE SOUTHERN BORDER OF SAID LOT DESCRIBED IN DEED BOOK 231, PAGE 490, AS FORESAID, TO THE PROPERTY HEREIN

ALSO TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON TWO ADJOINING LOTS WHICH SAID LOTS ARE MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 159, PAGE 484, SAID RIGHT OF WAY TO RUN FROM A WELL SITUATED AT THE NORTHEASTERLY CORNER OF THE LOT DESCRIBED AT DEED BOOK 159, PAGE 484, AFORESAID TO THE PROPERTY HEREIN DESCRIBED, ALONG WITH THE RIGHT OF USE OF WATER FROM THE WELL MENTIONED.

AND ALSO TOGETHER WITH A RIGHT OF WAY EASEMENT OVER, ACROSS AND UPON A CERTAIN LOT ADJOINING THE PARCEL HEREIN CONVEYED DESCRIBED IN DEED BOOK 124, PAGE 218, TO USE AND MAINTAIN AN EXISTING SEPTIC TANK DRAIN FIELD SYSTEM WHICH EXTENDS FROM THE PROPERTY HEREIN CONVEYED INTO A PORTION OF THE LAND RETAINED BY THE SAID JAMES R. GOSSOM AND MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AFORESAID.

BEING THE SAME PROPERTY CONVEYED TO PAYNE DEVELOPMENT, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, BY DEED FROM YOUNGS BRANCH, L.C., A VIRGINIA LIMITED LIABILITY COMPANY, AND ALAN C. GOSSOM, UNMARRIED, DATED MAY 25, 2005, AND RECORDED MAY 26, 2005, IN THE CLERK'S OFFICE, CIRCUIT COURT, PRINCE WILLIAM COUNTY, VIRGINIA, AS INSTRUMENT NO. 200505260085471.

SURVEYED DESCRIPTION

ALL OF THE LANDS OF PAYNE DEVELOPMENT, LLC INSTR. #200505260085471 TOWN OF HAYMARKET

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LIMITS OF WASHINGTON STREET - VA RTE. 55 (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE WESTERLY RIGHT-OF-WAY LIMITS OF JEFFERSON STREET VA RTE. 625, THENCE WITH SAID WESTERLY RIGHT-OF-WAY LIMITS;

PRINCE WILLIAM COUNTY, VIRGINIA

 SOUTH 31° 15' 28" WEST, 249.31 FEET TO THE INTERSECTION OF SAID WESTERLY LIMITS WITH THE NORTHERLY RIGHT-OF-WAY LIMITS OF PAYNE LANE (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID NORTHERLY RIGHT-OF-WAY LIMITS:

2. NORTH 62° 49' 26" WEST, 360.25 FEET TO THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY LIMITS WITH THE EASTERLY RIGHT-OF-WAY LIMITS OF FAYETTE STREET (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID EASTERLY RIGHT-OF-WAY LIMITS:

3. NORTH 27° 50' 05" EAST, 217.89 FEET TO A 1" IRON PIPE FOUND MARKING THE INTERSECTION OF SAID EASTERLY RIGHT-OF-WAY LIMITS, WITH THE DIVISION LINE, BETWEEN THE LANDS OF TOWN OF HAYMARKET (TM 7298 80 7308) ON THE NORTH AND THE LANDS OF PAYNE DEVELOPMENT, LLC (INSTR. #200505260085471) ON THE SOUTH, THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LIMITS AND WITH SAID DIVISION LINE, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

SOUTH 58° 07' 07" EAST, 177.34 FEET, THENCE;

5. NORTH 29° 21' 04" EAST, 94.09 FEET TO THE INTERSECTION OF SAID DIVISION LINE WITH THE SOUTHERLY RIGHT-OF-WAY LIMITS OF SAID WASHINGTON STREET, THENCE WITH SAID SOUTHERLY RIGHT-OF-WAY LIMITS. THE FOLLOWING SIX (6) COURSES AND DISTANCES:

SOUTH 58° 13' 57" EAST, 142.24 FEET, THENCE;

 CONTINUING, 6.60 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 5747.18 FEET, A CENTRAL ANGLE OF 00° 03' 57", AND A CHORD BEARING AND DISTANCE OF SOUTH 58" 15' 55" EAST, 6.60 FEET TO THE BEGINNING OF A NON-TANGENTIAL LINE, THENCE:

8. CONTINUING, SOUTH 57° 35' 53" EAST, 27.39 FEET, THENCE;

CONTINUING, 32.57 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 23.40 FEET. CENTRAL ANGLE OF 79° 44' 27", AND A CHORD BEARING AND DISTANCE OF SOUTH 08° 57' 33" EAST, 30.00 FEET,

10. CONTINUING, SOUTH 30° 58' 00" WEST, 9.90 FEET, THENCE:

11. CONTINUING, SOUTH 59° 02' 00" EAST, 2.50 FEET TO THE PLACE OF BEGINNING.

CONTAINING 92,524 SQUARE FEET OF 2.124 ACRES.

DESCRIPTION IS ON NAD83/2011 DATUM BASED ON A CURRENT FIELD SURVEY AND MONUMENTATION FOUND. BEING THE PART OF THE PROPERTY AS DESCRIBED IN A TITLE COMMITMENT REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24. 2019, 2ND REISSUE, AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR

THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST, SERIAL NUMBER(S): A914303048-00A

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
PRINCE WILLIAM -WATER	MARKED	(703) 609-8097
PRINCE WILLIAM-SEWER	MARKED	(703) 609-8097
COMCAST	NO CONFLICT	(804) 562-3861
FIBERLIGHT	MARKED	(410) 979-0384
LEVEL 3-CENTURYLINK	NO CONFLICT	(877) 366-8344
QWEST GOVERNMENT	MARKED (CRITICAL FACILITY)	(703) 387-9152
VERIZON	NO CONFLICT	(703) 754-2116
MINION ENERGY ELECT DISTR.	NO CONFLICT	(703) 754-2116
COLUMBIA GAS	NO CONFLICT	(703) 754-2116

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A914303002-00A

UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
PRINCE WILLIAM -WATER	MARKED	(703) 609-8097
PRINCE WILLIAM-SEWER	MARKED	(703) 609-8097
COMCAST	NO CONFLICT	(804) 562-3861
FIBERLIGHT	NO CONFLICT	(410) 979-0384
LEVEL 3-CENTURYLINK	NO CONFLICT	(877) 366-8344
QWEST GOVERNMENT	NO CONFLICT	(703) 387-9152
VERIZON	NO CONFLICT	(703) 754-2116
MINION ENERGY ELECT DISTR.	NO CONFLICT	(703) 754-2116
COLUMBIA GAS	MARKED	(703) 754-2116
QWEST GOVERNMENT VERIZON MINION ENERGY ELECT DISTR.	NO CONFLICT NO CONFLICT NO CONFLICT	(703) 387-9 (703) 754-2 (703) 754-2

UTILITIES:

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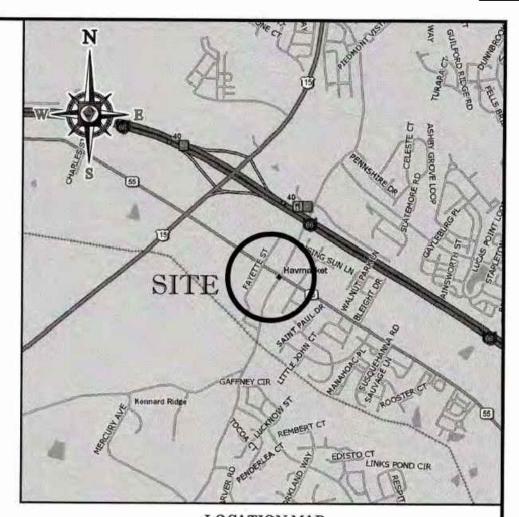
UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
PRINCE WILLIAM -WATER	MARKED	(703) 609-8097
PRINCE WILLIAM-SEWER	MARKED	(703) 609-8097
COMCAST	NO CONFLICT	(804) 562-3861
FIBERLIGHT	MARKED	(410) 979-0384
LEVEL 3-CENTURYLINK	NO CONFLICT	(877) 366-8344
QWEST GOVERNMENT	MARKED (CRITICAL FACILITY)	(703) 387-9152
VERIZON	NO CONFLICT	(703) 754-2116
OMINION ENERGY ELECT DISTR.	NO CONFLICT	(703) 754-2116
COLUMBIA GAS	NO CONFLICT	(703) 754-2116

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UTILITY COMPANY	LOCATE STATUS	PHONE NUMBE
PRINCE WILLIAM -WATER	MARKED	(703) 609-809
PRINCE WILLIAM-SEWER	MARKED	(703) 609-809
COMCAST	NO CONFLICT	(804) 562-386
FIBERLIGHT	NO CONFLICT	(410) 979-0384
LEVEL 3-CENTURYLINK	NO CONFLICT	(877) 366-8344
QWEST GOVERNMENT	NO CONFLICT	(703) 387-9152
VERIZON	NO CONFLICT	(703) 754-2116
DOMINION ENERGY ELECT DISTR.	NO CONFLICT	(703) 754-2116
COLUMBIA GAS	NO CONFLICT	(703) 754-2116

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UTILITY COMPANY	LOCATE STATUS	PHONE NUMBER
PRINCE WILLIAM -WATER	MARKED	(703) 609-8097
PRINCE WILLIAM-SEWER	MARKED	(703) 609-8097
COMCAST	NO CONFLICT	(804) 562-3861
FIBERLIGHT	NO CONFLICT	(410) 979-0384
LEVEL 3-CENTURYLINK	NO CONFLICT	(877) 366-8344
QWEST GOVERNMENT	NO CONFLICT	(703) 387-9152
VERIZON	NO CONFLICT	(703) 754-2116
DOMINION ENERGY ELECT DISTR.	NO CONFLICT	(703) 754-2116
COLUMBIA GAS	NO CONFLICT	(703) 754-2116



LOCATION MAP COPYRIGHT 2013 DELORME STREET ATLAS USA 2013 SCALE: 1"=2000"

PREPARED FOR: HAYMARKET HOTEL VENTURE, LLC AND ITS SUCCESSORS AND ASSIGNS. AS THEIR INTERESTS MAY APPEAR; AND FIRST AMERICAN TITLE INSURANCE COMPANY:

HIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 10(B), 11 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED COMMAY 28, 2019.



PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY

WASHINGTON STREET AND FAYETTE STREET PRINCE WILLIAM COUNTY, VIRGINIA TOWN OF HAYMARKET, 20169

3 | UPDATED PER ATTORNEY COMMENTS & REV. COMMITMENT | ETB/ JB | 11/21/19

ALTA/NSPS LAND TITLE SURVEY

PURPOSE LODGING

UPDATED PER COMMENTS

UPDATED PER ZONING INFORMATION

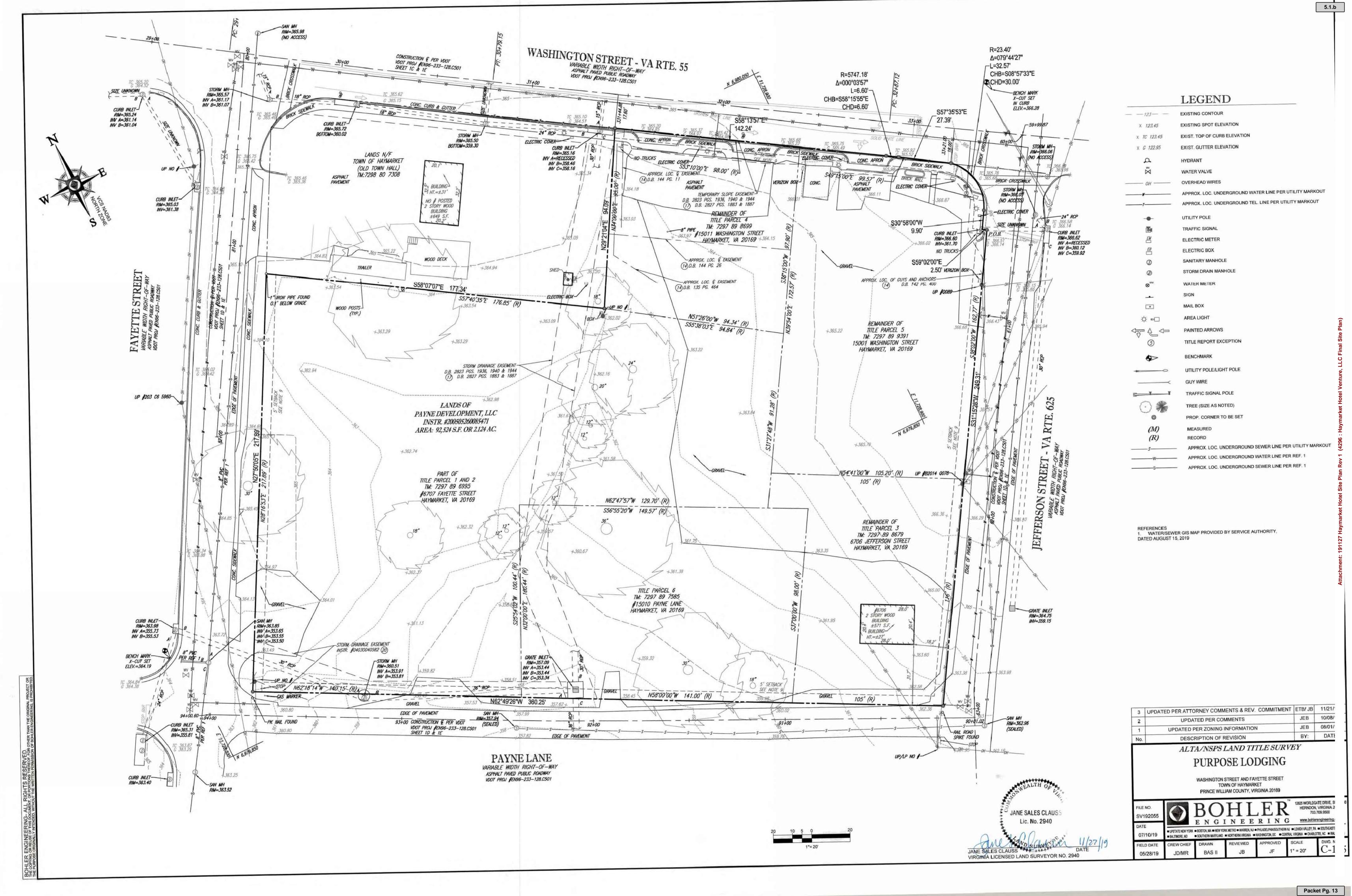
DESCRIPTION OF REVISION

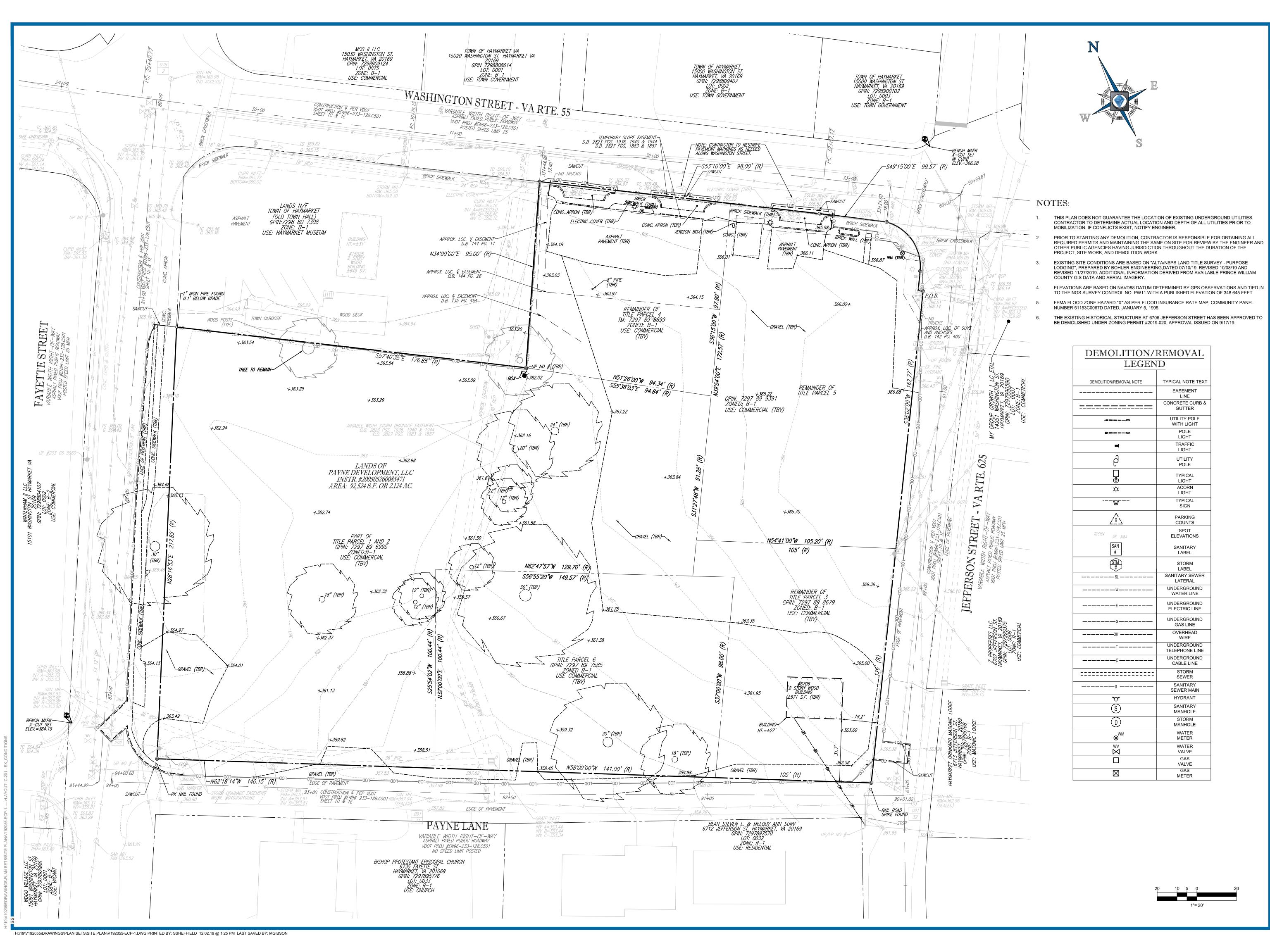
HERNDON, VIRGINIA 20170 ■ UPSTATE NEW YORK -- BOSTON, MA -= NEW YORK METRO -- WARREN, NJ -- PHILADELPHIA/SOUTHERN NJ -- LEHIGH VALLEY, PA -- SOUTHEASTERN PA ■BALTIMORE, MD ■SOUTHERN MARYLAND ■ MORTHERN VIRGINIA ■ WASHINGTON, DC ■ CENTRAL VIRGINIA ■ CHARLOTTE, NC ■ RALEIGH, NC FIELD DATE REW CHIE BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY THER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER JD/MR

JEB 10/08/19

JEB 08/01/19

BY: DATE





BOOK IN FERRING
ENGINEERING
LAND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LAND SCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES
TRANSPORTATION SERVICES

THE INFORMATION, DESIGN AND PROMER THIS PLAN MER PROPRETARY AND SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.

	REVISIONS			
REV	DATE	COMMENT	DRAWN BY CHECKED BY	
1	11/27/19	TOWN AND VDOT COMMENTS	MEG JQR	
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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.



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11/08/2019 ECP **-** 1

PROJECT No.:
DRAWN BY:
CHECKED BY:
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DT:

SITE PLAN DOCUMENTS

HAYMARKET HOTE

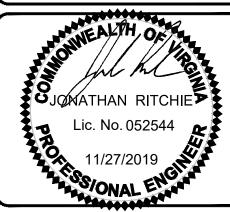
VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

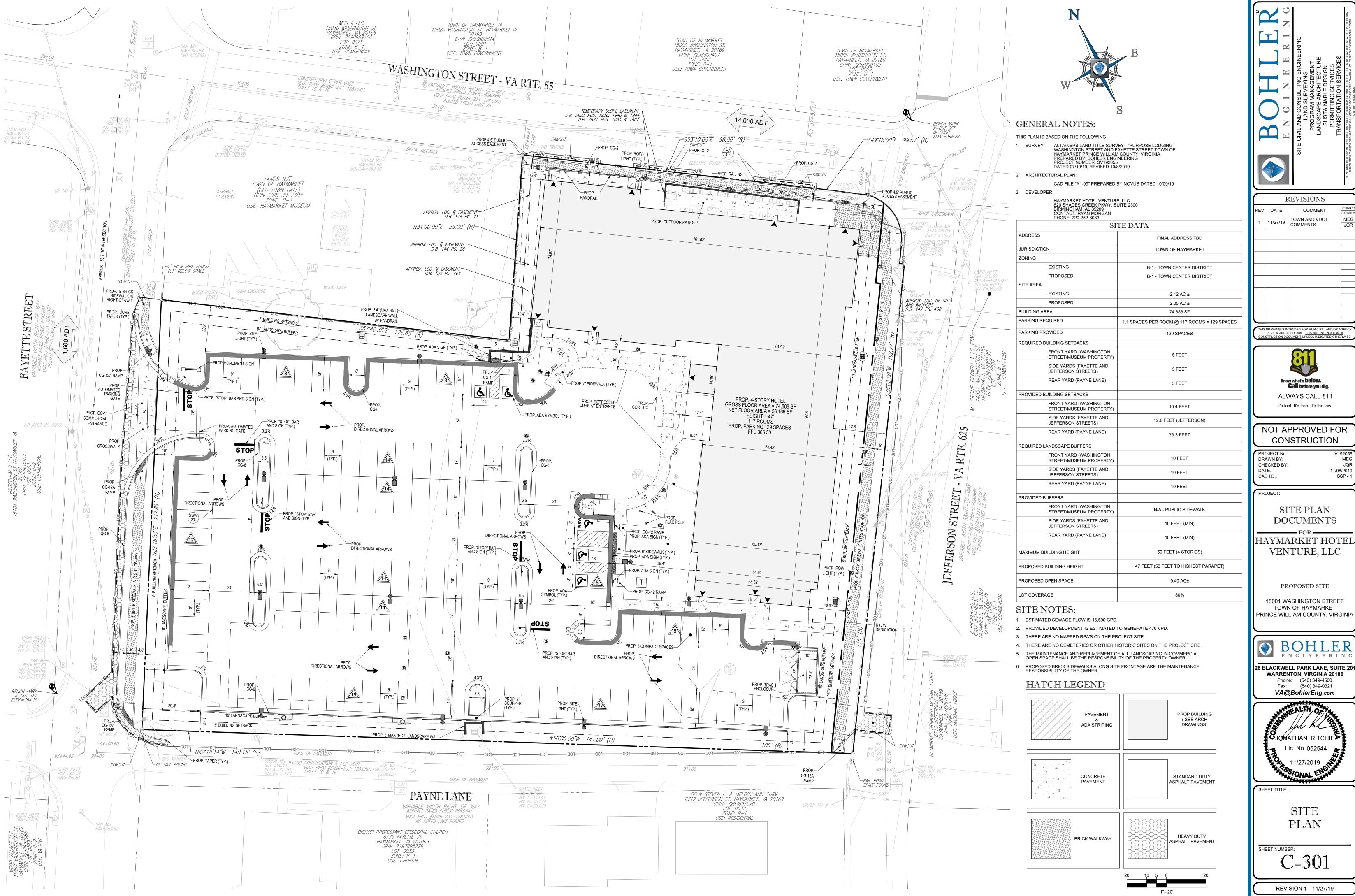


28 BLACKWELL PARK LANE, SUITE 20
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com



EXISTING
CONDITIONS
/DEMOLITION
PLAN

C=**ZU**



H:\19\V192055\DRAWINGS\PLAN SETS\SITE PLAN\V192055-SSP-1.DWG PRINTED BY: SSHEFFIELD 12.02.19 @ 1:25 PM LAST SAVED BY: SSHEFFIELD

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Know what's **below. Call** before you dig.

ALWAYS CALL 811 It's fast. It's free. It's the law.

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CAD I.D.:

SITE PLAN DOCUMENTS

HAYMARKET HOTE VENTURE, LLC

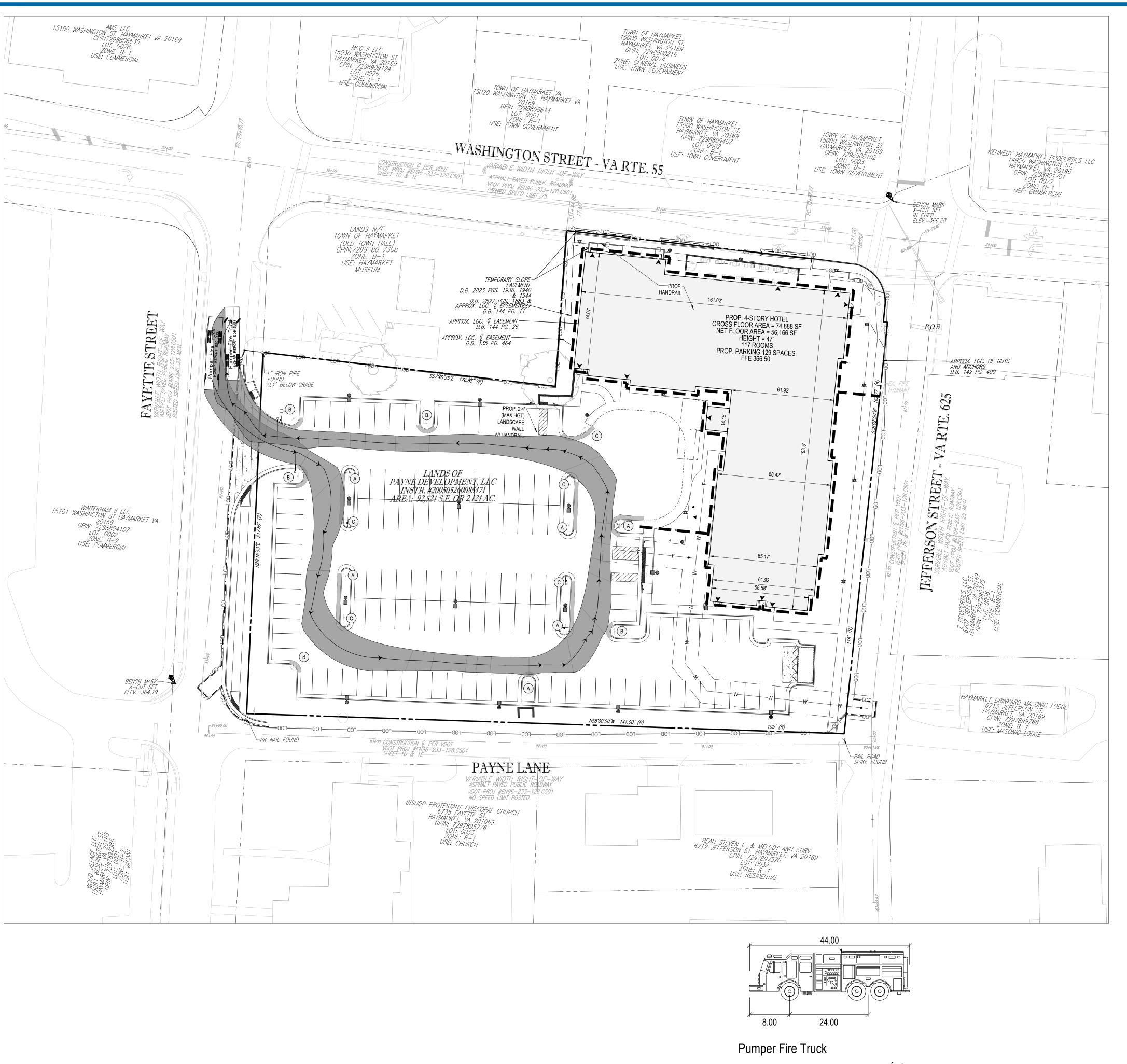
PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

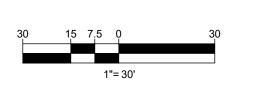
28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com

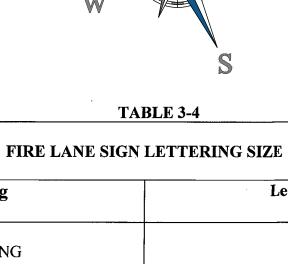
FIRE MARSHAL PLAN

C - 302REVISION 1 - 11/27/19



	feet
Vidth	: 8.50
rack rack	: 8.50
ock to Lock Time	: 6.0
Steering Angle	. 37 8





Lettering		Letter Height inches
NO PARKING OR STANDING FIRE LANE Arrows		2 1 2 2-1/2 1
	SIGN TYPES AND DES	IGN
SIGN TYPE "A"	SIGN TYPE "B"	SIGN TYPE "C"
NO PARKING	NO PARKING	NO PARKING

STANDING

FIRE LANE

Standard wording with an arrow at bottom pointing to the right. One

Standard wording with two directional arrows. One sign sign mounted parallel to the line of | mounted parallel to the line of curbing or pavement edge at end of | curbing or pavement edge at end of | curbing or pavement edge at end of painted area.

Standard wording with an arrow at bottom pointing to the left. One sign mounted parallel to the line of painted area.

STANDING

FIRE LANE

302.01 Fire Lanes:

OR **STANDING**

FIRE LANE

A. Fire lanes in residential, commercial, institutional and industrial developments shall be designated by the County, and shall be a minimum of twenty (20) feet in width. This dimension shall be measured perpendicular from the painted curb or perimeter line. Parking and traffic flow patterns within designated fire lanes shown on site plans shall be as follows:

	STANDARD REQUI	REMENTS
Width Curb to Curb	One Way Traffic	Two-Way Traffic
20' to 30'	Parking on one side	No Parking
30' to 35'	Parallel parking allowed on both sides of street	Parallel parking on one side determined by the Fire Marshall's Office
35' or greater	No fire lane will be established	No fire lane will be established.

B. A minimum of two (2) signs shall designate fire lanes, one (1) at each end. Additional signs shall be provided at a minimal interval of one hundred (100) feet. Fire lanes may be painted in parking areas where no curb or gutter exists and where posting of a metal sign is not feasible. See construction standards for fire lanes in Section 304.01 of this manual.

304.01. Fire Lane Signs and Painting:

- A. Fire lane signs shall be constructed of metal with a dimension of approximately twelve (12) inches by fifteen (15) inches.
- B. The sign shall be painted with red letters on a white background with a three-eighths (3/8) inch red trip strip around the entire outer edge of the sign. The lettering on the sign shall read "NO PARKING OR STANDING FIRE LANE," which shall be spaced on the sign face uniformly. Solid arrows shall also be painted on the signs to point to and indicate the designated fire lane. The lettering and arrow on the sign shall be in accordance with Table 3-4.
- C. Signs for fire lanes shall be posted at intervals of one hundred (100) feet with the bottom of the sign no less than six (6) feet from the ground, and the top no more than eight (8) feet from the ground, unless otherwise directed by Public Works and the Fire Marshal's Office. Sign posts shall be metal and securely mounted unless permission from the Fire Marshal's Office is obtained prior to installation for an alternative method.
- D. Letters at least two (2) feet in height may be painted on the pavement where a fire lane runs through a parking area without curbing adjacent to the fire lane, and where the posting of a metal sign(s) is impractical. The lettering shall read "NO PARKING OR STANDING FIRE LANE."
- E. When curbing is provided adjacent to the fire lane, it shall be painted yellow within the limits of the fire lane.
- F. When curbing is not provided adjacent to the fire lane, a yellow line shall be painted on the pavement along the perimeter and within the limits of the fire lane with two (2) foot long intersecting lines and painted at three (3) foot intervals on the fire lane side of the perimeter.

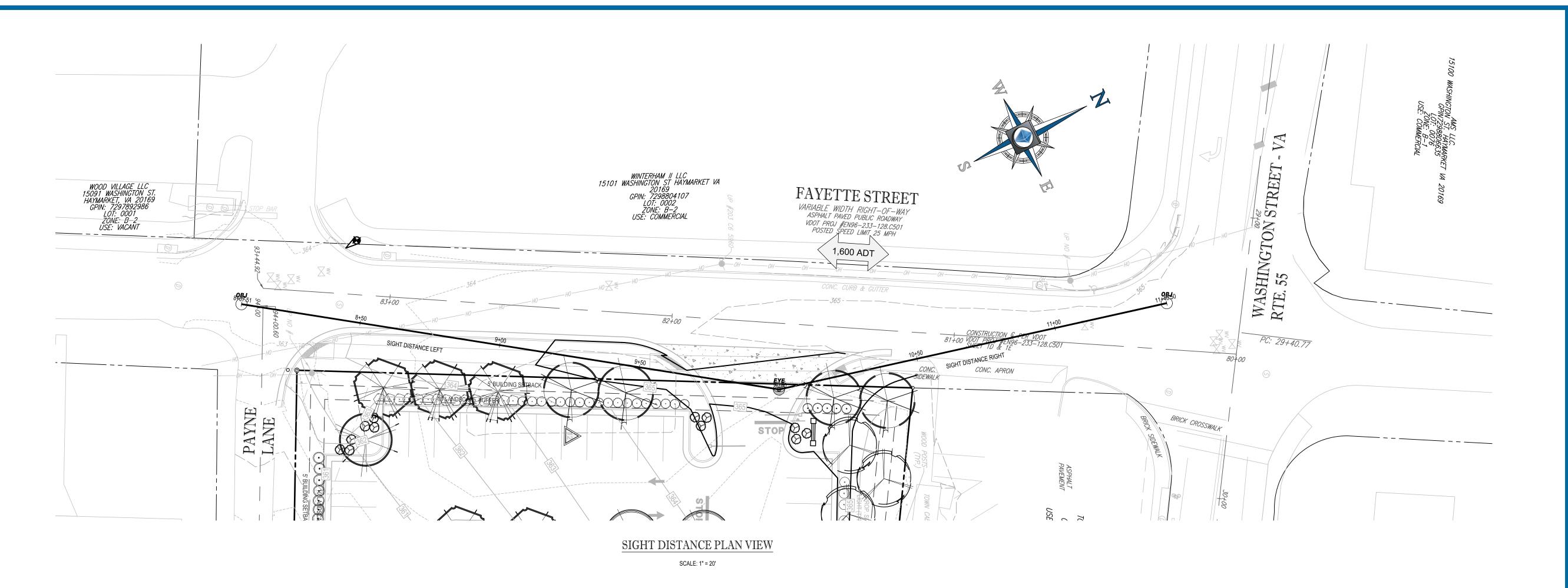
NOTES:

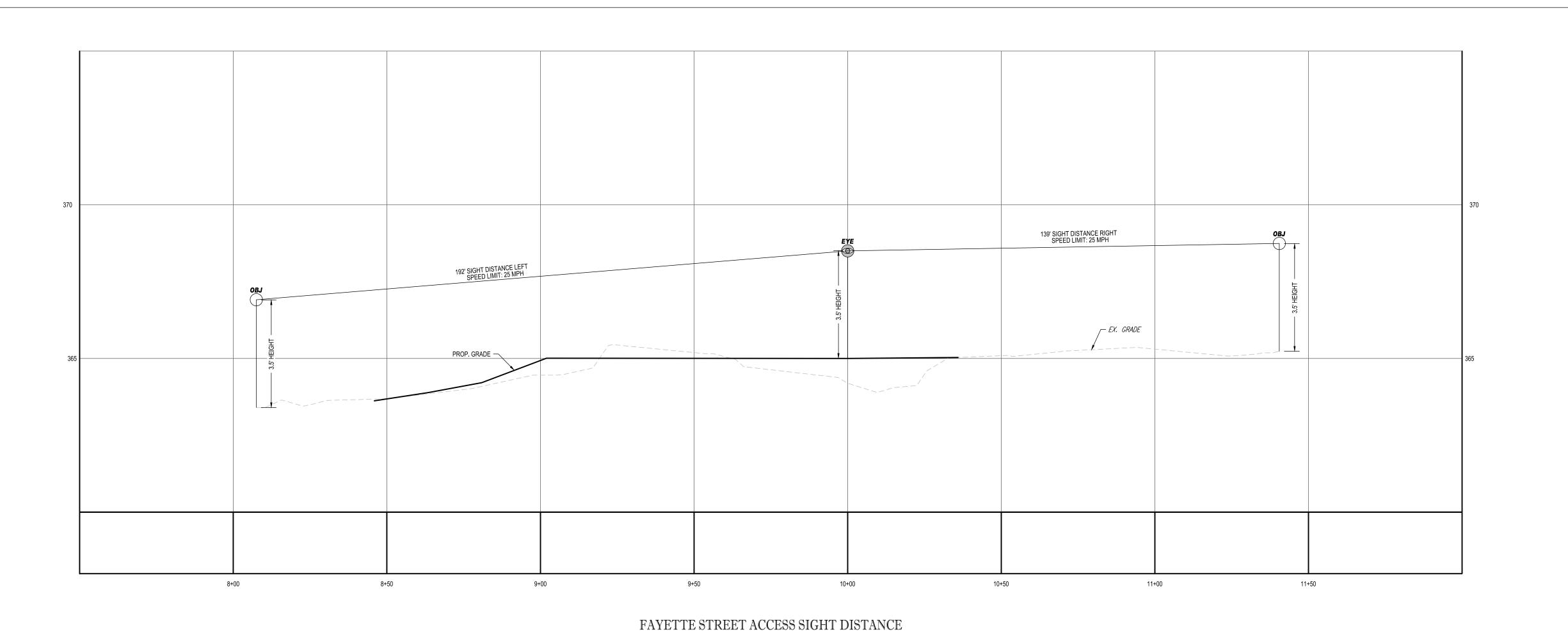
1. CONTRACTOR TO PAINT FIRE LANE CURB (OR PAVEMENT) YELLOW. CONTRACTOR TO ENSURE FIRE LANE SIGNAGE IS PROVIDED TO MEET THE REQUIREMENTS OF THE PWC FIRE PREVENTION CODE.

LEGEND:

FIRE LANE (CURB TO BE PAINTED YELLOW)

■■ FIRE HOSE COVERAGE (300' MAXIMUM LENGTH PER PWC DCSM)





SCALE: 1"= 20 ' HORIZONTAL 1"= 2 ' VERTICAL BOOK IN E R I N G
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES
THEINFORMATION DESIGN AND CONTENT OF THIS PLAN ARE REQUERED FOR ANY PURPOSE WITHOUT PRODUCTION PURPOSES

THEINFORMATION DESIGN AND CONTENT OF THIS PLAN ARE REQUERED FOR ANY PURPOSE WITHOUT PROPRED FOR ANY PURPOSES

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REVISIONS

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PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE:
CAD I.D.:

DJECT:

SITE PLAN DOCUMENTS

HAYMARKET HOTEL
VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 20 WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

JONATHAN RITCHIE

Lic. No. 052544

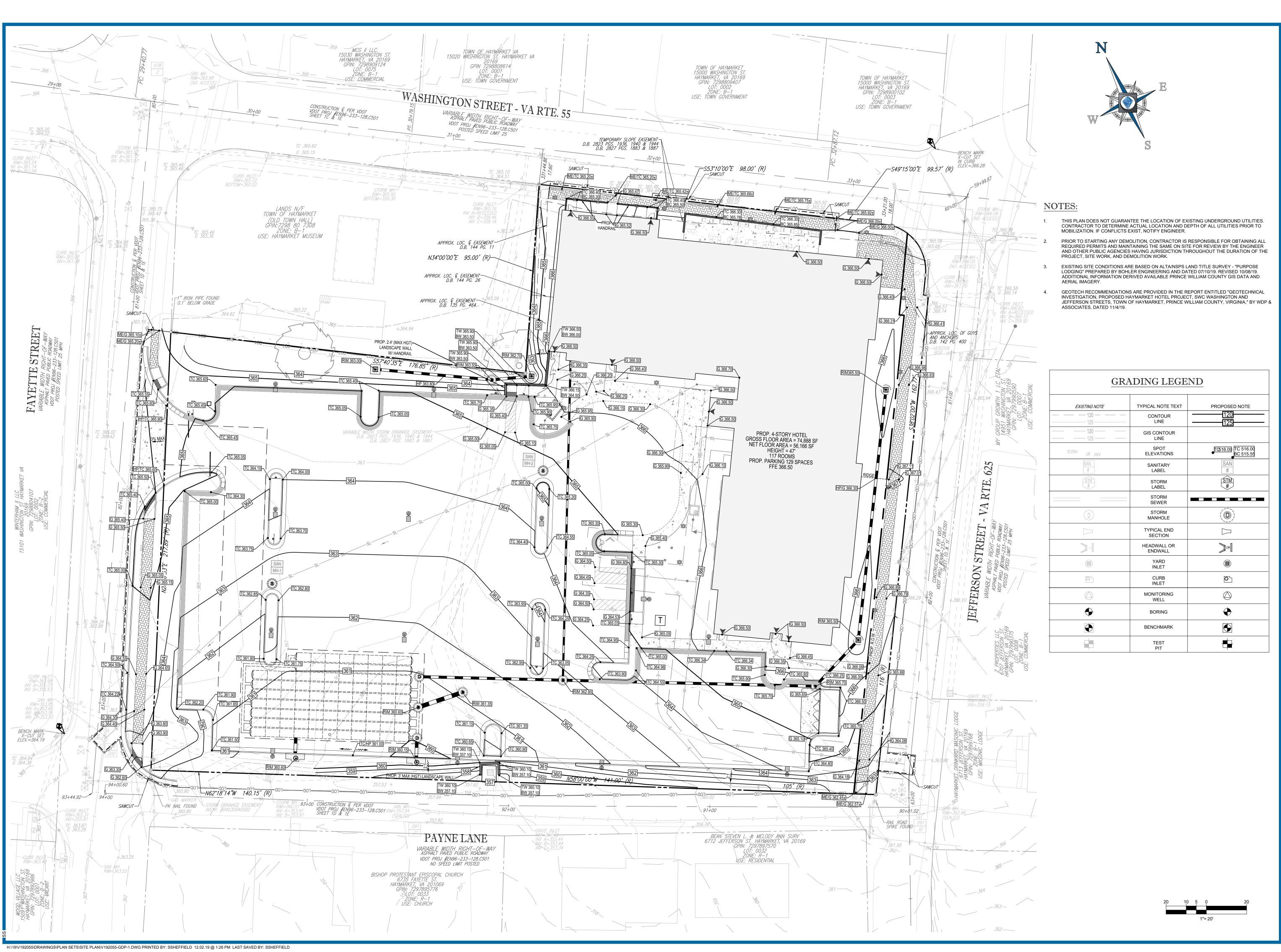
11/27/2019

SHEET TITLE:

SIGHT DISTANCE PROFILES

SHEET NUMBER:

C-303



BOOKER E R I N G

EN G I N E E R I N G

LAND SURVEYING

LAND SURVEYING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

THE INFORMATION DESIGN AND CONTENT TO THIS PLAN ARE PRODRED PLANS SHALL BE UTILIZED FOR ANY PURPOSES

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1	11/27/19	TOWN AND VDOT COMMENTS	MEG JQR								

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CONSTRUCTION

PROJECT No.: V192055
DRAWN BY: MEG
CHECKED BY: JQR
DATE: 11/08/2019
CAD I.D.: GDP - 1

SITE PLAN
DOCUMENTS

HAYMARKET HOTEL
VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA



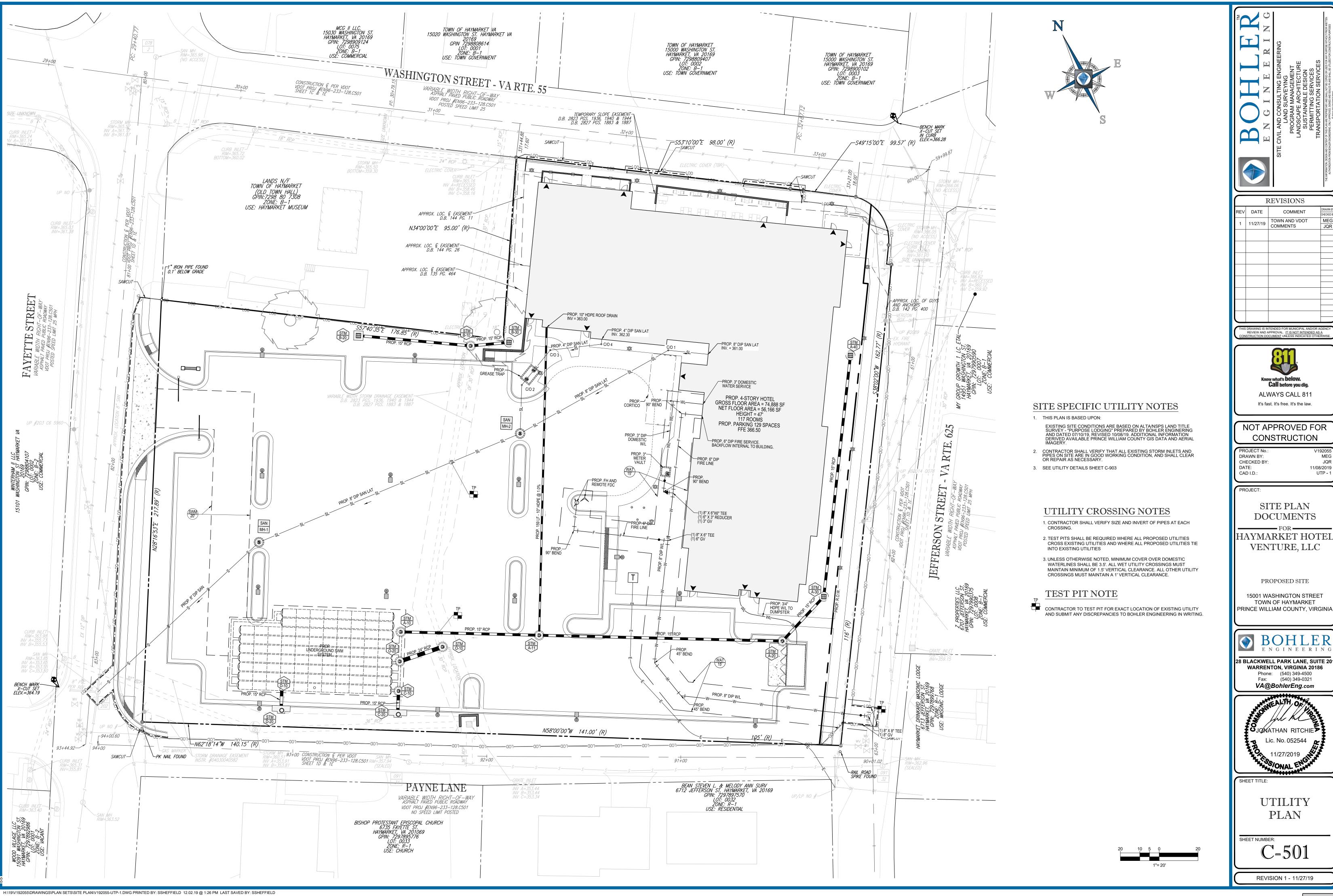
R BLACKWELL PARK LANE, SUITE 20
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com



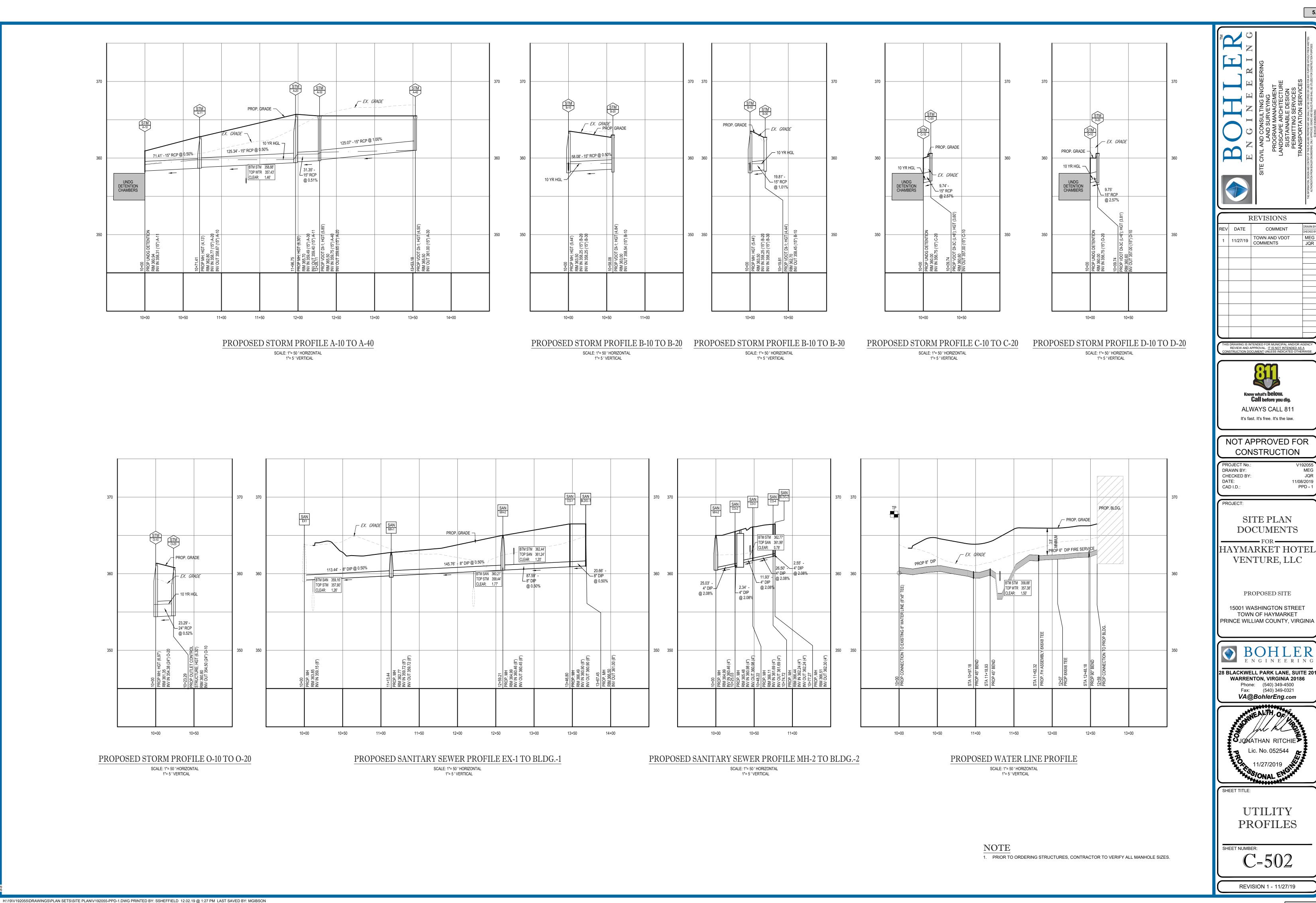
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GRADING PLAN

SHEET NUMBER:



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Packet Pg. 20

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From	То	Drain.	Runoff	C	Α	Inlet	Rainfall		Q		Invert	Elev.	Length	Slope	Dia.	n	Capacity	Velocity	Flow	Time	Q/	V /	Vfull	Remarks
Point	Point	Area	Coeff.	Incr.	Σ	Time	Intensity	Incr.	Known	Σ	Upper	Lower							Incr.	Σ	Qfull	Vfull		
		(acres)	С			(min)	(in/hr)	(cfs)	(cfs)	(cfs)	(ft)	(ft)	(ft)	(%)	(in)		(cfs)	(fps)	(min)	(min)				rev11/08
A-40	A-30	0.04	0.30	0.01	0.01	5.00	6.60	0.07	_	0.07	361.00	359.75	125.07	1.00%	15	0.013	6.48	1.53	1.37	6.37	0.01	0.29	5.28	
A-30	A-20	0.03	0.30	0.01	0.02	6.37	6.23	0.06	_	0.12	359.65	359.49	31.35	0.50%	15	0.013	4.58	1.50	0.35	6.72	0.03	0.40	3.73	
A-20	A-11	_	_	_	0.02	6.72	6.14	_	_	0.12	359.39	358.77	125.34	0.50%	15	0.013	4.58	1.50	1.40	8.12	0.03	0.40	3.73	
A-11	A-10	_	_	_	0.02	8.12	5.76	_	2.35	2.47	358.67	358.31	71.41	0.50%	15	0.013	4.58	3.79	0.31	8.43	0.54	1.02	3.73	
B-30	B-10	0.12	0.35	0.04	0.04	5.00	6.60	0.26	_	0.26	358.45	358.25	19.81	1.00%	15	0.013	6.48	2.38	0.14	5.14	0.04	0.45	5.28	
B-20	B-10	0.39	0.60	0.23	0.23	5.00	6.60	1.52	_	1.52	358.54	358.25	58.08	0.50%	15	0.013	4.58	3.28	0.30	5.30	0.33	0.88	3.73	
C-20	C-10	0.87	0.75	0.65	0.65	5.00	6.60	4.29		4.29	357.00	356.75	9.74	2.57%	15	0.013	10.38	7.98	0.02	5.02	0.41	0.94	8.46	
								2						0.500/										
D-20	D-10	0.40	0.80	0.32	0.32	5.00	6.60	2.11	_	2.11	357.00	356.75	9.75	2.56%	15	0.013	10.37	6.56	0.02	5.02	0.20	0.78	8.45	
0.00	0.40								0.40	0.40	054.50	054.00	22.22	0.500/	0.4	0.040	10.01	5 44	0.00	5.00	0.54	4.00	5 44	
O-20	O-10	_	_	_	_	_	_	_	8.13	8.13	354.50	354.38	23.29	0.50%	24	0.013	16.04	5.11	0.08	5.08	0.51	1.00	5.11	
EV 00	D 40	0.40	0.00	0.40	0.40	F 00	0.00	4.00		4.00	250.40	250.00	00.00	4.500/	20	0.040	F4 00	0.07	0.44	T 44	0.00	0.05	40.50	
EX-20	B-10	0.18	0.90	0.16	0.16	5.00	6.60	1.06	_	1.06	358.16	356.62	96.99	1.59%	30	0.013	51.82	3.67	0.44	5.44	0.02	0.35	10.56	
B-10	0-10	_	_	-	0.43	5.44	6.48	_	_	2.79	356.62	354.11	158.16	1.59%	30	0.013	51.81	5.22	0.50	5.94	0.05	0.50	10.55	
O-10	EX-10	- 0.45	-	- 0.07	0.43	5.94	6.35	4 74	_	10.86	354.11	353.44	42.17	1.59%	30	0.013	51.84	8.20	0.09	6.03	0.21	0.78	10.56	
EX-10	EX-00	0.45	0.60	0.27	0.70	6.03	6.32	1.71	_	12.56	353.34	352.78	35.30	1.59%	36	0.013	84.33	8.55	0.07	6.10	0.15	0.72	11.93	

10 YEAR INLET COMPUTATIONS

	Inlet		DA	С		Q	Qb	Qt	S	Sx	n	T	W	8	Sw						On Grade I	nlets Only							Sag	ınlets O	nly		Remarks
No.	Type	Length	Drain	Runoff	Inten	Incr.	Carry	Accum.	Gutter	Pvmt	Sp	read	Gutter	W Gu	ıtter S	Sw	Ео	а	S'w	Se=Sx	Lt,Comp.	L,Spec	L	E	Qi	Qb	Down	Qi	d	h	d	Ts	1
			Area	Coeff-	-sity	Flow	-over	Flow	Slope	Cross		On	Width	/ Cr	oss	1 ((App.		= a /	+ S'w	Length	-ified	1	Eff.	Int'x	Вур.	Stream	Int'x	Depth		1	Spread	
				icient			Flow		_	Slope	G	rade		T SI	ope :	Sx S	9C-8)		(12W)	(Eo)	(9C-17)	Length	Lt	(9C-18)	Flow	Flow	Str.	Flow	-		h	In Sag	
		(ft)	(acres)		(in/hr)	(cfs)	(cfs)	(cfs)	(%)	(%)		(ft)	(ft)	('	%)		1	(in)	(%)	(%)	(ft)	(ft)			(cfs)	(cfs)		(cfs)	(ft)	(ft)		(ft)	rev11/08
		(ft)	(acres)		(in/hr)	(cfs)	(cfs)	(cfs)	(%)	(%)		(ft)	(ft)	(%)			(in)	(%)	(%)	(ft)	(ft)			(cfs)	(cfs)		(cfs)	(ft)	(ft)		(ft)	rev11/08
C-20	Curb DI-3C	6	0.87	0.75	6.60	4.31	_	4.31		4.00	0.015	_	2.00	8.	.33			3.04							_	_	_	4.31	0.34	0.46	0.73	6.24	In Sag

10 YEAR HGL COMPUTATIONS

											<u> </u>	<u> </u>		O O AVA				1 ~								
Structure No.	Outlet WSE	Do	Qo	Lo	Sfo	Hf		JUNCTION LOSS									Final H	Inlet WSE	Flow Line	Inlet Shaping	Pre-Cast Structure	Junction Loss	Remarks			
1101		(in)			(%)		Vo	Но	Qi	Vi	Qi · Vi	Vi^2/2g	Hi	Angle	K	Hd	Ht	1.3 Ht	0.5 Ht			Elev.	- 1 3		Reduction	rev11/08
A-11	359.31	15	2.47	71.41	0.15%	0.10	3.79	0.06	0.12	1.50	0.18	0.03	0.01	_	-	0.00	0.07		0.03	0.14	359.45	362.80	Yes	Yes	Yes	
A-20	359.77	15	0.12	125.34	0.00%	0.00	1.50	0.01	0.12	1.50	0.18	0.03	0.01	50	0.47	0.02	0.04	-	0.02	0.02	359.78	365.70	Yes	Yes	Yes	
A-30	360.49	15	0.12	31.35	0.00%	0.00	1.50	0.01	0.07	1.53	0.11	0.04	0.01	35	0.33	0.01	0.03	0.04	0.02	0.02	360.51	365.50	Yes	Yes	Yes	
A-40	360.75	15	0.07	125.07	0.00%	0.25	1.53	0.01									0.01	0.01	0.01	0.26	361.01	365.50	Yes	Yes	Yes	
B-20	359.25	15	1.52	58.08	0.06%	0.03	3.28	0.04									0.04	0.05	0.03	0.06	359.31	363.00	Yes	Yes	Yes	
B-30	359.25	15	0.26	19.81	0.00%	0.00	2.38	0.02									0.02	0.03	0.01	0.01	359.26	362.70	Yes	Yes	Yes	
C-20	357.21	15	4.29	9.74	0.44%	0.04	7.98	0.25									0.25	0.32	0.16	0.20	357.41	359.65	Yes	Yes	Yes	
D-20	357.21	15	2.11	9.75	0.11%	0.01	6.56	0.17									0.17	0.22	0.11	0.12	357.33	360.10	Yes	Yes	Yes	
O-20	355.98	24	8.13	23.29	0.13%	0.03	5.11	0.10									0.10	-	0.05	0.08	356.06	360.60	Yes	Yes	Yes	

10 YEAR HEADWATER COMPUTATIONS											
No.	Structure Type	DA Drainage Area	C Runoff Coefficient	I Intensity	Q 10 Yr Flow	Head Water	Rim / Invert Elevation	10 Yr WSE	Remarks 80/11/08		
A-40	Grate Inlet	(ac)	0.30	(in/hr) 6.60	(cfs) 0.08	(ft) 0.16	(ft) Rim 365.50	(ft) 365.66	rev.		
A-40 A-30	Grate Inlet	0.04	0.30	6.60	0.06	0.16	Rim 365.50	365.66			
B-20	Grate DI-1	0.39	0.60	6.60	1.54	0.20	Rim 363.00	363.20			
B-30	Grate DI-1	0.12	0.35	6.60	0.28	0.16	Rim 362.70	362.86			
EX-10	Ex. Grate Inlet	0.45	0.60	6.60	1.78	0.25	Rim 357.09	357.34			

REVISIONS									
REV	DATE	COMMENT	DRAWN B						
1	11/27/19	TOWN AND VDOT COMMENTS	MEG JQR						



CONSTRUCTION

DATE: CAD I.D.:

DOCUMENTS HAYMARKET HOTEL

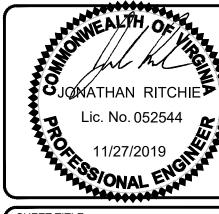
SITE PLAN

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



28 BLACKWELL PARK LANE, SUITE 201 WARRENTON, VIRGINIA 20186 Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com



STORM COMPUTATIONS

C - 503

		1				•					1			7 5 101
Project Plan Name:	Haymarket Hotel	Maximum static water	er pressure in the proposed water	system:	52 psi		(Based on AWWA M	M22 Manual, Second	d Edition)					
Prince William County Plan Number: Engineering Firm:	TBD Bohler Engineering		r pressure in the proposed water s rovided from the hydraulic model with	•	51_psi	Building Identifier:				НОТЕГ		and materials used in the construction of wall appurtenances shall be in conformance was		
_	SW Corner of Washington Street and Jefferson	1										authority (Service Authority) Utility Standar	•	RING WING
Project Location:	Street, Town of Haymarket, VA	Available Fire Flow:			500 gnm	Multi-Dwelling Residential or	Non-Residential		High Den	nand (e.g. Non-Residential)	Departme	ent of Health Regulations.		
_		Lowest Residual Pres	essure during a fire flow scenario:		500 gpm 36 psi	Maximum static water pressu				60 ¬ psi	2 Acceptan	ce of these plans by the Service Authority	will in no way relieve the owner from	G G G G G G G G G G G G G G G G G G G
Pressure Zone: High Hydraulic Grade Line (ft):	Haymarket 535	_ ·	rovided from the hydraulic model with prinkler systems proposed?	h applied maximum day and fire	flow water demands.	(Obtained from hydraulic study c	at the meter location)				complying	g with the methods, policies or requirement	s stated in the Service Authority's USM.	N I ING EYING PES DES
Low Hydraulic Grade Line (ft):	515	The residential life sp.	Third Systems proposed:					Fixture Value	Number of	Subtotal				SULT SULT ARE
Sewer Shed:	North Branch	High Hydraulic Grade	e Line		535 feet	Fixture or Appliance Toilet (tank)		(at 60 psi)	Fixtures	Fixture Value 468		authority has Local Review Authority for we wer mains up to and including 24-inch. U	ater mains up to and including 18-inch and	CON CON SAPE
	TVOITI DIAICH	1 5	or Elevation proposed within the d	development	366.5 feet 73 psi	Toilet (flush valve)		35	7	245	Local Rev	view Authority, including low pressure force	e mains systems, are subject to the review,	N LA AND LA SUST
Local Facility Charge:	Not Applicable	‡Estimated highest sta	atic pressure at the finished floor el	elevation	73 psi	Urinal (wall or stall) Urinal (flush valve)		16	0	70			a Department of Health Office of Drinking sthe Professional Engineer's responsibility	
Master Plan Utility Adjustment Applicable:	No	Low Hydraulic Grade	e Line		515 feet	Bidet		35	0	0	to submit	all necessary applications and plans and to		
		•	or Elevation proposed within the datic pressure at the finished floor ele		366.5 feet 64 psi	Shower (single head) Sink / Faucet (Lavatory)		2.5	93	232.5	permits fr	om the different governing authorities.		o o
_	_		•			Kitchen Sink		2.5 1.5 2.2	2	4.4				
WATER MAIN	GRAVITY SANITARY SEWER MAIN		th an assumed high and low hydraulic oumps in the water system. Actual pres.			Utility Sink		4	1	4		nces, monuments, signs, entrance features, at structures shall not be placed in easemen		
Size: Length: Material: 8-inch 277 DIP	Size: Length: Material: 8-inch 0				ed by the local water authority) at	Dishwasher Bathtub		8	24	192	_	ritten permission from the Service Author	•	REVISIONS
12-inch 0	10-inch 0	the building entrance	for either public or private water s	service shall be 40 psi (276 k	rPa).	Clothes Washer		6	5	30	5.77			REV DATE COMMENT
16-inch 0 18-inch 0	12-inch 0 16-inch 0	International Resid	dential Code P2903.3.1 Maximu	ım pressure. Maximum static	pressure shall be 80 psi (551	Hose Connections (with 50 ft	of hose)				•	actor shall notify the Service Authority Insport more than ten (10) business days, prior	pection Manager at least two (2) business r to the commencement of demolition,	1 11/27/19 TOWN AND VDOT COMMENTS
T - 11 - 1 - 277 F - 1		-	essure exceeds 80 psi (551 kPa),			1/2 in.	,	5	0	0	1	n or blasting in areas with underground wa	ter mains, sanitary sewer mains, and/or	
Total Length 277 Feet	Total LengthFeet	1003 shall be installed	ed on the domestic water branch m	nain or riser at the connection	to the water-service pipe.	5/8 in. 3/4 in.		12	5	60	fòrce mai	ns.		
LOW PRECOURE FOR CE TANK	DUM AD COLUMNON SON COLUMN	Marie III	anginaania wa (11 .	on the affects of the contract	a daliyamı pragazini								ed by the Prince William County Mapping	
LOW PRESSURE FORCE MAIN Size: Length: Material:	PUMP STATION FORCE MAIN Size: Length: Material:	1	engineer is responsible to account for e service line, meter, and other plumbin			Miscellaneous Bedpan washers		10	0		1	ne address listing must be presented to the ssued. Forms are available at the Service	Service Authority at the time the utility Authority. (Fax copies are not acceptable.)	_
Size: Length: Material: 1.5-inch 0		size the private service l	lines when delivery pressures are 45;	psi or less and the service line is	s in excess of 70 feet.	Drinking fountains		2	1	2				·- - - - - - - - -
2-inch 0 2.5-inch 0	6-inch 0 8-inch 0					Dental units		2		0	7 Low pres	sure sewer force main systems are subject	to the review and requirements of the	
3-inch 0	12-inch 0		_		licable plumbing code for pressure	•				1501.0	1	Department of Environmental Quality.	•	
Total Length 0 Feet	Total Length 0 Feet	without a v	water booster pump or pressure re	reducing device.		Combined Fixture Value Demand (gpm) from AWWA	Curve			1501.9 gpm	8 The deve	loper is responsible for all costs associated	with damages to or relocation of water	THIS DRAWING IS INTENDED FOR WAITINGS.
			f private water booster pumps and		es are required for the following	Pressure Adjustment Factor				1	mains, sai	nitary sewer mains, force mains or service	_	THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR A REVIEW AND APPROVAL. IT IS NOT INTENDED AS CONSTRUCTION DOCUMENT UNLESS INDICATED OTHER
Total Number of 4-inch or 6-inch proposed valves:	0 Each	lots to com	mply with applicable plumbing code	te for pressure.		Adjusted demand (gpm) Irrigation Demand (gpm) that	will occur simultaneously wit	th normal water use		138 gpm gpm	project.			
Total Number of 8-inch or 12-inch proposed valves:	1 Each	Lot# or Building ID	Elev. @ High Low E Finished Hydraulic Hydraulic H	Estimated Estimated Private High Pres. Low Pres. Water	Pres. Red. Device	Water demand for equipment	•			30 gpm 168 gpm			er mains, sanitary sewer mains and/or force	811.
Total Number of 16-inch or 24-inch proposed valves:	— 0 Each		Floor Grade Line Grade Line (ft) (ft)			Total estimated peak flow				168gpm		h the Service Authority's Field Inspector. e executed without the prior approval of th	Water or sanitary sewer system shutdowns e Service Authority Field Inspector. The	
Total Number of Proposed Manholes:	0 Each	HOTEL	366.5 535 515	73 64 -	-	Required AWWA Meter Size	2		3-Inch	Compund Meter	Field Insp	pector shall require the contractor to submi	t a relocation work plan for Service	Know what's below. Call before you dig.
Total Number of Proposed Fire Hydrants: Total Number of Proposed Residential Meter Crocks to be Insta	alled: 1 Each 0 Each		535 515		<u>l - </u>						1	acceptance prior to the commencement of the work will be done and the manpower	•	ALWAYS CALL 811
Total Number of 5/8"x 3/4" Residential Meters to be Certified		<u> </u>										perform the work.	, inderidas, did equipment that will be de	It's fast. It's free. It's the law.
		<u> </u>				<u> </u>					10 The Servi	ice Authority does not guarantee the availa	bility or construction of utilities that are	NOT APPROVED FO
											proposed	by another entity even if those utilities are	shown as existing in this plan set. If	NOT APPROVED FO
Pipe Quantity Total Pro Quantities P			MULTI-DWF	ELLING METE	R SCHEDULE							cilities shown as existing are not available o ility to acquiring the necessary rights and p		PROJECT No.: V1
Summary By This	s Plan by Plan #		<u> </u>			¹ Peak				⁴ Non-Binding	•	ary sewer utilities to provide the desired ser		DRAWN BY: CHECKED BY:
WATER MAIN INSPECTION	277	Building Identifier	Building Address	Meter Use	Account Type Dwelling	Demand ENC	leter Size Meter Type	(Reserved for Future Use)	(Reserved for F Use)	uture Estimated Availability Fee	11 Existing u	nused water service lines shall be exposed	at the connection point on the	DATE: 11/0 CAD I.D.: C
WATER MAIN AS-BUILT	277	Dunuing fue itime i	Address	Metal Osc	Account Type Dwening	#N/A	Wieter Type	Tuture esc)	(SC)	Availability Tee	water ma	in and shall be cut and terminated (e.g. crir	*	
SANITARY SEWER / FORCE MAIN INSP.						#N/A #N/A			/		Authority	Field Inspector.		PROJECT:
SANITARY SEWER/FORCE MAIN AS-BUILT	0					#N/A					12 Existing u	nused laterals or sanitary service lines shall	be cut and capped at the	SITE PLAN
TV SANITARY SEWER MAIN INPECTION						#N/A #N/A		<u> </u>			<u> </u>	n point to the sanitary sewer main or force Field Inspector.	main as directed by the Service	DOCUMENTS
						#N/A					Addionly	rield hispector.		HAYMARKET HOT
Minimum water main inspection fee applies for water quantities less than	100 feet: No					#N/A #N/A			<u> </u>		13 When an	existing water service line, lateral, of sanitanew development, the Service Authority shapes	ry service line will be reused as	VENTURE, LLC
Minimum sanitary sewer / force main inspection fee applies for quantities	less than 100 linear feet:	NOTES: 1.	A fixture unit list and meter sizing calcula	tions shall be provided in the plan se	 nt for each proposed meter in accordance with	77.77.1				1	•	ure that it is acceptable and meets current		
Minimum as-built fee applies when total as-built cost are less than \$1000.0	00: No	1		· ·	f dwelling units associated with the meter and	l is rounded up to the next full unit. I fined in Table VI: Availability Fees of the Customer	r Handhaak				1 *	ions. Any defects or out-of-date materials action of the Service Authority to ensure the	1	
Minimum as-outil fee applies when total as-outil cost are less than \$1000.0		ì	•	·	,	sewer and/or water inspection, application and Lo		ner Handbook for addition	nal information.		1	e existing service line is placed back in serv	<u>C</u>	PROPOSED SITE
Notes:														15001 WASHINGTON STREE
			<u>NON-R</u>	ESIDENTIAL N	METER SCHEDUL	<u>E</u>								TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIR
			Building			x Month ² Peak nption Demand ³ ERU M	leter	(Pasaryad for	(Reserved for F	⁴ Non-Binding Leture Estimated	WAT	ER AND SEWE	R INFORMATION	
		Building Identifier	Address	Meter Use	Account Type Consur (Gall	ons) (GPM) Purchase S	Size Meter Type	Future Use)	Use)	Availability Fee	V V A JA JA J	TO BE UPDA		
		HOTEL	TBD	Commercial	Water & Sewer	365,000 173 (INPUT) 3-	-Inch Compound			#VALUE!			WATER MODEL	BOHLE
														28 BLACKWELL PARK LANE, SUI
The profile shall call out the station restraint is to start and the station reducer, and dead end.	ion restraint is end for each fitting,													WARRENTON, VIRGINIA 2018 Phone: (540) 349-4500
														Fax: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com
Pipe Material:								 					Engineer's Seal & Signature	TAMBONIE Eng.com
Soil Type:		Norma												WIE ALTH ON L
Safety Factor: (1.5 to 1 is typical)	•	l l		•	e reported. The purchased number of ERU's ter consumption does not need to be reported	shall be based on the estimated maximum month c !	consumption, but shall not be less the	an the allocated number o	of ERUs					I ME
		2 .	A fixture unit list and meter sizing calculati	tions shall be provided in the plan se	t for each proposed meter in accordance with	n the current AWWA M22 standard.								SJONATHAN RITCHIE
Trench Type: (Type 4 is typical for the Service Authorit	ty backfill requirements)		•		<u>.</u>	ble VI: Availability Fees of the Customer Handboo sewer and/or water inspection, application and Lo		ner Handbook for addition	nal information.					Lic. No. 052544
Test Pressure: (100 psi plus them max static pressure, k	but no less than 200 psi)psi			<u></u>				,						11/27/2019
				DATA CENTE	R METER SCHED	ULE						5\a.	n af •a	ONAL EN A
The undersigned Engineer and /or firm, on behalf of itself and its successor		1			¹ Est. Ma	x Month ² Peak				⁴ Non-Binding		Servi	ce Authority	SHEET TITLE:
liability and responsibility for the accuracy of the calculations, selections in this information sheet and agrees to hold harmless the Service Authorit	•	Building Identifier	Building Address	Meter Use	Account Type Consur	1 22.0	leter Size Meter Type	Meter Manufacturer	Flow Rate (g) Minimum M:	pm) Estimated aximum Availability Fee		Prince	William County "	PWCSA WATE
		Danuing rucituitet	AMMICOS	MICHI OSC	GP (GP	(GIVI) Iuitiase S	witter Type		171	Availability PCC		Water & Conitons	Sewer Information Sheet	AND SANITAI
The undersigned Engineer and/or firm agrees that the Prince William Cour the right to use these plans and electronic files for the preparation of as-b			; 					+				- -		SEWER
Engineer and/or firm further agrees that the right to use the plans and elec	,											Sneet effective	as of September 1, 2019	_ INFORMATIO
without cost to the Service Authority.														SHEET NUMBER:
Signature:		INOTES.	·			mum month consumption, but shall not be less that	n the allocated number of ERUs ass	cociated with the meter size	e.					C-505
		1			nt for each proposed meter in accordance with Allocation with the meter size as defined in Ta	n the current AWWA M22 standard. ble VI: Availability Fees of the Customer Handboo	sk.					SH	EET 1 OF 1	
(Type or Print	nt)		•	· ·	v	sewer and/or water inspection, application and Lo		ner Handbook for addition	nal information.					REVISION 1 - 11/27/19

H:\19\V192055\DRAWINGS\PLAN SETS\SITE PLAN\V192055-OCD-1.DWG PRINTED BY: SSHEFFIELD 12.02.19 @ 1:27 PM LAST SAVED BY: MGIBSON

Packet Pg. 23

REVISIONS

IS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGE REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A</u> INSTRUCTION DOCUMENT UNLESS INDICATED OTHERV

Know what's **below. Call** before you dig.

ALWAYS CALL 811 It's fast. It's free. It's the law.

NOT APPROVED FOR

CONSTRUCTION

SITE PLAN

DOCUMENTS

HAYMARKET HOTEI

VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET

PRINCE WILLIAM COUNTY, VIRGINIA

28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321

VA@BohlerEng.com

DRAWN BY:

CAD I.D.:

11/27/19 | COMMENTS

COMMENT

VIRGINIA UNIFORM CODING SYSTEM

3.01	SAFETY FENCE	\$AF	SAF
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	(CE)	(CE)
3.05	SILT FENCE	SF -	_xx
3.07	STORM DRAIN INLET PROTECTION		
3.09	TEMPORARY DIVERSION DIKE		
3.31	TEMPORARY SEEDING	TS	TS
3.38	TREE PRESERVATION AND PROTECTION	(TP)	TP TP
3.39	DUST CONTROL	(DC)	

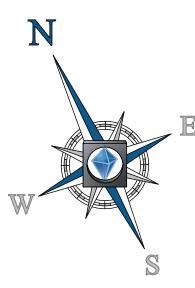
SEQUENCE OF CONSTRUCTION - PHASE I:

- HAVING A PRE-CONSTRUCTION MEETING.
- 3. AREAS WHICH ARE TO BE DISTURBED SHALL BE CLEARLY MARKED IN THE FIELD.
- 5. INSTALL TEMPORARY CONSTRUCTION ENTRANCE. ALL HARD SURFACE ROADS SHALL BE CLEANED AT THE
- 6. INSTALL TEMPORARY SEDIMENT TRAP DIVERSION DIKES AND ASSOCIATED GRADING PER PLAN.
- 7. BEGIN DEMOLISHING EXISTING BUILDING.
- STREET, PAYNE LANE, AND JEFFERSON STREET TO BE KEPT OPERATIONAL.
- APPROVED FACILITY. CONTRACTOR TO OBTAIN A PERMIT IF REQUIRED.

			•			
					•	
			SOILS	\overline{DATA}		
CVMDOI	COIL NAME	CI ODEC	SOIL	HYDROLOGIC	CHESA	PEAKE BAY
SYMBOL	SOIL NAME	SLOPES	CATEGORY	SOILS GROUP	HIGHLY ERODIBLE	HIGHLY PERMEABLE
4B	ARCOLA SILT LOAM	2 - 7%	II	С	NO	NO
25D	MANDA E II S SASSAIAAM	2 7%		О	NO	VEC

XxX SOILS TYPE PER PWC GIS

			SOILS	$\overline{\mathrm{DATA}}$		
CVMDOL	COIL NAME	CI ODEC	SOIL	HYDROLOGIC	CHESAP	EAKE BAY
SYMBOL	SOIL NAME	SLOPES	CATEGORY	SOILS GROUP	HIGHLY ERODIBLE	HIGHLY PERMEABLE
4B	ARCOLA SILT LOAM	2 - 7%	11	С	NO	NO
35B	MANASSAS SILT LOAM	2 - 7%	II	В	NO	YES



FOR EROSION AND SEDIMENT CONTROL PRACTICES

3.01	SAFETY FENCE	\$AF	\$AF
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	Œ	CE S
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	(P)	
3.09	TEMPORARY DIVERSION DIKE	(DD)	
3.31	TEMPORARY SEEDING	TS	TS
3.38	TREE PRESERVATION AND PROTECTION	TP	TP TP
3.39	DUST CONTROL	(DC)	DC



- CONTRACTOR SHALL NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO POSTING AN EROSION AND SEDIMENT CONTROL BOND, OBTAINING A LAND DISTURBING PERMIT, NOTIFYING SITE INSPECTOR, AND
- 2. THE CONTRACTOR SHALL CONTACT THE TOWN OF HAYMARKET AT LEAST 48 HOURS PRIOR TO COMMENCING
- 4. INSTALL PERIMETER PROTECTION INCLUDING SILT FENCE, SAFETY FENCE, TREE PROTECTION AND INLET
- 8. BEGIN DEMOLISHING EXISTING CURB AND GUTTER, PAVEMENT, UTILITIES (AS IDENTIFIED IN THE DEMOLITION PLAN) AND ROUGH GRADING THE SITE. EXISTING CURB INLETS ALONG FAYETTE STREET, WASHINGTON
- 9. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AND REPAIRED AT THE END OF EACH
- 10. CONTRACTOR TO REMOVE EXCESS MATERIAL FROM GRADING/EXCAVATION AND DISPOSE OFFSITE AT AN

GENERAL NOTES:

- 1. THE TOWN OF HAYMARKET INSPECTOR SHALL APPROVE THE PHASE I CONTROLS AFTER INSTALLATION AND PRIOR TO PHASE II COMMENCING. THE INSPECTOR HAS THE RIGHT TO ADD / REMOVE CONTROLS AS DEEMED
- 2. ALL BORROW/HAUL SHALL BE FROM AN APPROVED AND PERMITTED LOCATION.
- 3. PROPOSED SEDIMENT TRAPS SHALL BE BACKFILLED WITH SUITABLE MATERIAL PER G.E.R. PRIOR TO FINAL

SOILS LEGEND

WC GIS	*
ΑY	
HIGHLY RMEABLE	3
NO	l
YES	OUEE
	SHEET

EROSION AND CONTROL PLAN PHASE I

REVISION 1 - 11/27/19

FAYETTE STREET

WASHINGTON STREET - VA RTE. 55

AREA: 2.05 AC

PAYNE LANE

SEDIMENT TRAP DESIGN

LxWxD LxWxD "Wet"

* WET DIMENSIONS: LENGTH AND WIDTH ARE AT BASE OF STONE OUTLET. DEPTH IS MEASURED FROM BASE OF STONE OUTLET DOWN TO BOTTOM OF TRAP. ** DRY DIMENSIONS:LENGTH AND WIDTH ARE AT CREST OF STONE OUTLET. DEPTH IS MEASURED FROM BASE OF STONE OUTLET UP TO CREST OF STONE OUTLET.

75 x 41 x 3.0 87 x 53 x 2.0 358.00 360.00 355.00 356.50

Storage Trap Clean Elev.
et" "Dry" Bottom Out***

TO BE SO BE

*** THE CLEAN OUT ELEVATION SHALL BE MARKED USING STAKE OR SPRAY PAINT ON THE RISER

NOTES

GPIN: 7297 89 9391 ZONED: B-1 USE: COMMERCIAL

VIRGINIA UNIFORM CODING SYSTEM

	FOR EROSION AND SEDIMENT CON	TROL PRACTIC	ES
3.01	SAFETY FENCE	\$AF	\$AF
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	CE S
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION		
3.32	PERMANENT SEEDING	PS	PS
3.35	MULCHING	MU	MU
3.36	SOIL STABILIZATION BLANKETS AND MATTING	BM	BM
3.38	TREE PRESERVATION AND PROTECTION	TP	TP TP
3.39	DUST CONTROL	DC	DC

SEQUENCE OF CONSTRUCTION - PHASE II:

- 1. BEGIN GRADING THE SITE, PREPARING SUBGRADES, ANN MAKING ANY NECESSARY SOIL
- 2. BEGIN CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- 3. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION AND IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES, THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR MORE THAN 7 DAYS.
- 4. THROUGHOUT CONSTRUCTION, PERMANENTLY STABILIZE AREAS TO BE VEGETATED IMMEDIATELY AS THEY ARE BROUGHT TO FINAL GRADE.
- 5. INSTALL UTILITIES AND APPURTENANCES. CONTRACTOR SHALL COORDINATE INSTLALLATION WITH RESPECTIVE UTILITY COMPANIES.
- 6. INSTALL STORM SEWERS AND CURB, THEN APPLY THE BASE STONE FOR PAVED AREAS.
- STABILIZATION TO ALL LANDSCAPE AREAS.
- OFFSITE AT AN APPROVED FACILITY. CONTRACTOR TO OBTAIN PERMIT IF REQUIRED.
- STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN: A. WITHIN 30 DAYS, REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL
- B. REMOVE ALL TEMPORARY CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, AND DEBRIS FROM THE SITE.

GENERAL NOTES:

- 1. THE TOWN OF HAYMARKET INSPECTOR SHALL APPROVE THE PHASE II CONTROLS. THE INSPECTOR HAS THE RIGHT TO ADD / REMOVE CONTROLS AS DEEMED NECESSARY.
- 2. PROPOSED SEDIMENT TRAPS SHALL BE BACKFILLED WITH SUITABLE MATERIAL PER G.E.R. PRIOR TO FINAL GRADING.



_			
	I	REVISIONS	
REV	DATE	COMMENT	DRAWN BY CHECKED BY
1	11/27/19	TOWN AND VDOT COMMENTS	MEG JQR
	REVIEW AND A	ITENDED FOR MUNICIPAL AND/OI PPROVAL. IT IS NOT INTENDED ICUMENT UNLESS INDICATED OT	AS A

Know what's **below. Call** before you dig. **ALWAYS CALL 811** It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

DRAWN BY:

SITE PLAN DOCUMENTS

HAYMARKET HOTEI VENTURE, LLC

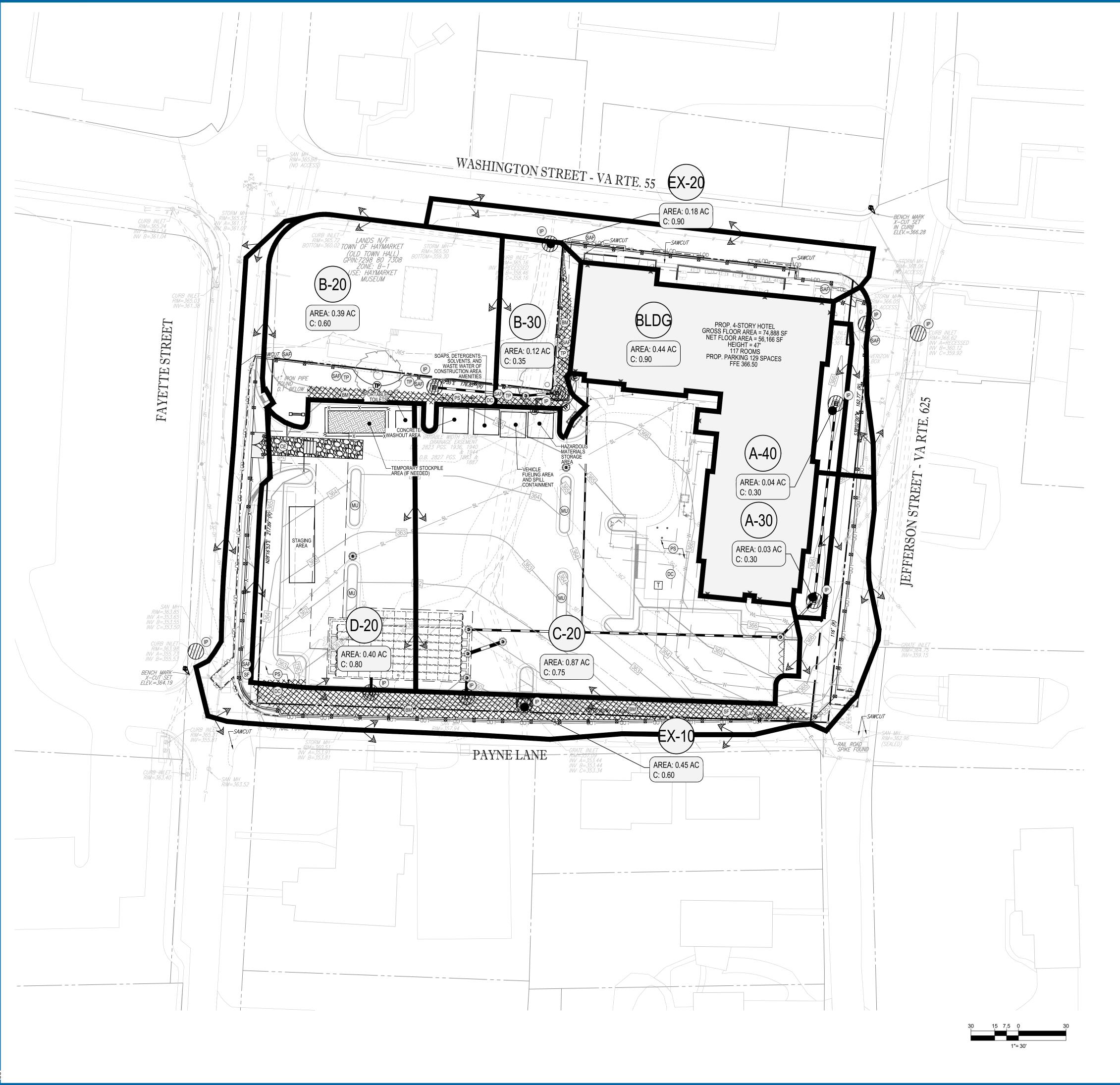
PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com



EROSION AND SEDIMENT CONTROL PLAN PHASE II



THE SUBJECT SITE IS AT THE INTERSECTION OF WASHINGTON STREET AND JEFFERSON STREET. THE PROPOSED DEVELOPMENT INVOLVES THE CONSTRUCTION OF A NEW HOTEL AND ASSOCIATED INFRASTRUCTURE. THE DEVELOPMENT INCLUDES THE CONSTRUCTION OF A PROPOSED BUILDING (APPROXIMATELY 74,888 SF), CURB, LANDSCAPE ISLANDS, UTILITIES, LANDSCAPING, AND ASSOCIATED SITE IMPROVEMENTS AS SHOWN IN THIS SITE PLAN SET. THE AREA OF DISTURBANCE FOR THIS PROJECT IS APPROXIMATELY 2.25 ACRES.

II. EXISTING SITE CONDITIONS:

THE SITE IS CURRENTLY AN OPEN LOT WITH A VACANT HOUSE IN THE SOUTHEAST CORNER WITH MATURE TREES IN THE CENTER. RUNOFF DRAINS TOWARDS THE SOUTH OF THE SITE TO AN EXISTING DRAINAGE STRUCTURE.

III ADJACENT PROPERTIES:

THE SITE IS BORDERED ON THE NORTH BY WASHINGTON STREET, ON THE SOUTH BY PAYNE LANE, ON THE EAST BY JEFFERSON STREET, AND ON THE WEST BY FAYETTE STREET AND THE HAYMARKET MUSEUM. MINIMAL OFFSITE IMPACTS TO ADJACENT PROPERTIES ARE ANTICIPATED.

IV. OFFSITE AREAS:

MINIMAL OFF-SITE LAND DISTURBANCE IS ANTICIPATED. IF UNSUITABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE PROPER METHOD OF DISPOSAL AND SUBMIT ANY NECESSARY PLANS TO THE TOWN OF HAYMARKET. FURTHERMORE, IF ANY OFFSITE BORROW OR WASTE AREAS ARE NECESSARY, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL STABILIZATION AND MAINTENANCE OF THOSE OFFSITE AREAS. NO ON-SITE STOCKPILE IS ANTICIPATED TO BE REQUIRED FOR CONSTRUCTION.

V. SOILS:

NO PROBLEM SOILS ARE KNOWN TO EXIST ON THIS SITE.

VI. CRITICAL EROSION AREAS:

NO CRITICAL EROSION AREAS ARE KNOWN TO EXIST ON-SITE.

VII. EROSION AND SEDIMENT CONTROL MEASURES:

ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PROTECTION SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH). THE MINIMUM STANDARDS OF VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE. SPECIFIC EROSION AND SEDIMENT CONTROL MEASURES UTILIZED IN THIS PROJECT INCLUDE THE FOLLOWING

1. SAFETY FENCE - 3.01 SAFETY FENCE WILL BE INSTALLED AROUND THE PERIMETER OF THE SITE TO PREVENT UNDESIRABLE ACCESS TO THE SITE BY THE PUBLIC

2 TEMPORARY CONSTRUCTION ENTRANCE - 3.02

A TEMPORARY CONSTRUCTION ENTRANCE WITH A WASH RACK SHALL BE INSTALLED AS INDICATED ON THE EROSION AND SEDIMENT CONTROL PLANS. DURING MUDDY CONDITIONS, DRIVERS OF CONSTRUCTION VEHICLES WILL BE REQUIRED TO WASH THEIR WHEELS PRIOR TO ENTERING THE RIGHT-OF-WAY.

3. SILT FENCE / SUPER SILT FENCE- 3.05

SILT FENCE SEDIMENT BARRIERS WILL BE INSTALLED DOWN SLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW.

4. STORM DRAIN INLET PROTECTION - 3.07

ALL STORM SEWER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT-LADEN WATER SHALL BE FILTERED PRIOR TO ENTERING THE STORM SEWER INLETS AND BMP STRUCTURE.

5. TEMPORARY DIVERSION DIKE - 3.09

A TEMPORARY DIVERSION DIKE SHALL BE CONSTRUCTED TO DIVERT STORM RUNOFF FROM UPSLOPE DRAINAGE AREAS AWAY FROM UNPROTECTED AREAS TOWARD THE TEMPORARY SEDIMENT TRAP

MAJORITY OF THE SEDIMENT TO SETTLE OUT.

A TEMPORARY SEDIMENT TRAP SHALL BE CONSTRUCTED PRIOR TO MAJOR LAND DISTURBANCE TO DETAIN SEDIMENT-LADEN RUNOFF LONG ENOUGH TO ALLOW THE

7. TEMPORARY SEEDING - 3.31 SEE NEXT SHEET FOR TEMPORARY SEEDING SPECIFICATIONS.

8. PERMANENT SEEDING - 3.32 SEE NEXT SHEET FOR PERMANENT SEEDING SPECIFICATIONS

9. BLANKET MATTING - 3.36 THE INSTALLATION OF A PROTECTIVE COVERING (BLANKET) OR A SOIL STABILIZATION MAT ON A PREPARED PLANTING AREA OF A STEEP SLOPE, CHANNEL, OR SHORELINE

10.TREE PROTECTION - 3.38 TREE PROTECTION WILL BE INSTALLED AROUND ALL DESIRABLE TREES IN ORDER TO PROTECT AGAINST MECHANICAL AND OTHER INJURY DURING CONSTRUCTION

DUST CONTROL MEASURES TO BE IMPLEMENTED IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY TO OCCUR IF PREVENTATIVE MEASURE ARE NOT TAKE

VIII. MAINTENANCE PROGRAM

1. SILT FENCE SHALL BE INSPECTED AT THE END OF EACH DAY AND AFTER EACH RAINFALL. ANY REQUIRED REPAIRS OR REPLACEMENTS SHALL BE DONE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED BY HAND AFTER EACH RAINFALL AND AT ANY TIME DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER.

2. INLET PROTECTIONS SHALL BE INSPECTED AT THE END OF EACH DAY AND AFTER EACH RAINFALL. ANY REQUIRED REPAIRS SHALL BE DONE IMMEDIATELY.

3. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.

4. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR MORE THAN SEVEN (7) DAYS

5. NO UNPROTECTED. UNDISTURBED AREA SHALL DRAIN TO ROADWAY PAVEMENTS SUCH THAT THE SUBBASE. BASE OR WEARING SURFACES ARE CONTAMINATED BY SILT TRAPPED AT LOW POINTS OR INLETS.

6. ADJACENT ROADWAYS AND ENTRANCES WILL BE KEPT CLEAN FROM ACCUMULATED DEBRIS AT ALL TIMES.

PERMANENT STABILIZATION:

TEMPORARY AND FINAL SEEDING WILL BE PROVIDED IN ACCORDANCE TO VESCH REQUIREMENTS THROUGHOUT CONSTRUCTION AS STATED ABOVE

X. STORMWATER RUNOFF CONSIDERATIONS: SEE SHEET C-802 FOR SWM NARRATIVE.

XI. CALCULATIONS:

1. A SEDIMENT TRAP SIZING COMPUTATION TABLE IS PROVIDED ON THE EROSION AND SEDIMENT CONTROL PLAN PHASE 1.

XII. GENERAL LAND CONSERVATION NOTES:

SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER GRADING.

1. NO DISTURBED AREA, WHICH IS NOT ACTIVELY BEING WORKED, SHALL REMAIN DENUDED FOR MORE THAN SEVEN (7) CALENDAR DAYS UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR.

2. ALL E&S CONTROL MEASURES APPROVED WITH THE PHASE I E&S CONTROL PLAN SHALL BE PLACED AS THE FIRST STEP IN GRADING

3. ALL STORM AND SANITARY SEWER LINES NOT IN STREETS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER BACKFILL. NO MORE THAN 500 FEET SHALL

BE OPEN AT ANY ONE TIME. 4. ELECTRIC, POWER, TELEPHONE AND GAS SUPPLY TRENCHES SHALL BE COMPACTED, SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER BACKFILL.

5. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS SHALL BE SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY (AS SOON AS POSSIBLE, BUT NO LATER THAN 48 HOURS) AFTER COMPLETION OF GRADING. STRAW OR HAY MULCH IS REQUIRED. ALL SOIL STOCKPILES SHALL BE

6. DURING CONSTRUCTION, ALL STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION MAINTAINED AND MODIFIED DURING CONSTRUCTION PROGRESS AS REQUIRED.

7. ANY DISTURBED AREA NOT COVERED BY NOTE #1 ABOVE AND NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1 OR DISTURBED AFTER THAT DATE SHALL BE MULCHED IMMEDIATELY WITH STRAY OR HAY MULCH AT THE RATE OF TWO (2) TONS PER ACRE (4,483 KG/HA) AND OVERSEEDED BY APRIL 15.

8. AT THE COMPLETION OF ANY PROJECT CONSTRUCTION AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROL SHALL BE REMOVED AND ALL DENUDED

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A STORMWATER POLLUTION PREVENTION PLAN PER FEDERAL, STATE AND LOCAL REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE CLIENT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING THE APPLICABLE NOTICE OF INTENT TO INITIATE LAND DISTURBING ACTIVITIES WITH THE APPROPRIATE

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING THE APPLICABLE NOTICE OF TERMINATION OF LAND DISTURBING ACTIVITIES WITH THE APPROPRIATE

REVIEWING AGENCY. XIII. OTHER IMPORTANT NOTES:

AREAS SHALL BE STABILIZED

1. ALL AREAS TO BE PAVED MAY BE STABILIZED BY INSTALLATION OF BASE AND SUBBASE MATERIALS INSTEAD OF TEMPORARY VEGETATION COVER.

2. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAR THE STREETS AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN AND DUST-FREE CONDITION AT ALL TIMES.

3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM THE WORK IN SUCH A MANNER AS TO PREVENT THE WASHING OF ANY TOPSOIL OR DEBRIS INTO ADJACENT PROPERTIES.

4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE AND MAINTAIN A WATER TRUCK ON SITE AT ALL TIMES FOR THE PURPOSE OF WASHING CONSTRUCTION VEHICLES AT THE STONE CONSTRUCTION ENTRANCE PRIOR TO THEIR ENTERING THE RIGHT-OF-WAY. SEDIMENT LADEN RUNOFF SHALL BE DIRECTED AWAY FROM THE RIGHT-OF-WAY AND TOWARDS AN EROSION AND SEDIMENT CONTROL DEVICE PRIOR TO DISCHARGE INTO THE PUBLIC STORM SYSTEM.

5. BORROW OR HAUL (IF REQUIRED) SHALL BE FROM AN APPROVED OFFSITE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL RELATED PERMITS.

6. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION, GROUNDWATER AND SOIL SHALL BE DISPOSED OF IN A MANNER WHICH DOES NOT SPILL ONTO EXISTING PAVEMENT AND CLOG EXISTING INLETS.

7. SOIL STOCKPILE IS NOT ANTICIPATED FOR THIS PROJECT. EXCESS SOIL WILL BE HAULED FROM THE SITE

MINIMUM STANDARDS

MS-1: PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1)

ACTION: SEE EROSION AND SEDIMENT CONTROL NARRATIVE, SECTION IX. PERMANENT

MS-2: DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE

ACTION: THE APPROXIMATE STOCKPILE LOCATION DELINEATED ON THE EROSION AND SEDIMENT

CONTROL PHASE I SHEET ADEQUATELY DRAINS TO THE TEMPORARY SEDIMENT TRAP MS-3: A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.

ACTION: SEE EROSION AND SEDIMENT CONTROL NARRATIVE, SECTION IX. PERMANENT

MS-4: SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.

ACTION: SEE SEQUENCE OF CONSTRUCTION - PHASE I. MS-5: STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND

ACTION: SEE SEQUENCE OF CONSTRUCTION - PHASE I

DIVERSIONS IMMEDIATELY AFTER INSTALLATION

IS CORRECTED.

MS-6: SEDIMENT TRAPS AND SEDIMENT BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN

a. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES.

b. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A TWENTY-FIVE YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION

ACTION: SEE SEQUENCE OF CONSTRUCTION - PHASE I AND SIZING COMPUTATION ON EROSION AND SEDIMENT CONTROL PHASE I.

MS-7: CUT AND FILL SLOPES SHALL BE ASSIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM

OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.

ACTION: ALL CUT/FILL SLOPES HAVE BEEN DESIGNED WITH MAXIMUM 2:1 GRADES.

MS-8: CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL. FLUME OR SLOPE DRAIN STRUCTURE

ACTION: CONCENTRATED RUNOFF WILL BE CONTAINED WITH AN ADEQUATE TEMPORARY OF

MS-9: WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION

ACTION: ADEQUATE DRAINAGE AND PROTECTION WILL BE PROVIDED.

MS-10: ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT

ACTION: ALL STORM SEWER INLETS WILL BE PROTECTED DURING CONSTRUCTION.

MS-11: BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL ADEQUATE OUTLIET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL. ACTION: NOT APPLICABLE

MS-12: WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST

EXTENT POSSIBLE DURING CONSTRUCTION. NON-ERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NON-FRODIBLE COVER MATERIALS

ACTION: NOT APPLICABLE

ACTION: NOT APPLICABLE.

MS-13: WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX (6) MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NON-ERODIBLE MATERIALS SHALL BE PROVIDED ACTION: NOT APPLICABLE

MS-14: ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET

ACTION: NOT APPLICABLE. MS-15: THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE

WATERCOURSE IS COMPLETED

MS-16: UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

a. NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPENED AT ONE TIME.

b. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

c. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFFSITE PROPERTY.

d. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.

e. RE-STABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.

f. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.

ACTION: INSTALLATION OF UNDERGROUND UTILITY LINES SHALL COMPLY WITH MS-16.

MS-17: WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING

ACTION: A CONSTRUCTION ENTRANCE WITH WASHRACK HAS BEEN PROVIDED.

MS-18: ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.

ACTION: SEE SEQUENCE OF CONSTRUCTION - PHASE II.

MINIMUM STANDARDS (CONT'D)

MS-19: PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA:

a. CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE NATURAL OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM. FOR THOSE SITES WHERE RUNOFF IS DISCHARGED INTO A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE

b. ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER:

(1) THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN THE CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION; OR

(a) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF A TWO (2) YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS: AND

(b) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF A TEN (10) YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS BY THE USE OF A TWO (2) YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE **EROSION OF CHANNEL BED OR BANKS: AND**

(c) PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN (10) YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE OR SYSTEM.

c. IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL:

(1) IMPROVE THE CHANNEL TO A CONDITION WHERE A TEN (10) YEAR STORM WILL NOT OVERTOP THE BANKS AND A TWO (2) YEAR STORM WILL NOT CAUSE EROSION TO THE CHANNEL BED OR BANKS:

(2) IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE TEN (10) YEAR STORM IS CONTAINED WITHIN THE APPURTENANCES; OR

(3) DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO (2) YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TEN (10) YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL; OR

(4) PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION OR OTHER MEASURE WHICH IS SATISFACTORY TO THE PLAN-APPROVING AUTHORITY TO PREVENT DOWNSTREAM EROSION.

d. THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS.

e. ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND

THE ULTIMATE DEVELOPMENT OF THE SUBJECT PROJECT f. IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION HE SHALL OBTAIN APPROVAL FROM THE LOCALITY OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON

a OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL. AND ENERGY DISSIPATERS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PROVIDE A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL.

h. ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE.

RESPONSIBLE FOR PERFORMING THE MAINTENANCE.

STREAMS AND OTHER WATERS OF THE STATE.

. INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM, OR TO A DETENTION FACILITY

j. IN APPLYING THESE STORMWATER RUNOFF CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL COMMERCIAL OR INDUSTRIAL DEVELOPMENT SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS, INSTEAD, THE DEVELOPMENT, AS A WHOLE, SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. HYDROLOGIC PARAMETERS THAT REFLECT THE ULTIMATE DEVELOPMENT CONDITION SHALL BE USED IN ALL ENGINEERING CALCULATIONS

k ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALL BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS,

ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO (I) DETAIN THE WATER QUALITY VOLUME AND TO RELEASE IT OVER 48 HOURS: (II) DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE YEAR. 24-HOUR STORM: AND (III) REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5. 2. AND 10-YEAR. 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM THE SITE ASSUMING IT WAS IN A GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK FLOW RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE WHEN IT WAS IN A GOOD FORESTED CONDITION DIVIDED BY THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS

m.FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF § 10.1-561 A OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUANTITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (§ 10.1-603.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND-DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VAC50-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT REGULATIONS.

n. COMPLIANCE WITH THE WATER QUANTITY MINIMUM STANDARDS SET OUT IN 4VAC50-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) PERMIT REGULATIONS SHALL BE DEEMED TO

SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19. ACTION: SEE STORMWATER NARRATIVE ON SHEET C-802.

PROMULGATED PURSUANT TO § 10.1-562 OR 10.1-570 OF THE ACT.

CONTROL NOTES

ES-4 A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLANS SHALL BE MAINTAINED ON THE

ES-5 PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED, OFFSITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL

ES-6 THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN

ES-7 ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. AFTER WHICH, UPON APPROVAL OF THE PLAN-APPROVING AUTHORITY, THE CONTROLS SHALL BE REMOVED. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST EVERY 2 WEEKS AND IMMEDIATELY AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR

ES-10 THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY REMOVAL OF SEDIMENT THAT HAS BEEN TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE. ES-11 SEEDING OPERATIONS SHALL BE INITIATED WITHIN 7 DAYS AFTER REACHING FINAL GRADE OR UPON

UPON COMPLETION OF GRADING OPERATIONS FOR A SPECIFIC AREA. ES-12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SURFACE AND AIR MOVEMENT OF DUST

CHESAPEAKE BAY PRESERVATION AREA (CBPA) OR ONE ACRE OR GREATER OUTSIDE THE CBPA. FOR MORE INFORMATION VISIT THE VIRGINIA STORMWATER MANAGEMENT PROGRAM PERMITTING WEB HTTP://WWW.DEQ.VIRGINIA.GOV/PROGRAMS.WATER/STORMWATERMANAGEMENT.ASPX

GENERAL EROSION AND SEDIMENT

SOURCE: TABLE 6-1, CHAPTER 6, VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK

ES-1 UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS (4VAC50-30)

ES-2 THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. THE NAME OF THE RESPONSIBLE LAND DISTURBER MUST BE PROVIDED TO THE PLAN-APPROVING AUTHORITY PRIOR TO ACTUAL ENGAGEMENT IN THE LAND-DISTURBING ACTIVITY SHOWN ON THE APPROVED PLAN. IF THE NAME IS NOT PROVIDED PRIOR TO ENGAGING IN THE LAND-DISTURBING ACTIVITY, THE PLAN'S APPROVAL WILL BE REVOKED.

ES-3 ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRADING.

SITE AT ALL TIMES.

SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.

APPROVING AUTHORITY.

EROSION AND SEDIMENTATION.

ES-8 DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.

CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE

IMMEDIATELY

SUSPENSION OF GRADING OPERATIONS FOR ANTICIPATED DURATION OF GREATER THAN 30 DAYS OR

FROM EXPOSED SOILS WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS, OR HARM ANIMAL OR PLANT LIFE. ES-13 A VSMP IS REQUIRED FOR PROJECTS DISTURBING 2,500 SQUARE FEET OR GREATER IN A DESIGNATED

REVISIONS DATE COMMENT TOWN AND VDOT 11/27/19 COMMENTS

REVIEW AND APPROVAL. IT IS NOT INTENDED AS A STRUCTION DOCUMENT UNLESS INDICATED OTHER



NOT APPROVED FOR CONSTRUCTION

CHECKED BY: CAD I.D.:

DRAWN BY:

SITE PLAN

IAYMARKET HOTEI

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA



WARRENTON, VIRGINIA 20186

Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com

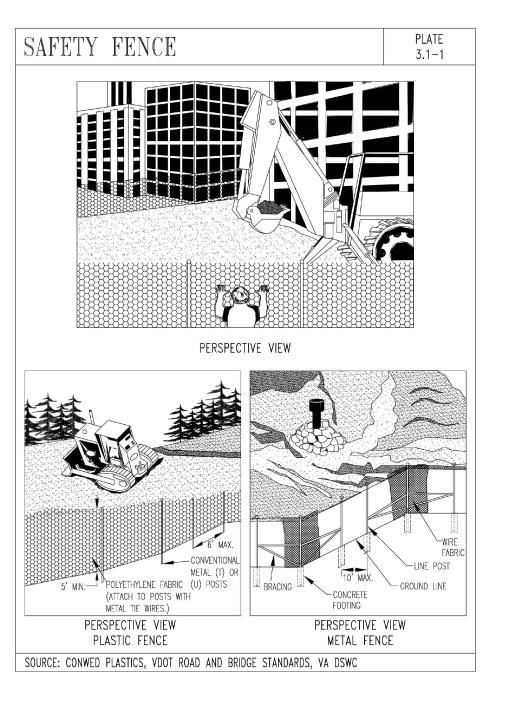
EROSION AND

REVISION 1 - 11/27/19

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It's fast. It's free. It's the law. JQR 11/08/2019 VENTURE, LLC



TONE CONSTI	RUCTION ENTRA	NCE	PLATE 3.02-
FILTER	75' MIN. CLOTH 6" MIN. A SIDE ELEVATION	EXISTING PAVEMENT- 5:1 MOUNT (OPTIO	ABLE BERM
EXISTING GROUND			
VDOT #1 COURSE AGGREGATE * MUST EXTEND FULL WIDTH OF INGRESS AND EGRESS OPERATION	75' MIN. B WASHRACK (OPTIONAL) * POSITIVE DRAINAGE TO SEDIMENT TRAPPING DEVICE PLAN VIEW 12' MIN.	PAVEM 10' MIN.	NG ENT
FILTER CLOTH	<u> </u>	<i>y</i>	
HELEN OLOMI	SECTION A-A		
	6'-7"		
REINFORCED CONCRETE	SECTION B-B	DRAIN SPACE	
	SECTION B-B		

TEMPORARY SEEDING

TABLE 3.31-B ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS

Source:	Ma	Dewo

Source: Va. DSWC

PLATE 3.36-1

Planting Dates	Species	Rate (lbs./acre)
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (Lolium multi-florum) & Cereal (Winter) Rye (Secale cereale)	50 - 100
Feb. 16 - Apr. 30	Annual Ryegrass (Lolium multi-florum)	60 - 100
May 1 - Aug 31	German Millet (Setaria italica)	50

		8
	TABLE 3.30-A	
	RDS OF TOPSOIL REC CATION TO VARIOUS	
Depth (inches)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806

	SEEDING RATE		NORTH ^a		5	SOUTH ^b			
SPECIES	Acre	1000 ft ²	3/1 to 4/30	5/1 to 8/15	8/15 to 11/1	2/15 to 4/30	5/1 to 9/1	9/1 to 11/15	PLANT CHARACTERISTICS
OATS (Avena sativa)	3 bu. (up to 100 lbs., not less than 50 lbs.)	2 lbs.	x		i i	х	250	3	Use spring varieties (e.g., Noble).
RYE ^d (<u>Secale cereale</u>)	2 bu. (up to 110 lbs., not less than 50 lbs.)	2.5 lbs.	х	**	х	х	*	х	Use for late fall seedings, winter cover. Tolerates cold and low moisture.
GERMAN MILLET (Setaria italica)	50 lbs.	approx. 1 lb.	¥#	x	14		х	78	Warm-season annual, Dies at first frost. May be added to summer mixes.
ANNUAL RYEGRASS ^e (Lolium multi-florum)	60 lbs.	1½ lbs.	x	1.5	х	х		х	May be added in mixes. Will mow out of most stands.
WEEPING LOVEGRASS (Eragrostis curvula)	15 lbs.	51/2 ozs.	83	х		*	x		Warm-season perennial. May bunch. Tolerates hot, dry slopes and acid, infertile soils. May be added to mixes.
KOREAN LESPEDEZA ^c (Lespedeza stipulacea)	25 lbs.	approx. 1½ lbs.	х	х	•	х	х	33	Warm season annual legume. Tolerates acid soils. May be added to mixes.

TABLE 3.31-C

Northern Piedmont and Mountain region. See Plates 3.22-1 and 3.22-2. Southern Piedmont and Coastal Plain.

May be used as a cover crop with spring seeding. May be used as a cover crop with fall seeding. X May be planted between these dates.
 May not be planted between these dates.

REVISIONS COMMENT V DATE 11/27/19 COMMENTS

IS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGE REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A</u> INSTRUCTION DOCUMENT UNLESS INDICATED OTHERV



NOT APPROVED FOR CONSTRUCTION

DRAWN BY: CHECKED BY: CAD I.D.:

> SITE PLAN DOCUMENTS

10-35% Bristol, Columbia, Georgetown, Glade, Midnight HAYMARKET HOTEI VENTURE, LLC

3.33

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com



EROSION AND SEDIMENT CONTROL DETAILS

REVISION 1 - 11/27/19

(WITHOUT WIRE SUPPORT) 1. SET THE STAKES. 2. EXCAVATE A 4"X 4" TRENCH UPSLOPE ALONG THE LINE OF 3. STAPLE FILTER MATERIAL 4. BACKFILL AND COMPACT

CONSTRUCTION OF A SILT FENCE PLATE. 3.05-2

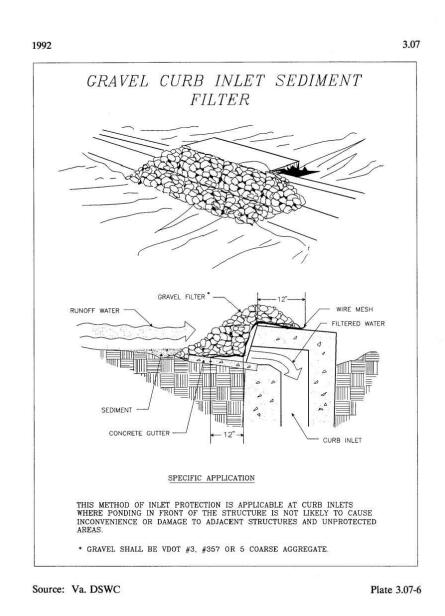
HIGHER THAN POINT B.

DRAINAGEWAY INSTALLATION

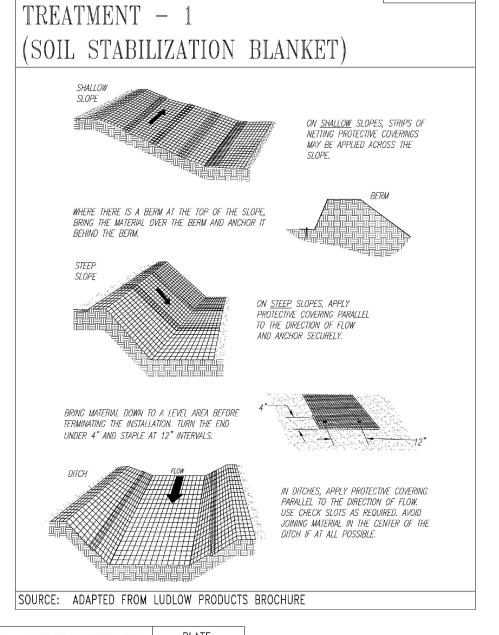
(FRONT ELEVATION)

SOURCE: ADAPTED FROM INSTALLATION OF STRAW AND FABRIC FILTER BARRIERS FOR

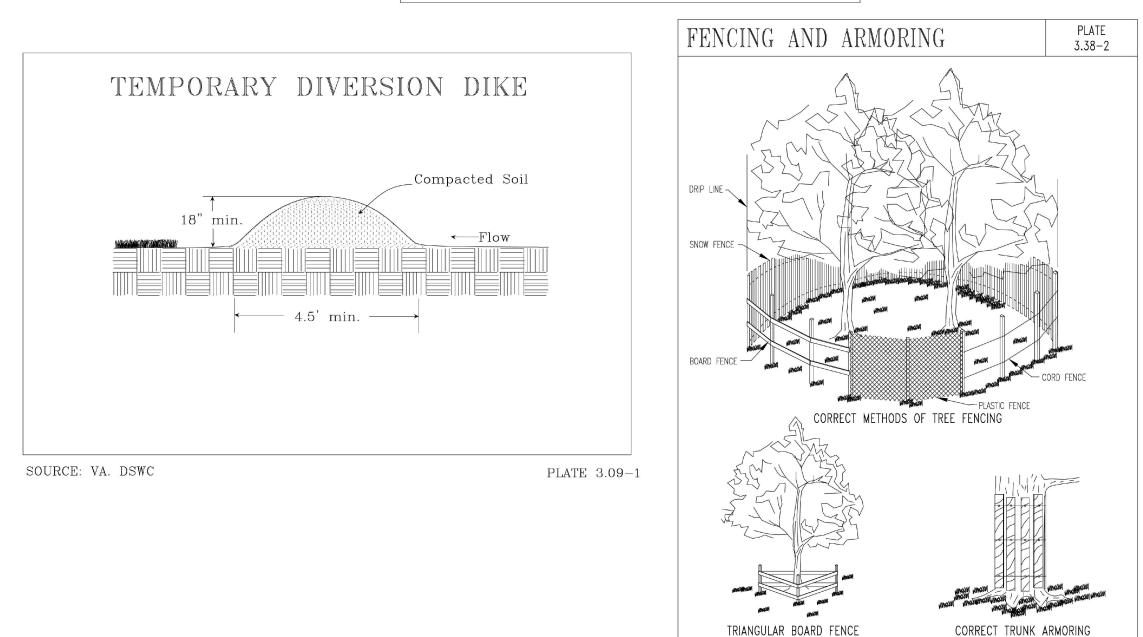
SEDIMENT CONTROL, VA. DSWC, SHERWOOD AND WYANT



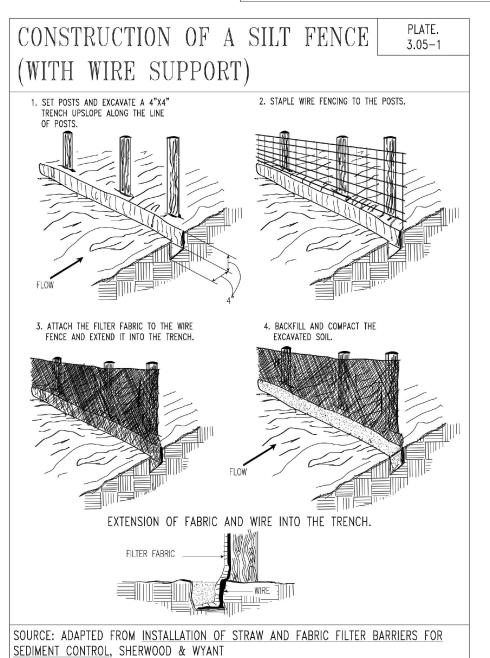
III - 41



TYPICAL ORIENTATION OF



SOURCE: VA DSWC



PERMANENT SEEDING OR MULCHING

TABLE 3.32-D	
SITE SPECIFIC SEEDING MIXTURES FOR CO	OASTAL PLAIN AREA
	Total Lbs Per Acre
Minimum Care Lawn	
- Commercial or Residential	175 000 IL-
 Kentucky 31 or Turf-Type Tall Fescue 	175-200 lbs
or - Common Bermudagrass **	75 lbs

High-Maintenance Lawn - Kentucky 31 or Turf-Type Tall Fescue	200-250 lbs
or	
 Hybrid Bermudagrass (seed) ** 	40 lbs. (unhulled)
or	30 lbs. (hulled
 Hybrid Bermudagrass (by other vegetative establishment method, see Std. & Spec. 3.3 	34)
General Slope (3:1 or less)	
- Kentucky 31 Fescue	128 lbs
- Red Top Grass	2 lbs
- Seasonal Nurse Crop *	<u>20 lbs</u> 150 lbs
Low Maintenance Slope (Steeper than 3:1)	
- Kentucky 31 Tall Fescue	93-108 lbs
- Common Bermudagrass **	0-15 lbs
- Red Top Grass	2 lbs 20 lbs
 Seasonal Nurse Crop * Sericea Lespedeza ** 	20 lbs
- Sericea Lespedeza	150 lbs
* Use seasonal nurse crop in accordance with seeding February, March through April	g dates as stated below:
May 1st through August	Foxtail Mille
November 16th through January	Winter Ry
** May through October, use hulled seed. All o	ther seeding periods, us
unhulled seed. Weeping Lovegrass may be adde	ed to any slope or low
maintenance mix during warmer seeding periods; add	1 10-20 lbs /acre in mixes

	maintenance mix during warmer seeding p	eriods; add 10-20 lbs./acre in mixe
SO	URCE: VA DSWC	

		TABLE 3.35-A	
ORGAN	NIC MULCH MA		APPLICATION RATES
	RA	TES:	
MULCHES:	Per Acre	Per 1000 sq. ft.	NOTES:
Straw or Hay	1½ - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Airdried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Appl with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Airdried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

TABLE 3.33-A TYPE OF SOD AVAILABLE IN VIRGINIA

AND RECOMMENDED USES

Kentucky Bluegrass: Adapted to the Northern Piedmont and Mountain Regions. Individual varieties selected must make up not less than 10%, nor more than 35% of the total mixture on a weight basis. All varieties must be certified. Selections can be made from Category I alone or various

Category I - Recommended Kentucky Bluegrass Varieties

10-35% Dawn, Estate, Freedom, Kelly

65% - 100% A-34, Abbey, Aspen, Asset, Baron, Blacksburg, Bristol, Cheri, Chateau, Classic, Coventry, Georgetown, Glade, Haga, Julia, Liberty, Loft's 1757, Merit, Midnight, Monopoly, Plush, Princeton 104, Rugby, Suffolk, Victa

<u>Category II</u> - Special use varieties. If used, must contain at least 65% Category I varieties

combinations of Categories I, II and III, as noted.

Source: Va. DSWC

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GUTTERBUDDY

DR. BY:

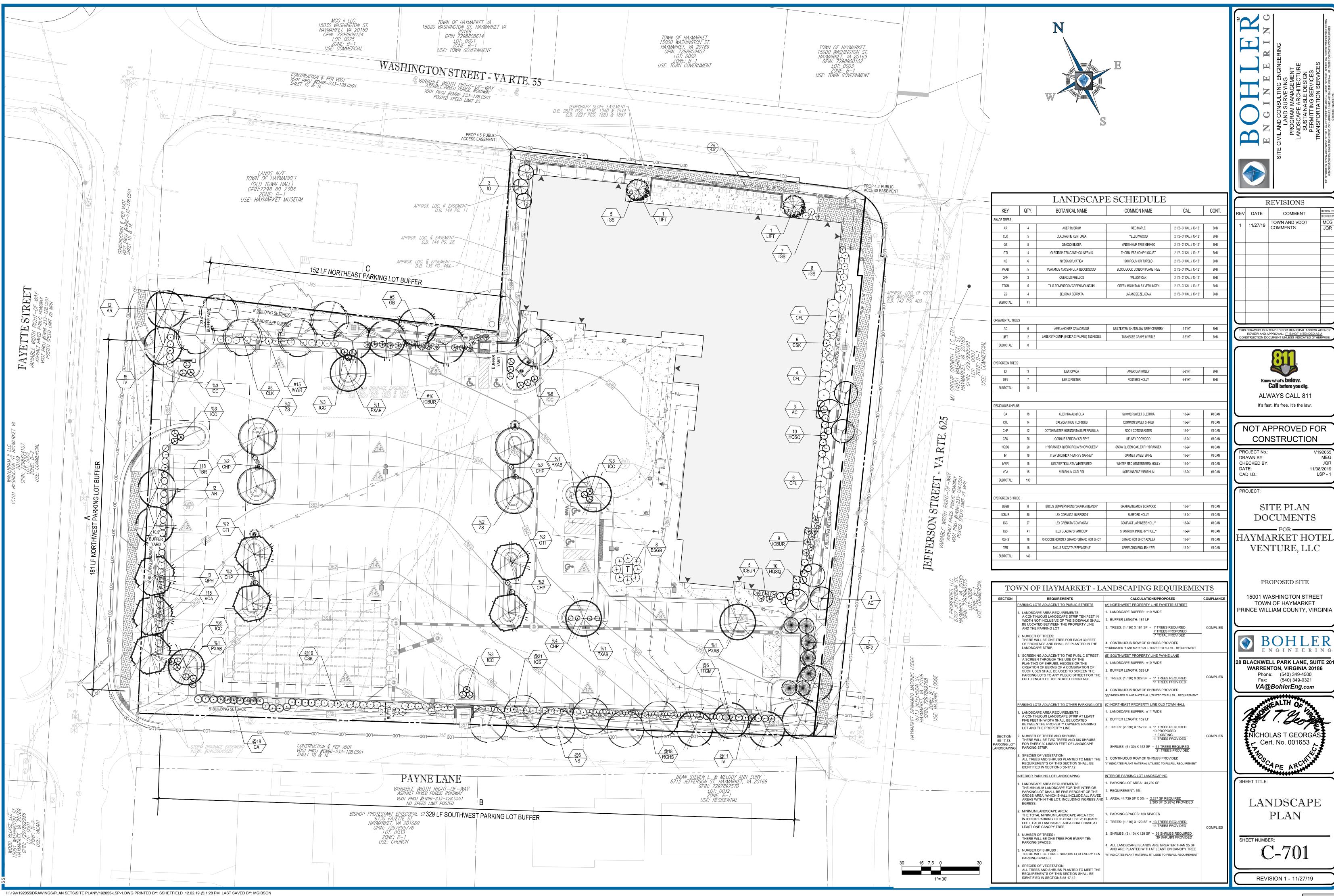
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GUTTERBUDDY®Curb Inlet Drain Filters

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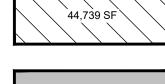
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HATCH LEGEND



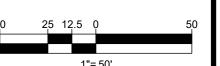
INTERNAL PARKING



INTERNAL PARKING LOT LANDSCAPE AREA



INTERNAL PARKING LOT CANOPY TREES



THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING. FINISHED GRADING. SOIL PREPARATION. PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%. A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL. OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. 1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED

DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN. E. FERTILIZER

BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY

1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD

1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE

ASSOCIATION. 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL

1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

1.4 TREES WITH ARRASION OF THE BARK SUN SCALDS DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/2 WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED.PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF

GROWTH: WELL DEVELOPED BRANCHES. DENSELY FOLIATED. VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE INSECTS PESTS EGGS OR LARVAE 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE.

IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE

1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.

1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED

CLAY LOAM UP TO 30% OF THE TOTAL MIX.

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE

D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1.000 SQUARE FOOT AREA): 1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL

1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

LANDSCAPE SPECIFICATIONS

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

1.1. PLANTS: MARCH 15 TO DECEMBER 15 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM PLATANUS X ACERIFOLIA BETULA VARIETIES POPULOUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES KOFI REUTERIA QUERCUS VARIETIES LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS. WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH

THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: • 1 PART PEAT MOSS • 1 PART COMPOSTED COW MANURE BY VOLUME

• 3 PARTS TOPSOIL BY VOLUME • 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

A) 2 TABLETS PER 1 GALLON PLANT B) 3 TABLETS PER 5 GALLON PLANT C) 4 TABLETS PER 15 GALLON PLANT

D) LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY

K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP

L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED) A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT. SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE

2. GUARANTEE A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL

OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

SEEDING SPECIFICATIONS

1.1. SEED MIXTURE MUST BE COMPRISED OF THE FOLLOWING VARIETIES AND AT THE SPECIFIED COMPOSITION:

80% - TURF TYPE TALL FESCUE SEED 10% - KENTUCKY BLUEGRASS SEED

1.1.3. 10% - ANNUAL RYE GRASS SEED

1.2. INSTALLATION RATES: SEED: LAWN SEED SHOULD BE APPLIED AT A RATE OF 7 LBS/1,000 SF LIME: AGRICULTURAL OR PELLETIZED LIME SHOULD BE APPLIED AT SPECIFIED RATE ACCORDING TO SOIL ANALYSIS OR 2.000 LBS PER ACRE

(46 LBS/1,000 SF) IF NO SOIL ANALYSIS IS PERFORMED

FERTILIZER: COMMERCIAL GRADE 12-20-12 SHOULD BE APPLIED AT A RATE OF 250 LBS PER PER ACRE (5.8 LBS/ 1,000 SF) LIQUID OR DRY LIME: LIQUID LIME SHOULD BE APPLIED AT A RATE OF 2.5

GALLONS PER ACRE OR NEUTRA LIME DRY APPLIED AT A RATE OF 80LBS PER ACRE IN AREAS OF ACIDIC SOILS TO ASSURE GERMINATION AND INITIAL ESTABLISHMENT.

MULCH: WHEAT, OAT, OR BARLEY STRAW MULCH SHALL BE APPLIED AT A RATE OF 80 LBS PER 1,000 SF. DO NOT INSTALL MULCH SO THICK THAT IT COMPLETELY COVERS THE GROUND. TOPSOIL SHOULD BE VISIBLE THROUGH THE STRAW LAYER.

2. EXECUTION AND PREPARATION:

2.1. A SOIL ANALYSIS SHOULD BE PERFORMED TO ASSESS THE FERTILITY NEEDS AND PH OF THE SOIL. ALL INSTALLATION AREAS SHOULD BE PREPARED TO AGRICUI TURAL STANDARD RECOMMENDED BY THE DEPARTMENT OF AGRICULTURE WITHIN THE STATE WHERE THE WORK IS BEING PERFORMED. AGRICULTURAL LIME OR PELLETIZED LIME SHOULD BE ADDED DURING THE GROUND PREPARATION STAGE AT THE RATE RECOMMENDED ACCORDING

TO SOIL ANALYSIS. 2.2. ALL WEEDS AND UNDESIRABLE PLANTS SHOULD BE REMOVED BEFORE PLANTING BY METHOD OF SPRAYING OR TILLAGE. A NON-SELECTIVE HERBICIDE CAN BE SPRAYED ONE MONTH PRIOR TO PLANTING TO KILL ALI WEEDS AND UNDESIRABLE PLANTS THAT MAY COMPETE WITH THE NEW SEEDLINGS. TILLAGE CAN BE PERFORMED AT LEAST 4 WEEKS PRIOR TO PLANTING AND AGAIN 2 WEEKS AFTER THE INITIAL TILLAGE. THE TILLAGE PROCEDURE CAN BE ADVANTAGEOUS IF LARGE AMOUNTS OF ORGANIC

DEBRIS ARE PRESENT ON THE INSTALLATION AREAS. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.

AREAS TO BE PLANTED SHOULD BE ROLLED WITH A CULTI-PACKER, TURF ROLLER, OR SIMILAR DEVICE TO FIRM THE SEEDBED. THIS PROCESS HELPS ACHIEVE THE DESIRED FIRMNESS. SOIL SHOULD BE FIRMED TO 85% OF

INSTALLATION:

3.1. STRICTLY COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS EQUIPMENT USED TO SPREAD SEED SHOULD HAVE SUFFICIENT CAPACITY TO HOLD AND AGITATE SEED EVENLY IN A CYCLONE OR DROP PATTERN.

HYDROSEEDING MAY ALSO BE PERFORMED WITH THE

ENGINEER/ARCHITECT'S APPROVA 3.3. SEED MAY NEED TO BE APPLIED AT A HALF RATE IN ALTERNATING DIRECTIONS TO ENSURE AN EVEN COVERAGE OF SEED. LIQUID LIME OR NEUTRA LIME DRY SHOULD BE TOPICALLY APPLIED TO AREAS WITH ACIDIC SOILS TO ASSIST THE SEED GERMINATION AND

APPLIED AT A RATE OF 2.5 GALLONS PER ACRE OR NEUTRA LIME DRY AT A RATE OF 80LBS PER ACRE FERTILIZER SHOULD BE SPREAD EVENLY OVER THE SEEDED AREAS AT THE RECOMMENDED RATE DETERMINED BY THE INITIAL SOIL ANALYSIS. IF NO SOIL ANALYSIS IS AVAILABLE EVENLY APPLY 12-20-12 STARTER FERTILIZER

VEGETATION GROWTH DURING THE FIRST 90 DAYS. I IQUID LIME SHOULD BE

AT A RATE OF 250LBS PER ACRE (5.8LBS/1000 SQUARE FEET). 3.6. A ROLLED EROSION CONTROL PRODUCT CAN BE APPLIED OVER THE TOP OF SEED IN STEEP SLOPE SITUATIONS TO HELP PREVENT SEED FROM WASHING AND REINFORCE VEGETATION THROUGH ESTABLISHMENT. (FOLLOW REC PRODUCT MANUFACTURER RECOMMENDATIONS.)

4. MAINTENANCE

4.1. FREQUENT LIGHT IRRIGATION WILL NEED TO BE APPLIED TO SEEDED AREAS IF NO NATURAL RAIN EVENTS HAVE OCCURRED WITHIN 2 WEEKS OF SEEDING. AFTER SEED GERMINATION HAS OCCURRED AND PLANTS ARE VISIBLE THE FREQUENCY OF IRRIGATION CAN BE CUT BACK WITH HEAVIER APPLICATION RATES.

4.2. REPAIR ALL SEED WASHINGS AND EROSION.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

• TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH

TREES WITHIN VEHICULAR SIGHT LINES. AS ILLUSTRATED ON THE LANDSCAPE PLAN. ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

 VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED. TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY

FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY

OTHER HAZARDS. THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

REVISIONS DATE COMMENT 11/27/19

REVIEW AND APPROVAL. IT IS NOT INTENDED AS A STRUCTION DOCUMENT UNLESS INDICATED OTHER



NOT APPROVED FOR CONSTRUCTION

11/08/2019

DRAWN BY: CHECKED BY:

SITE PLAN

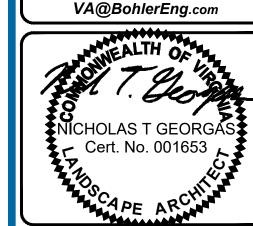
HAYMARKET HOTEI VENTURE, LLC

DOCUMENTS

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA

8 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321

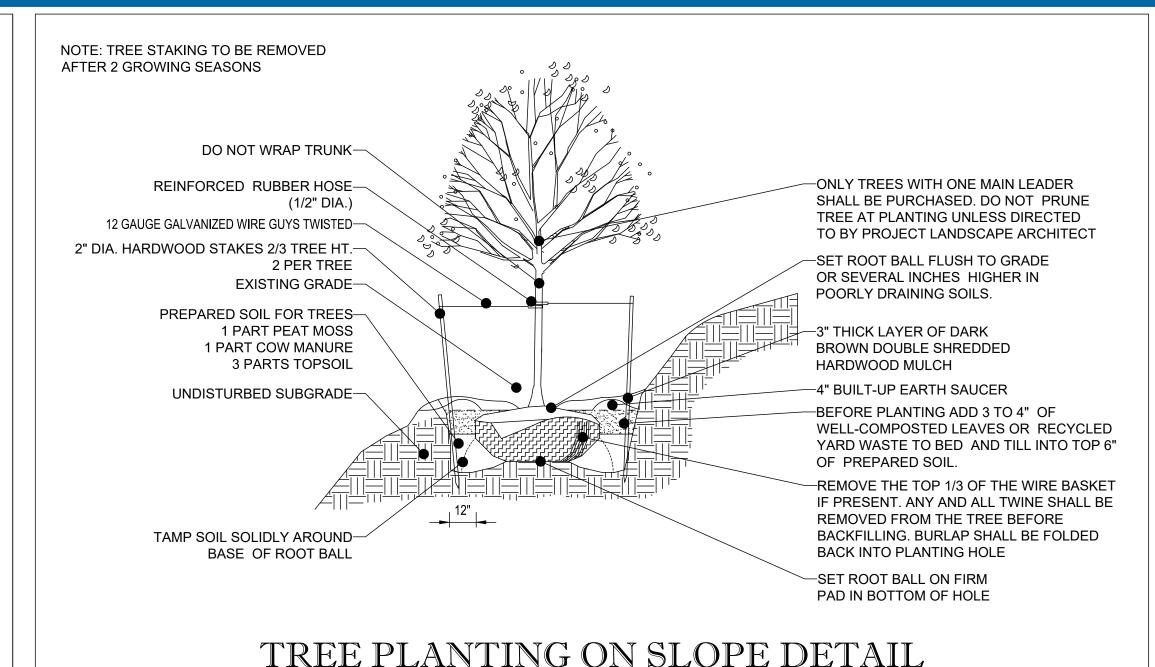


LANDSCAPE

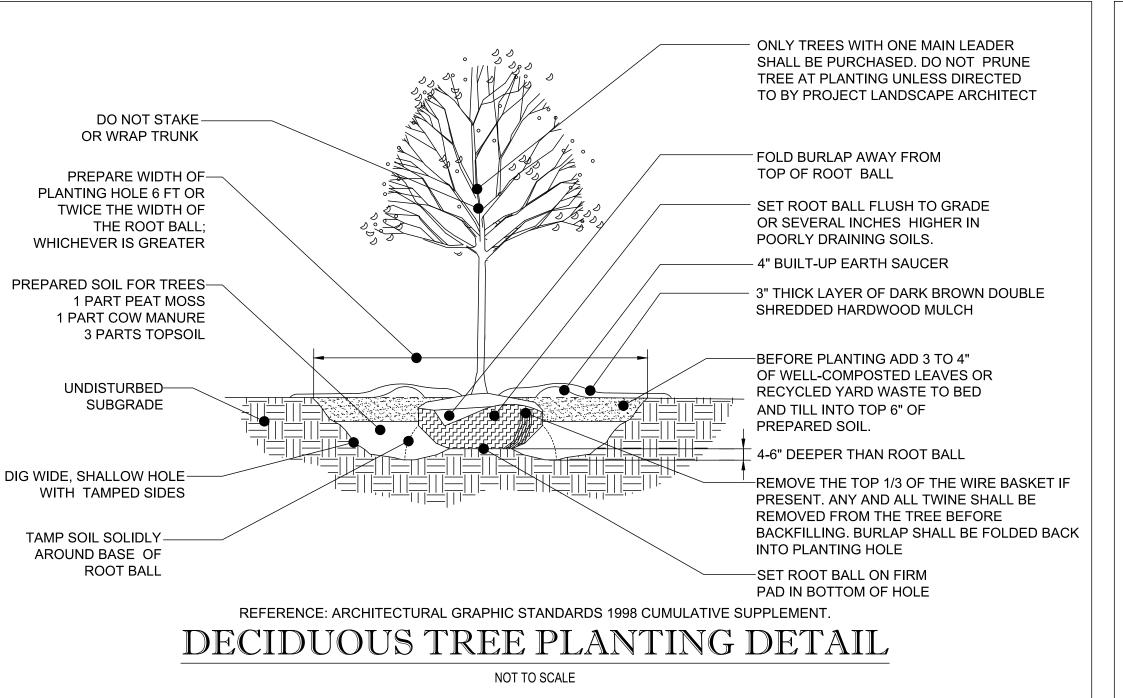
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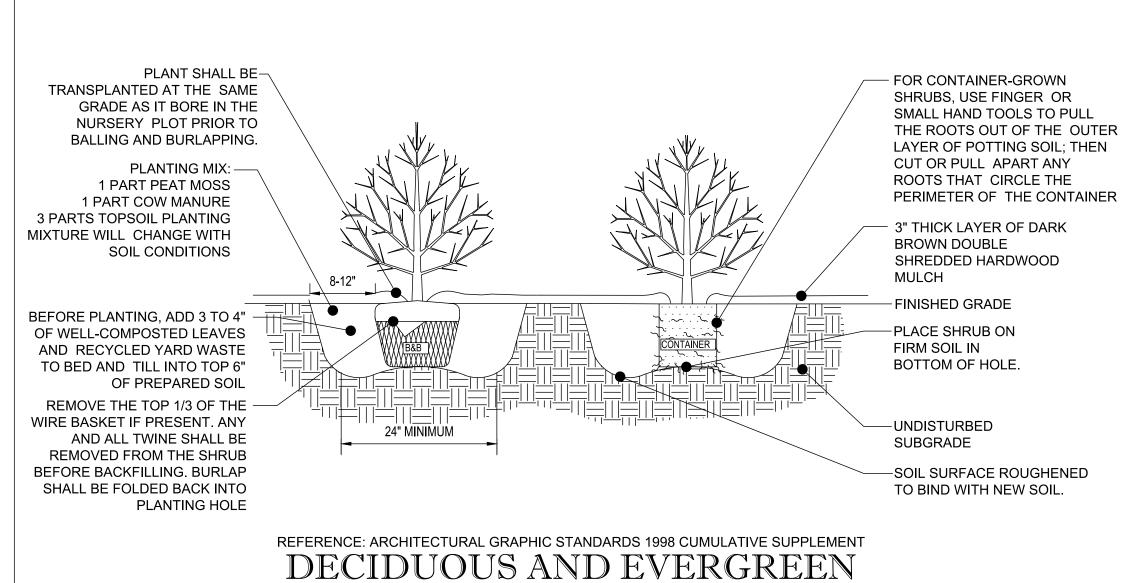
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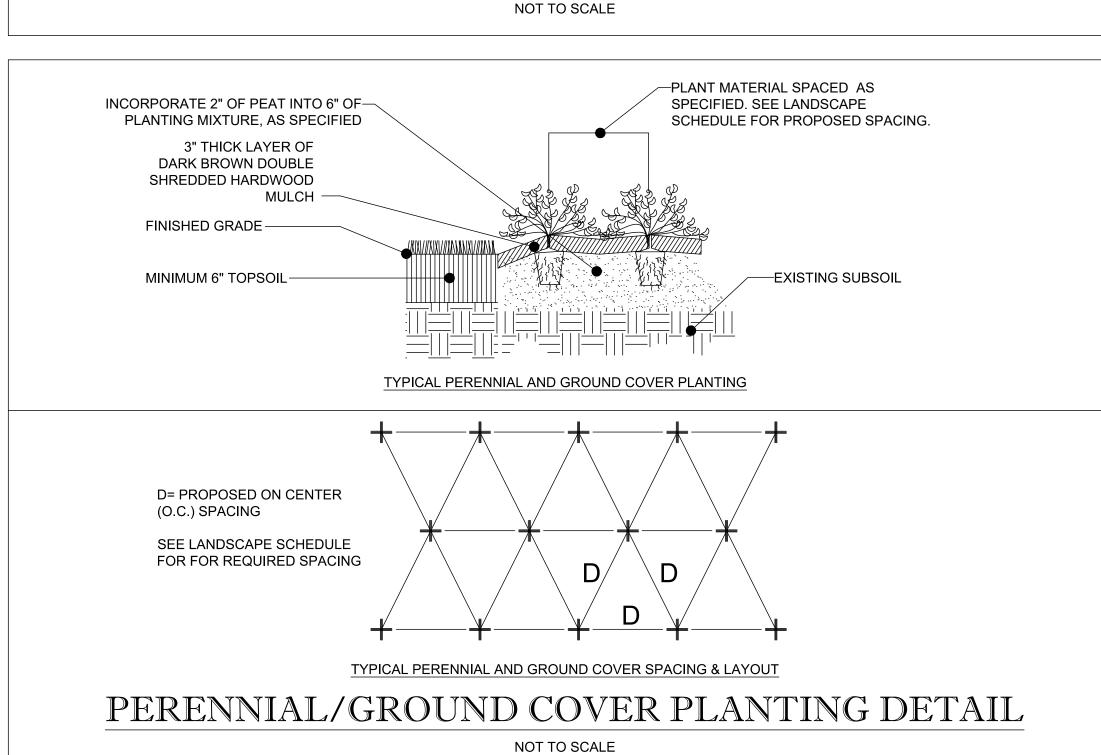


NOT TO SCALE





SHRUB PLANTING DETAIL





COMMENT EV DATE 11/27/19 | COMMENTS

REVIEW AND APPROVAL. IT IS NOT INTENDED AS A DISTRUCTION DOCUMENT UNLESS INDICATED OTHERW



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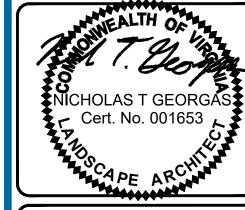
SITE PLAN DOCUMENTS

HAYMARKET HOTE VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA

28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com



LANDSCAPE DETAILS

C - 703





EXISTING GRAVEL

BMP Design Specifications List: 2013 Draft Stds & Specs Site Summary

Project Title: Haymarket Hotel Date: 43773

Site Land Cover Summary

A soils B Soils C Soils D Soils Totals % of Total 0.00 Managed Turf (acres) 0.00 0.28 0.28

Post-ReDevelopment Land Cover (acres) A soils B Soils C Soils D Soils Totals Managed Turf (acres)

Site Ty and Land Cover Nutrient Loads

Total TP Load Reduction Required (lb/yr)

	Final Post-Development (Post-ReDevelopment & New Impervious)	Post- ReDevelopment	Post- Development (New Impervious)	Adjusted Pre- ReDevelopment
Site Rv	0.78	0.49	0.95	0.49
Treatment Volume (ft ³)	6,362	1,465	4,897	1,465
TP Load (lb/yr)	4.00	0.92	3.08	0.92

TP Load per acre	TP Load per acre	Load per acr
(lb/acre/yr)	(lb/acre/yr)	(lb/acre/yr)
1.11	1.78	1.11

Pre-Pre-Prinal Post-Development Post-ReDevelopment T

Final Post-Development Load (Post-ReDevelopment & New Impervious

2.68

Site Compliance Summary

0.18

Maximum % Reduction Required Below	200/
Pre-ReDevelopment Load	20%

Total Runoff Volume Reduction (ft ³)	0
Total TP Load Reduction Achieved (lb/yr)	1.41
Total TN Load Reduction Achieved (lb/yr)	0.00
Remaining Post Development TP Load (lb/yr)	2.59
Remaining TP Load Reduction (lb/yr) Required	1.27

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest/Open (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)	0.24	0.00	0.00	0.00	0.00	0,24
Impervious Cover (acres)	1.56	0.00	0.00	0.00	0.00	1.56
Total Area (acres)	1.80	0.00	0.00	0.00	0.00	1.80

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	1.41	0.00	0.00	0.00	0.00	1.41
TN Load Reduced (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

Runoff Volume and CN Calculations

Target Rainfall Event (in)	2.52	3.04	4.64			
Drainage Areas	RV & CN	Drainage Area A	Drainage Area B	Drainage Area C	Drainage Area D	Drainage Area
CN		96	0	0	0	0
RR (ft ³)		0	0	0	0	0
1-year return period	RV wo RR (ws-in)	2.08	0.00	0.00	0.00	0.00
	RV w RR (ws-in)	2.08	0.00	0.00	0.00	0.00
	CN adjusted	96	0	0	0	0
	RV wo RR (ws-in)	2.59	0.00	0.00	0.00	0.00
2-year return period	RV w RR (ws-in)	2.59	0.00	0.00	0.00	0.00
	CN adjusted	96	0	0	0	0
	RV wa RR (ws-in)	4.17	0.00	0.00	0.00	0.00
10-year return period	RV w RR (ws-in)	4.17	0.00	0.00	0.00	0.00
				- 1		

VRRM REDEVELOPMENT SUMMARY SHEETS

Resource Environmental Solutions

astaley@res.us

Date:	November 6, 2019	
		10055 Red Run Blvd.
To:	Ctuart Chaffeald DIT	Suite 130
10.	Stuart Sheffield, EIT	Owings Mills, MD
	Sr. Design Engineer	21117
	Bohler Engineering	417 11 211 61
	Section and the second Section Control of the section of the secti	412 N. 4th St. Suite 300
274		Baton Rouge, LA
From:	Amy Staley	70802
	Office Coordinator	70002
	Resource Environmental Solutions	701 E. Bay St.
		Suite 306
V		Charleston, SC
Subject:	Potomac Watershed – Nutrient Credit Availability	29403
		5020 Montrose Blvd.
Project Refe	erence: Haymarket Hotel; 1.50 Credits Requested; HUC 02070010	Suite 650
	e accepta and Automora a consequent a secondar and acceptance and acceptance acceptance and acce	Houston, TX
771 1 44 1	C 4 11111 61 50 4 1 1 4 1 4 13 6881 4 1 4	77006
	s to confirm the availability of 1.50 authorized nutrient credits ("Nutrient	
Credits") fro	om one or more of Resource Environmental Solutions' ("RES") Potomac	1200 Camellia Blvd.
	k facilities for use by permit applicants within the Potomac watershed,	Suite 220
	있다면 가게 되었다면 있다면 하는 사람이 있다면 가게 되었다. 그리고 투를 마음이 아이들이 가득하는 사람들이 있다면 하는데 아이들이 다른데 하는데 아이들이 다른데 아이들이 다른데 아이들이 다른데 하는데 아이들이 다른데 하는데 아이들이 아이들이 다른데 하는데 아이들이 아이들이 아이들이 아이들이 아이들이 아이들이 아이들이 아이들	Lafayette, LA
	UC 02070010, to compensate for nutrient loadings in excess of state or	70508
	tions, as per Virginia Code § 62.1-44.15:35 and § 62.1-44.19:14 and	1371/2 East Main St.
Virginia Ad	ministrative Code 9 VAC 25-820-10 et seq. These Nutrient Credits are	Suite 210
	nd managed under the terms of the Banking Instruments known as the Hull	Oak Hill, WV
		25901
	m Nutrient Reduction Implementation Plan ("NRIP") and/or The Carlton	
NRIP.		33 Terminal Way
		Suite 431
		Pittsburgh, PA 15219
Planca faal	rea to contact malifyou have any questions	13413
riease ieei i	ree to contact me if you have any questions.	302 Jefferson St.
		Suite 110

NUTRIENT CREDIT AVAILABILITY LETTER

ENERGY BALANCE

Haymarket Hotel Jurisdiction: Town of Haymarket Storm Event: 1 Year 2.52" 24-Hour Rainfall Depth:

Point of Interest ID	1	Comments
Pre-Development	1yr	
Q, Flow (cfs)	4.26	
CN, Curve Number	85	
RV, Runoff Depth (in)	1.19	
Drainage Area (ac)	2.25	
RV, Runoff Volume (ac-in)	2.69	
Post-Development Q, Flow (cfs)	2.13	
Q, Flow (cfs)	2.13	
I.F.	0.80	Improvement Factor
CN, Curve Number	94	
RV, Runoff Depth (in)	1.89	
Drainage Area (ac)	2.25	
RV, Runoff Volume (ac-in)	4.25	
Energy Balance (EB)		*
Q, Post-Dev (cfs)	2.13	-
I.F. * Q pre * RV pre RV post	2.16	Q, Post-Dev Allowable (cfs)

1. Q Post-Dev must always be less than or equal to Q Pre-Dev 2. Q Post-Dev is not required to be less than that calculated in the equation

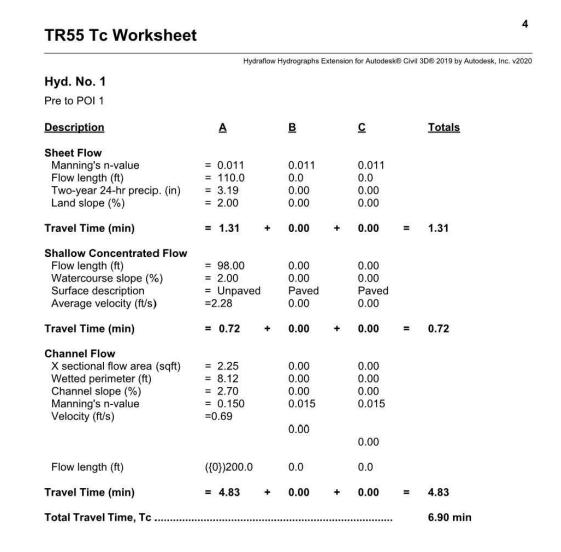
(Q forest x RV forest) / RV Post-Dev 3. I.F. = 0.8 for sites > 1.0 acre, 0.9 for sites ≤ 1.0 acre

4. 24-Hour Rainfall Depth per NOAA Atlas 14 Precipitation Frequency Estimat

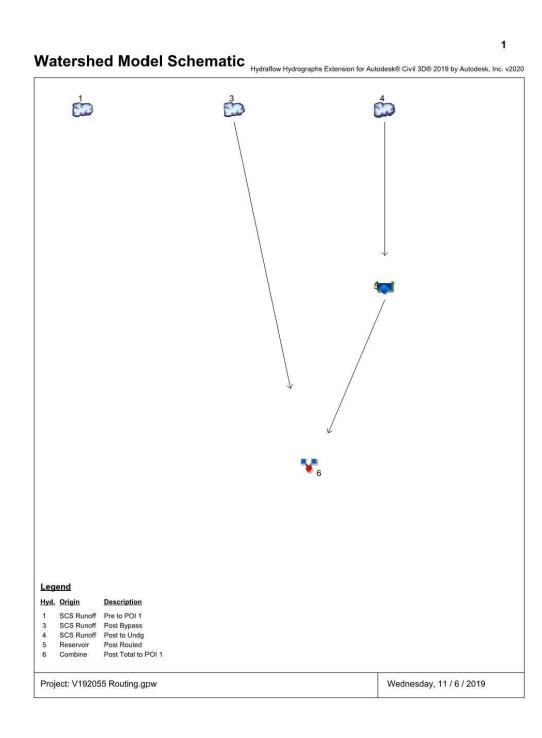
5. RV, Runoff Volumes per VA SWM Handbook, Ch. 11, App. 11C

ENERGY BALANCE CALCULATION

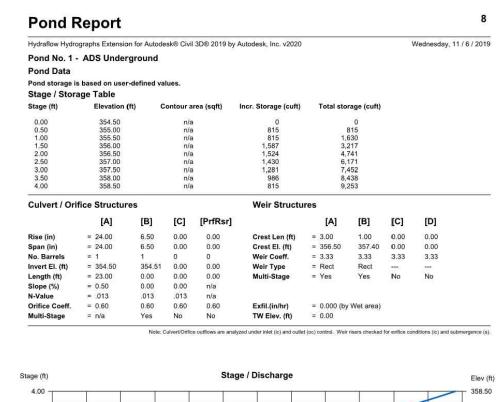
BMP SUMMARY TABLE						
Facility Type	Underground Detention					
Location	SW Corner of Wasington and Jefferson Street					
Geographic Coordinates	38°48'42.9"N 77°38'15.7"W					
Acres Treated	1.8 AC					
Impervious Area Treated	1.56 AC					

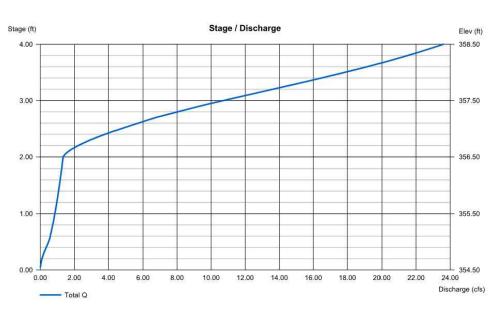


PRE-DEVELOPED TIME OF CONCENTRATION



WATERSHED SCHEMATIC (SWM ROUTING)





SWM DETENTION REPORT (SWM ROUTING)

STORMWATER NARRATIVE

EXISTING CONDITIONS

THE EXISTING SITE CONSISTS OF SEVERAL PARCELS THAT ARE PROPOSED TO BE COMBINED INTO ONE (1) PARCEL WITH A TOTAL AREA OF 2.05 ACRES. THERE IS AN ABANDONED HOUSE TO THE SOUTHEAST AND A GRAVEL PARKING LOT THAT USED TO SERVE SEVERAL BUILDINGS THAT WERE DEMOLISHED RECENTLY. THE REMAINDER OF THE PROPERTY IS MOSTLY VACANT. EXISTING GRADES ON SITE ARE MOSTLY BETWEEN ONE (1) TO FIVE (5) PERCENT, DO NOT EXCEED FIFTY (50) PERCENT, AND SLOPE GENERALLY TOWARDS A DRAINAGE SWALE IN THE CENTER OF THE PROJECT AREA. THE SWALE DRAINS NORTH TO SOUTH INTO AN EXISTING STORM INLET NEAR THE PAYNE LANE RIGHT-OF-WAY THAT OUTFALLS INTO EXISTING, CLOSED STORM SEWER TO THE SOUTH. THERE ARE APPROXIMATELY 0.28 ACRES OF IMPERVIOUS AREA WITHIN THE LIMITS OF DISTURBANCE (LOD) IN EXISTING CONDITIONS - THIS DOES NOT INCLUDE THE GRAVEL PARKING LOT AREAS (0.62 ACRES). PROPOSED IMPROVEMENTS

THE PURPOSE OF THIS PROJECT IS CONSTRUCT A 4-STORY HOTEL, ASSOCIATED PARKING AND UTILITY IMPROVEMENTS, AS WELL AS AN ON-SITE UNDERGROUND DETENTION SYSTEM. THE TOTAL DISTURBED AREA FOR THE CONSTRUCTION ACTIVITY IS ANTICIPATED TO BE APPROXIMATELY 2.25 ACRES. THERE WILL BE APPROXIMATELY 1.70 ACRES OF IMPERVIOUS AREA.

WATER QUALITY REQUIREMENTS FOR THIS SITE WILL BE MET THROUGH THE USE OF THE STORMTECH ISOLATOR ROW UNDERGROUND DETENTION SYSTEM (APPROVED BY DEQ FOR 40% TP REMOVAL EFFICIENCY) AND BY PURCHASING 1.27 POUNDS OF NUTRIENT CREDITS TO ENSURE THERE IS NO DEGRADATION TO THE STORMWATER QUALITY CAUSED BY THE DEVELOPMENT OF THIS SITE. WATER QUANTITY REQUIREMENTS WILL BE MET THROUGH THE USE OF THE ON-SITE UNDERGROUND DETENTION SYSTEM. THE SYSTEM WILL USE A WEIR OUTFALL STRUCTURE WITH A LOW-FLOW ORIFICE TO

ATTENUATE THE POST DEVELOPMENT FLOWS TO MEET THE CHANNEL AND FLOOD PROTECTION REQUIREMENTS. THE PRE AND POST-DEVELOPMENT FLOW RATES FOR THE 1-YEAR, 2-YEAR, AND 10-YEAR STORM EVENTS FOR THIS SITE WERE CALCULATED USING THE SCS TR-55 METHOD IN THE PROGRAM AUTOCAD HYDRAFLOW HYDROGRAPHS, AS SHOWN ON THE FOLLOWING PAGES. THE CURVE NUMBERS USED IN THESE CALCULATIONS WERE CALCULATED USING THE VALUES FROM THE NRCS TR-55 TECHNICAL MANUAL,

TABLE 2.2A, "RUNOFF CURVE NUMBERS FOR URBAN AREAS". RAINFALL DEPTHS USED TO CALCULATE FLOWS WERE FROM NOAA ATLAS-14 DATA FOR THE PROJECT SITE. PRE AND POST DEVELOPMENT FLOW RATES FOR POI#1 WERE CALCULATED USING CURVE NUMBERS OF 85 AND 94 RESPECTIVELY.

1-YEAR: 4.26 CFS 1-YEAR: 2.13 CFS 2-YEAR: 5.79 CFS 2-YEAR: 3.00 CFS 10-YEAR: 10.68 CFS 10-YEAR: 9.91 CFS

THE EXISTING STORMWATER CONVEYANCE SYSTEM CURRENTLY EXPERIENCES LOCALIZED FLOODING DURING THE 10-YEAR, 24-HOUR STORM EVENT. AS SHOWN, THE RUNOFF FROM THE 10-YEAR STORM EVENT HAS BEEN REDUCED IN THE POST-DEVELOPMENT CONDITION TO LEVELS BELOW THE PRE-DEVELOPMENT CONDITION; THEREFORE MEETING THE FLOOD PROTECTION REQUIREMENT UNDER 9VAC 25-870-66.C.2.B. AS SHOWN ON THE ENERGY BALANCE CALCULATIONS ON THIS SHEET, THE REDUCTION IN THE POST-DEVELOPMENT FLOWS IS SUFFICIENT TO SATISFY THE ENERGY BALANCE EQUATION; THEREFORE MEETING THE CHANNEL PROTECTION REQUIREMENT UNDER 9VAC 25-870.66.B.1.B.

BEST MANAGEMENT PRACTICES NARRATIVE

SINCE THE SUBJECT SITE IS AN EXISTING DEVELOPED SITE, WATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT OF THIS SITE WERE CALCULATED USING THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT SPREADSHEET. USING THIS SPREADSHEET IT WAS DETERMINED THAT THE DEVELOPMENT OF THIS SITE WOULD REQUIRE THE TREATMENT OF A TOTAL OF 1.27 LB/YEAR OF PHOSPHORUS REMOVAL. THE REMOVAL REQUIREMENT WILL BE MET THROUGH THE STORMTECH ISOLATOR ROW FILTRATION SYSTEM AND AND THE PURCHASE OF NUTRIENT CREDITS FOR THE REMAINING AMOUNT. A NUTRIENT CREDIT AVAILABILITY LETTER HAS BEEN PROVIDED ON THIS SHEET, SHOWING MORE NUTRIENT OFFSET CREDITS ARE AVAILABLE TO BE PURCHASED WITHIN THE WATERSHED THAN ARE REQUIRED. SINCE THE PHOSPHORUS REMOVAL ACHIEVED BY THESE MEASURES MEETS THE AMOUNT REQUIRED BY THE VRRM REDEVELOPMENT SPREADSHEET, ALL STORMWATER QUALITY REQUIREMENTS FOR THIS PROJECT HAVE BEEN MET AND NO FURTHER ANALYSIS IS REQUIRED.

CONCLUSION

SINCE THE 1-YEAR FLOW RATE IN THE POST DEVELOPED CONDITION MEETS ENERGY BALANCE REQUIREMENTS; AND THE 10-YEAR FLOW RATE IN POST DEVELOPED CONDITION IS SLOWER THAN THE EXISTING FLOW RATE; AND THE PHOSPHORUS REMOVAL RATE MEETS THE VRRM REDEVELOPMENT PHOSPHORUS REMOVAL REQUIREMENT; IT IS THE OPINION OF THE ENGINEER THAT STORMWATER QUANTITY AND QUALITY REQUIREMENTS ARE SATISFIED FOR THIS PROJECT.

ADEQUATE OUTFALL NARRATIVE

THE EXISTING SITE DRAINS INTO EXISTING STORM CONVEYANCE SYSTEMS THAT OUTFALL TO THE SOUTH OF THE PROPERTY (IDENTIFIED AS POI#1). SINCE THE OVERALL FLOWS TO THE POI FOR THE 1-YEAR AND 10-YEAR STORM EVENTS ARE REDUCED WITH THE DEVELOPMENT OF THIS SITE, THE OUTFALL SHOULD BE CONSIDERED ADEQUATE. AS SUCH, IT IS THE OPINION OF THE ENGINEER THAT ADEQUATE OUTFALL REQUIREMENTS HAVE BEEN MET FOR THE SUBJECT SITE.

REVISIONS

COMMENT 11/27/19 | COMMENTS

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DRAWN BY: CHECKED BY: 11/08/2019

CAD I.D.:

SITE PLAN

HAYMARKET HOTE VENTURE, LLC

PROPOSED SITE

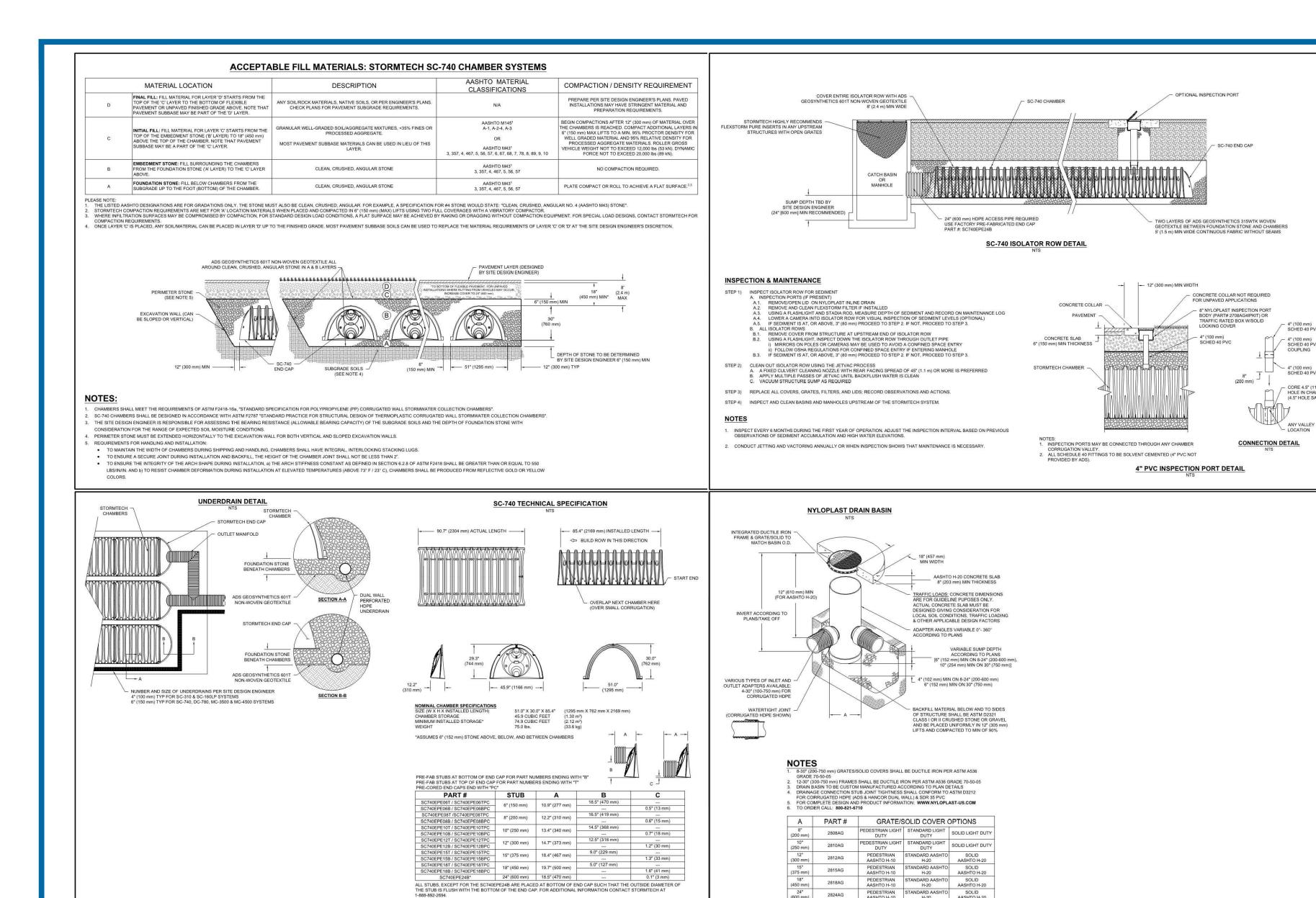
15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com

SWM/BMP

REVISION 1 - 11/27/19

Packet Pg. 32



THE ISOLATOR® ROW

INTRODUCTION An important component of any Stormwater Pollution Prevention Plan is inspection and maintenance. The StormTech Isolator Row is a patented technique to inexpensively enhance Total Suspended Solids (TSS) removal and provide easy access for inspection and

THE ISOLATOR ROW

The Isolator Row is a row of StormTech chambers, either SC-160LP. SC-310, SC-310-3, SC-740, DC-780, MC-3500 or MC-4500 models. that is surrounded with filter fabric and connected to a closely located manhole for easy access. The fabric-wrapped chambers provide for settling and filtration of sediment as storm water rises in the Isolator Row and ultimately passes through the filter fabric. The open bottom chambers and perforated sidewalls (SC-310, SC-310-3 and SC-740 models) allow storm water to flow both vertically and horizontally out of the chambers. Sediments are captured in the Isolator Row protecting the storage areas of the adjacent stone and chambers from sediment accumulation.

Two different fabrics are used for the Isolator Row. A woven geotextile fabric is placed between the stone and the Isolator Row chambers. The tough geotextile provides a media for storm water filtration and provides a durable surface for maintenance operations. It is also designed to prevent scour of the underlying stone and remain intact during high pressure jetting. A non-woven fabric is placed over the chambers to provide a filter media for flows passing through the perforations in the sidewall of the chamber. The non-woven fabric is not required over the DC-780, MC-3500 or MC-4500 models as these chambers do not have perforated side walls.

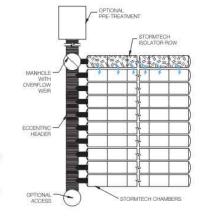
The Isolator Row is typically designed to capture the "first flush" and offers the versatility to be sized on a volume basis or flow rate basis. An upstream manhole not only provides access to the Isolator Row but typically includes a high flow weir such that storm water flowrates or volumes that exceed the capacity of the Isolator Row overtop the over flow weir and discharge through a manifold to the other chambers. The Isolator Row may also be part of a treatment train. By treating storm water prior to entry into the chamber system, the service life can be extended and pollutants such as hydrocarbons can be captured. Pre-treatment best management practices can be as simple as deep sump catch basins, oil-water separators or can be innovative storm water treatment devices. The design of the treatment train and selection of pretreatment devices by the design engineer is often driven by regulatory requirements. Whether pretreatment is used or not, the Isolator Row is recommended by StormTech as an effective means to minimize maintenance requirements and maintenance costs. Note: See the StormTech Design Manual for detailed information on designing inlets for a StormTech system, including the Isolator Row.

designing inlets for a StormTech system, including the Isolator Row.

Looking down the Isolator Row from the



StormTech Isolator Row with Overflow Spillway (not to scale)



ADS STORMTECH MAINTENANCE GUIDE



INSPECTION/MAINTENANCE INSPECTION

The frequency of inspection and maintenance varies by location. A routine inspection schedule needs to be established for each individual location based upon site specific variables. The type of land use (i.e.

industrial, commercial, residential), anticipated pollutant load, percent imperviousness, climate, etc. all play a critical role in determining the actual frequency of inspection and maintenance practices. At a minimum, StormTech recommends annual inspections. Initially, the Isolator Row should be inspected every 6 months for the first year

of operation. For subsequent years, the inspection should be adjusted

based upon previous observation of sediment deposition. The Isolator Row incorporates a combination of standard manhole(s) and strategically located inspection ports (as needed). The inspection ports allow for easy access to the system from the surface, eliminating the need to

perform a confined space entry for inspection purposes. If upon visual inspection it is found that sediment has accumulated, a stadia rod should be inserted to determine the depth of sediment. When the average depth of sediment exceeds 3 inches throughout the length

of the Isolator Row, clean-out should be performed. MAINTENANCE The Isolator Row was designed to reduce the cost of periodic maintenance. By "isolating" sediments to just

one row, costs are dramatically reduced by eliminating the need to clean out each row of the entire storage

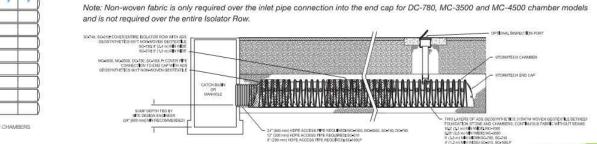
bed. If inspection indicates the potential need for maintenance, access is provided via a manhole(s) located on the end(s) of the row for cleanout. If entry into the manhole is required, please follow local and OSHA rules for a confined space entries. Maintenance is accomplished with the JetVac process. The JetVac process utilizes a high pressure water nozzle to propel itself down the Isolator Row while scouring and suspending sediments. As the nozzle is retrieved, the captured pollutants are flushed back into the manhole for vacuuming. Most sewer and pipe maintenance companies have vacuum/JetVac combination vehicles. Selection of an appropriate JetVac nozzle will improve maintenance efficiency. Fixed nozzles designed for culverts or large diameter pipe cleaning are

preferable. Rear facing jets with an effective spread of at least 45" are best. Most JetVac reels have 400 feet

of hose allowing maintenance of an Isolator Row up to 50 chambers long. The JetVac process shall only be performed on StormTech Isolator Rows that have AASHTO class 1 woven geotextile (as specified by

StormTech) over their angular base stone.

StormTech Isolator Row (not to scale)



ISOLATOR ROW STEP BY STEP MAINTENANCE PROCEDURES

Inspect Isolator Row for sediment.

A) Inspection ports (if present)
 i. Remove lid from floor box frame

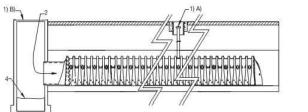
- ii. Remove cap from inspection riser iii. Using a flashlight and stadia rod, measure depth of sediment and record results on maintenance log. iv. If sediment is at or above 3 inch depth, proceed to Step 2. If not, proceed to Step 3.
- B) All Isolator Rows i. Remove cover from manhole at upstream end of Isolator Row ii. Using a flashlight, inspect down Isolator Row through outlet pipe
- 1. Mirrors on poles or cameras may be used to avoid a confined space entry
- 2. Follow OSHA regulations for confined space entry if entering manhole iii. If sediment is at or above the lower row of sidewall holes (approximately 3 inches), proceed to Step 2. If not, proceed to Step 3.

Clean out Isolator Row using the JetVac process. A) A fixed floor cleaning nozzle with rear facing nozzle spread of 45 inches or more is preferable B) Apply multiple passes of JetVac until backflush water is clean

C) Vacuum manhole sump as required

Replace all caps, lids and covers, record observations and actions.

Inspect & clean catch basins and manholes upstream of the StormTech system.



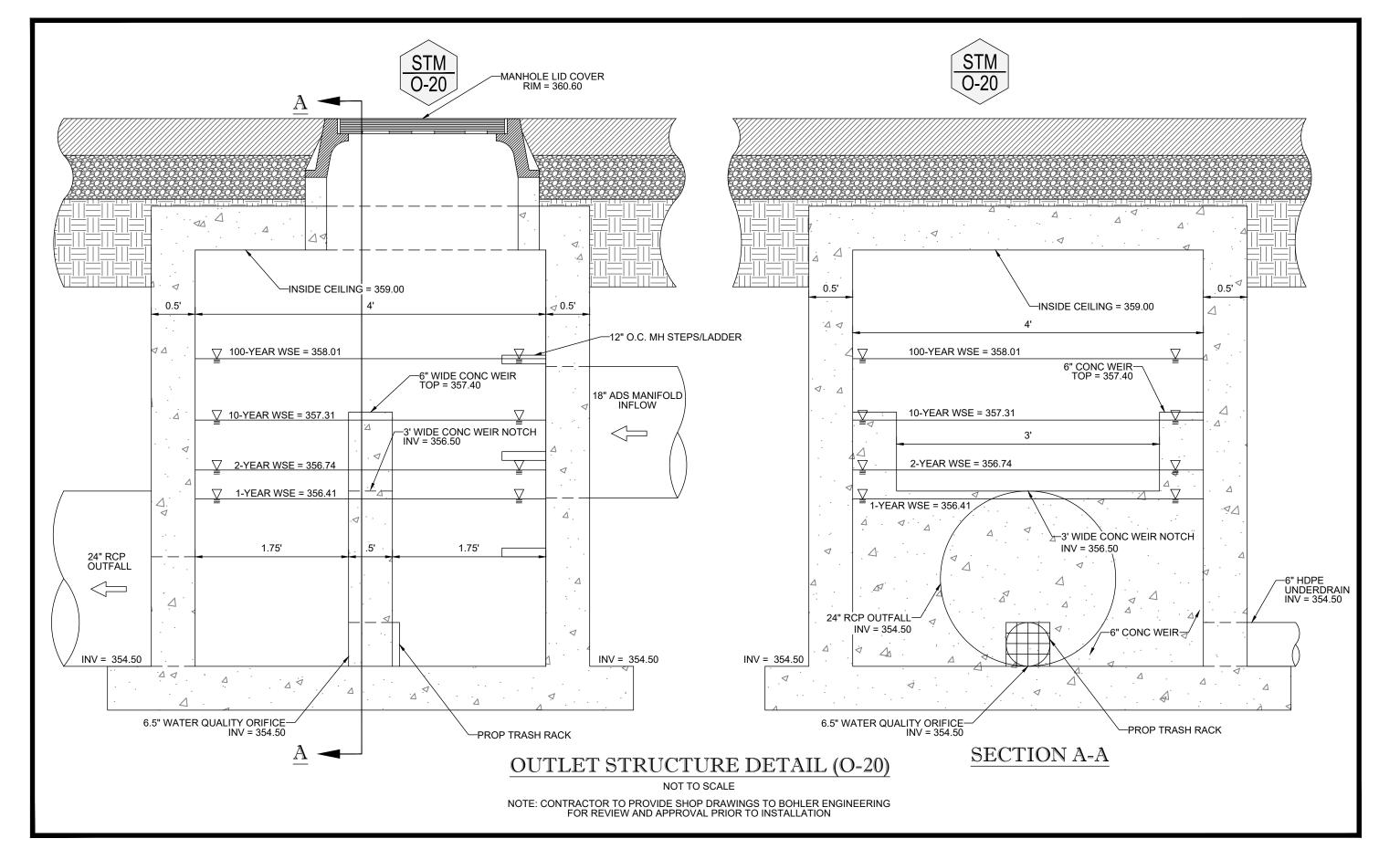
	-/ ISHARIPARAPARA	1/ 1144	rarararararara		
AMPLE	MAINTENANCE L	Mark Control			
	Stadia Ro	d Readings	Sediment Depth		
Date	Fixed point to chamber bottom (1)	Fixed point to top of sediment (2)	(1)-(2)	Observations/Actions	
/15/11	6.3 ft	none		New installation, Fixed point is CI frame at grade	
					*



System jetted and vacuumed

ADS STORMTECH (SC-740) DETAIL SHEETS

* FOR THE SC740EPE24B THE 24* (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75* (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.



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11/08/2019 1/08/2019 HDP **- 0**

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SITE PLAN DOCUMENTS

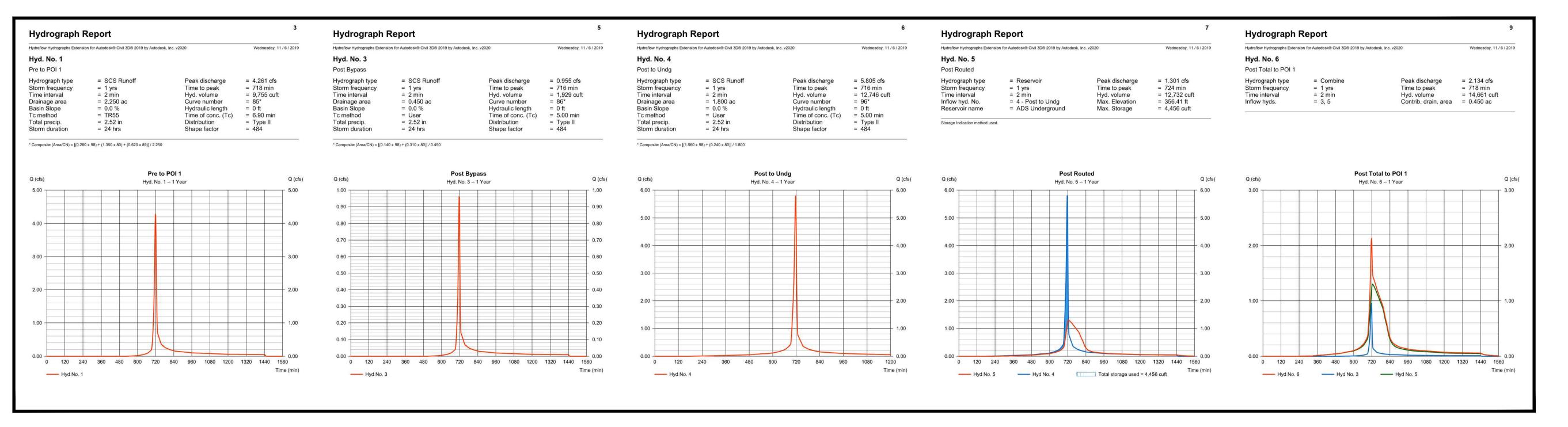
HAYMARKET HOTE VENTURE, LLC

PROPOSED SITE

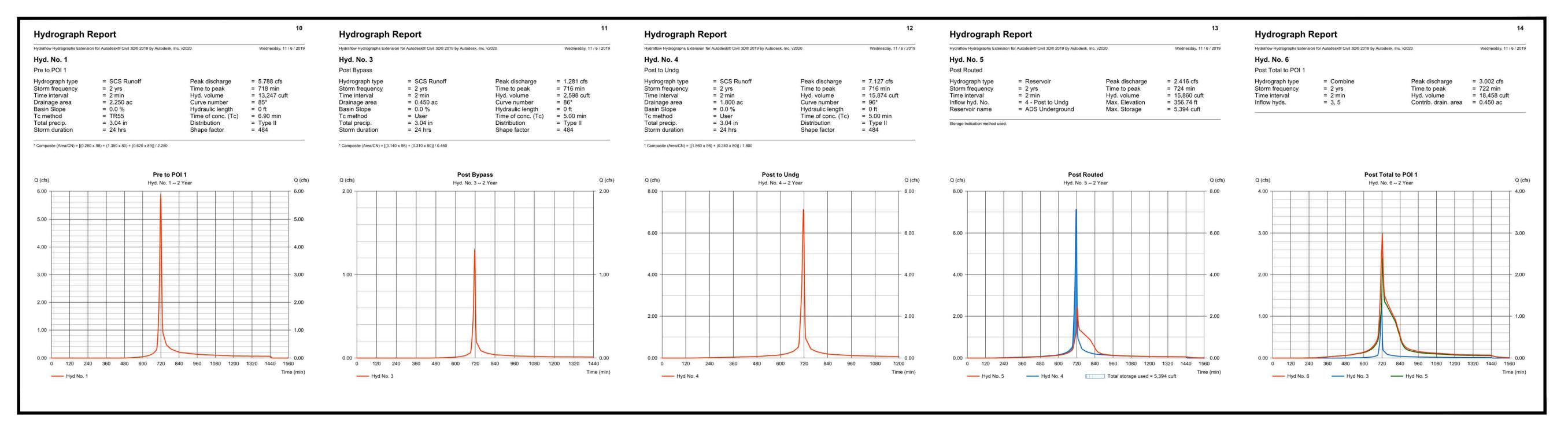
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SWM/BMP DETAILS



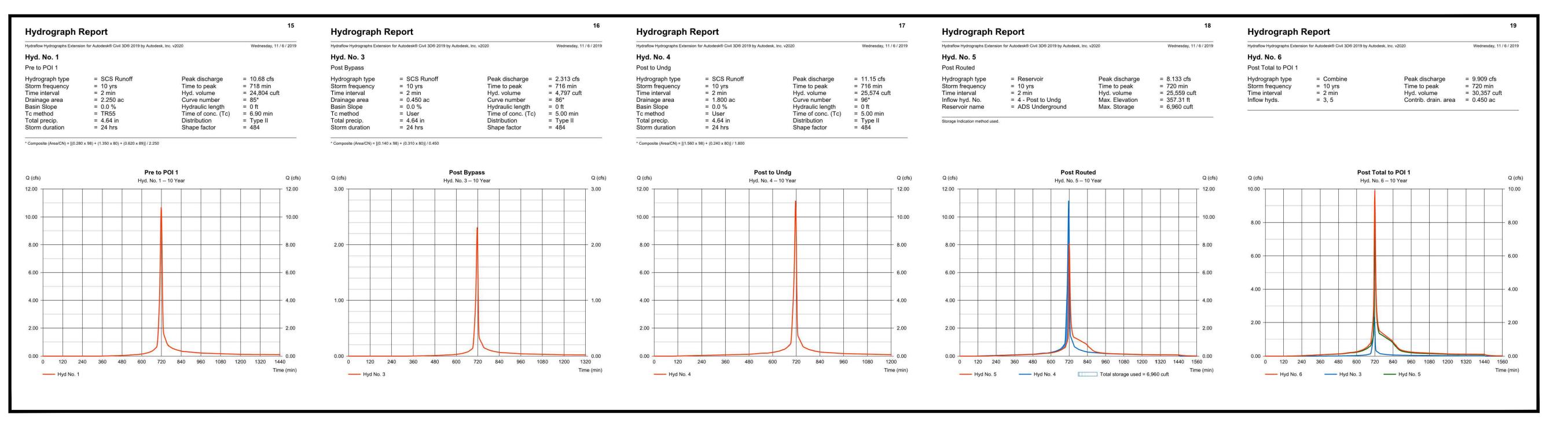
1-YEAR STORM HYDROGRAPHS



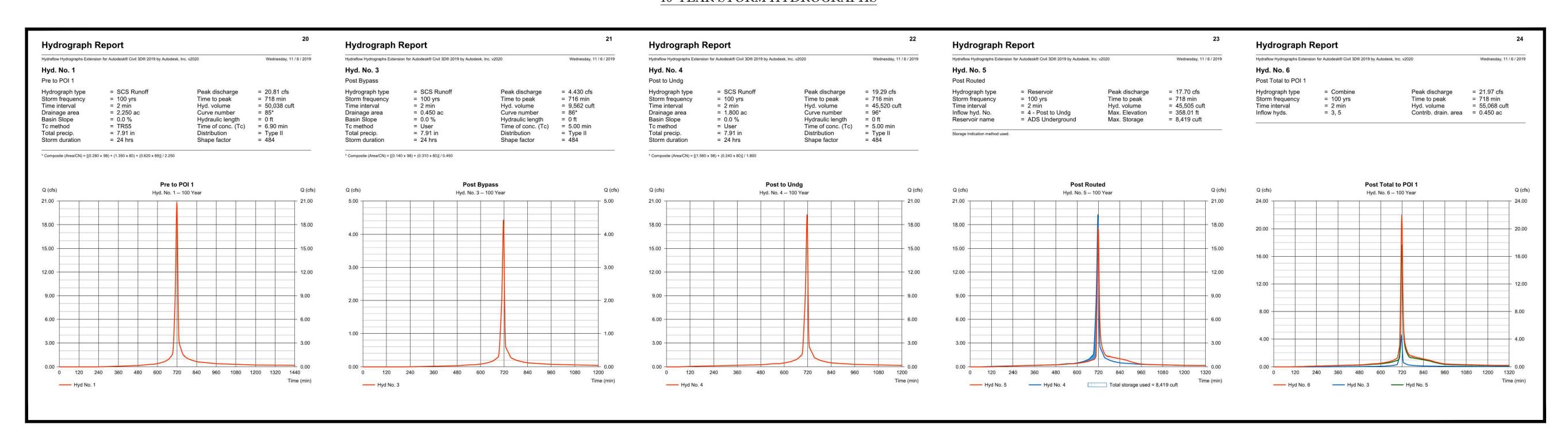
2-YEAR STORM HYDROGRAPHS



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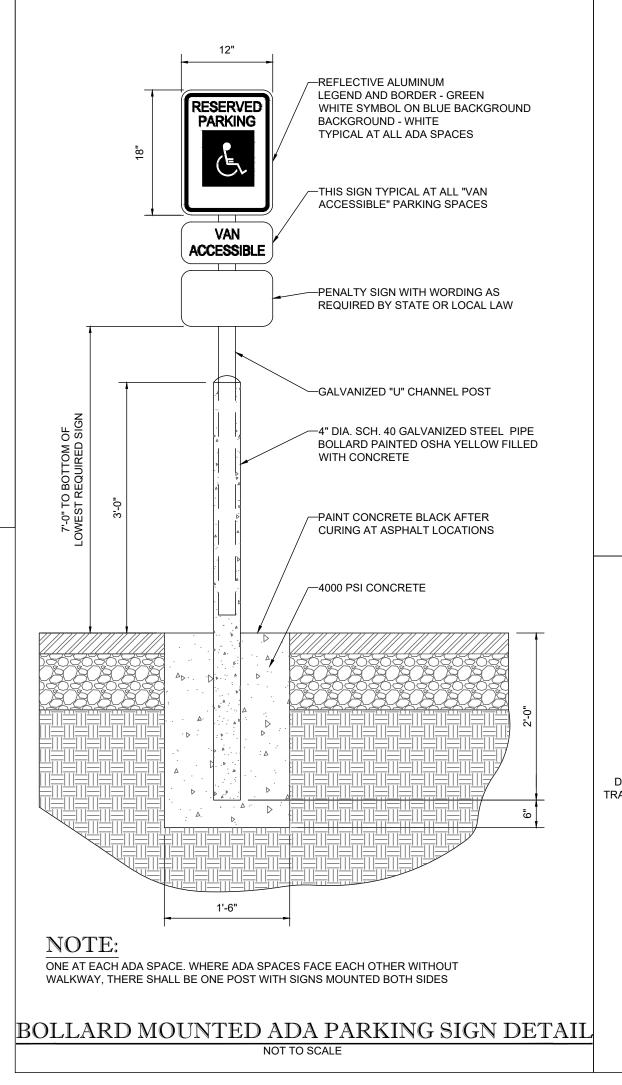


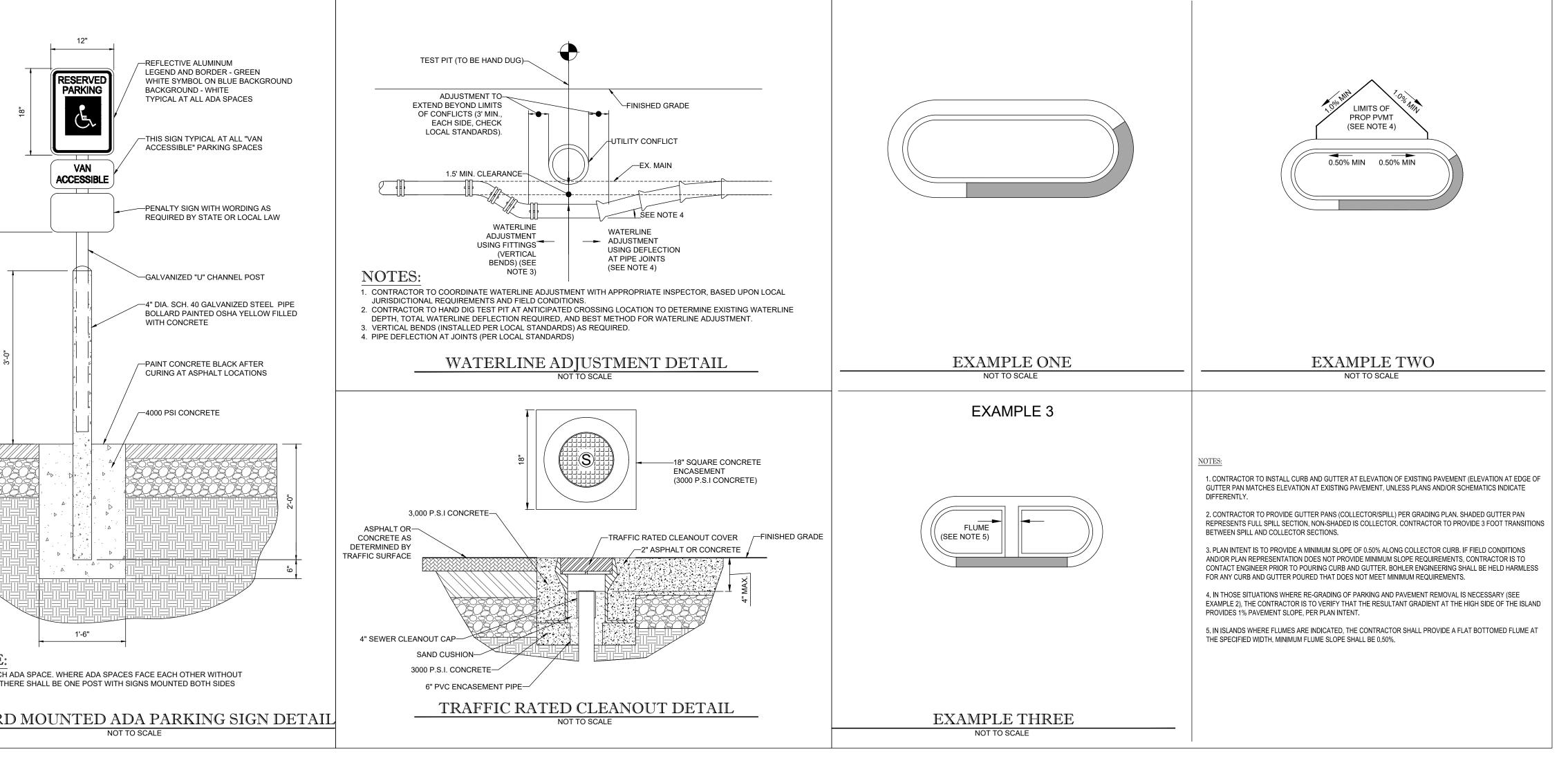
10-YEAR STORM HYDROGRAPHS

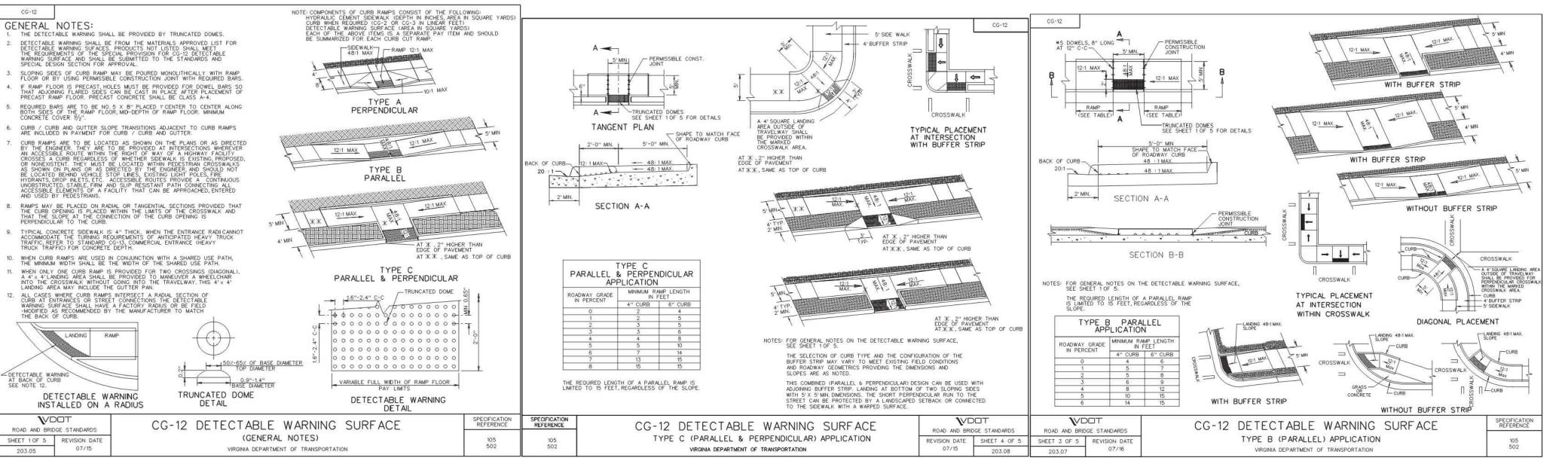


100-YEAR STORM HYDROGRAPHS

REVISIONS DATE COMMENT TOWN AND VDOT 11/27/19 | COMMENTS REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A INSTRUCTION DOCUMENT</u> UNLESS INDICATED OTHERV Know what's **below. Call** before you dig. **ALWAYS CALL 811** It's fast. It's free. It's the law. NOT APPROVED FOR CONSTRUCTION DRAWN BY: 11/08/2019 HDP **- 0** CAD I.D.: SITE PLAN DOCUMENTS HAYMARKET HOTEI VENTURE, LLC PROPOSED SITE 15001 WASHINGTON STREET TOWN OF HAYMARKET RINCE WILLIAM COUNTY, VIRGINIA 8 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com HYDROGRAPHS C - 805









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11/08/2019

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SITE PLAN

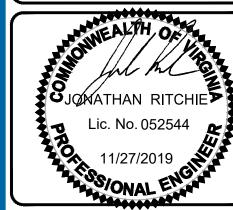
DOCUMENTS HAYMARKET HOTEI VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA

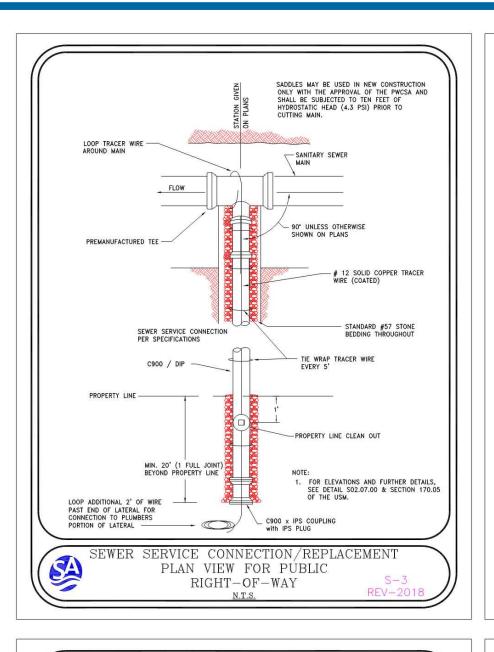
BOHLER ENGINEERING

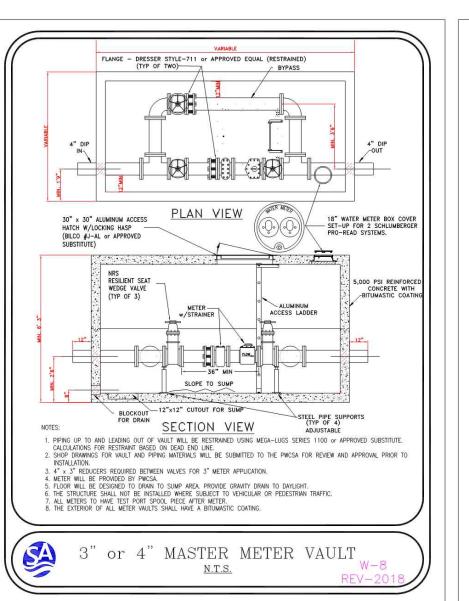
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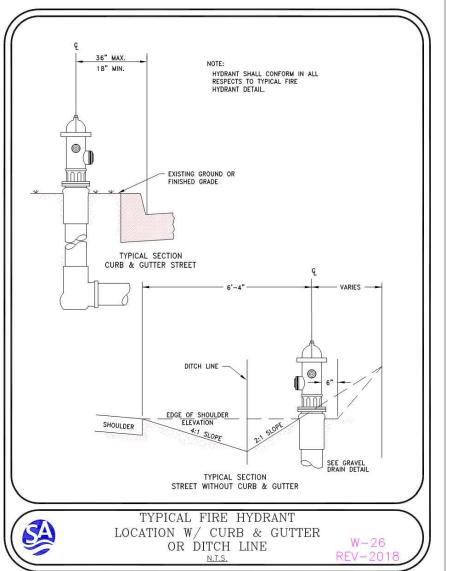


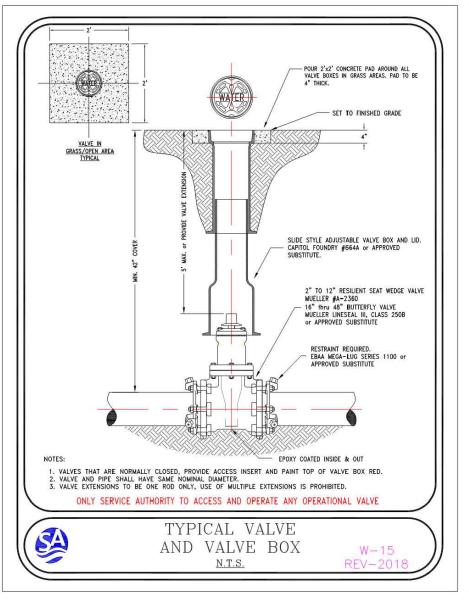
CONSTRUCTION DETAILS

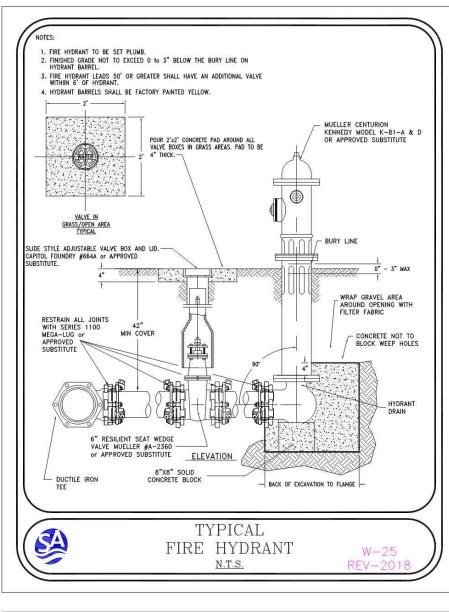
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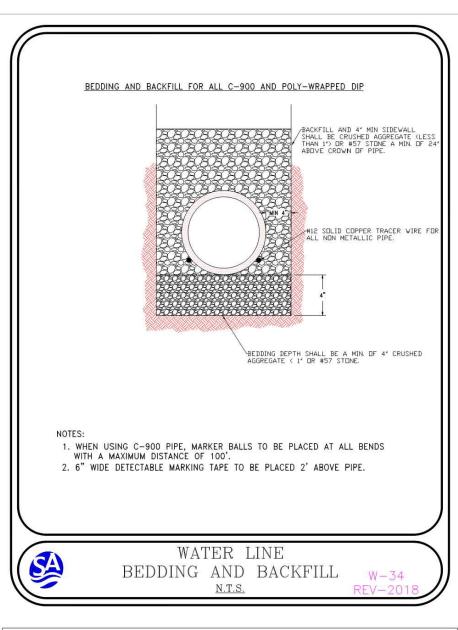


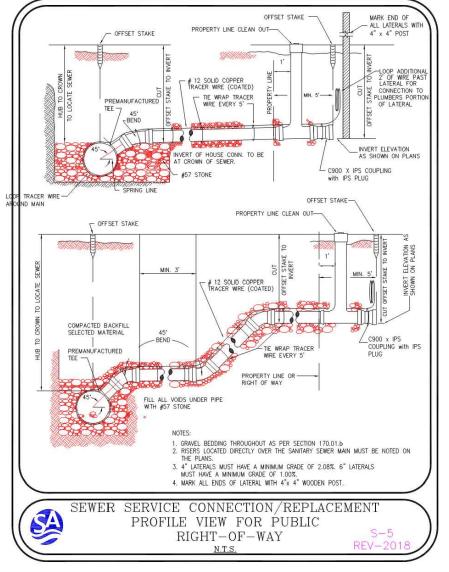


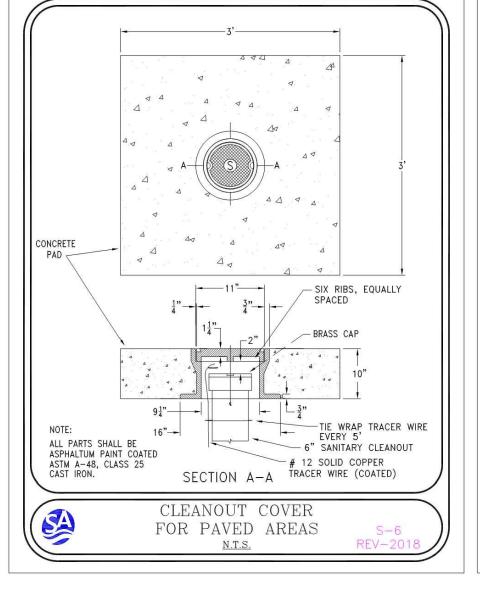


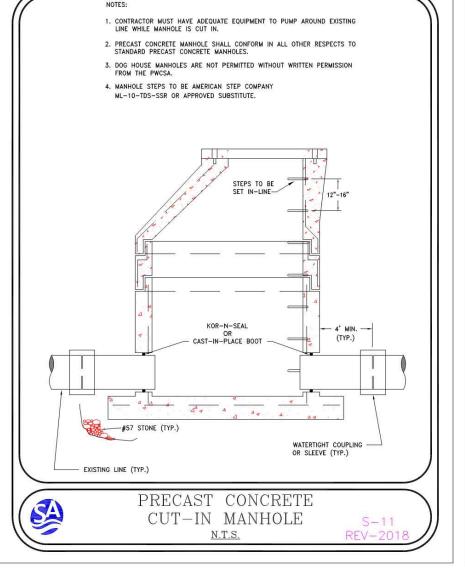


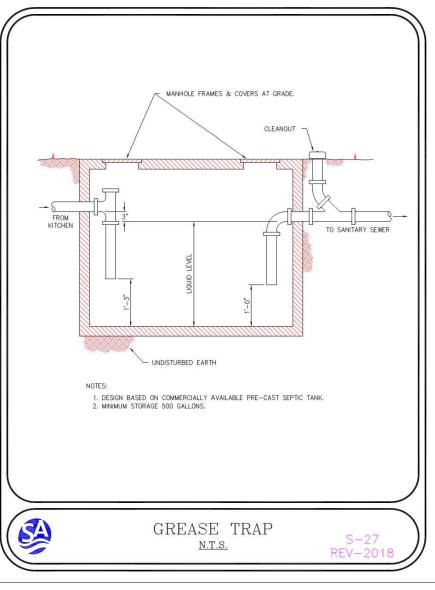


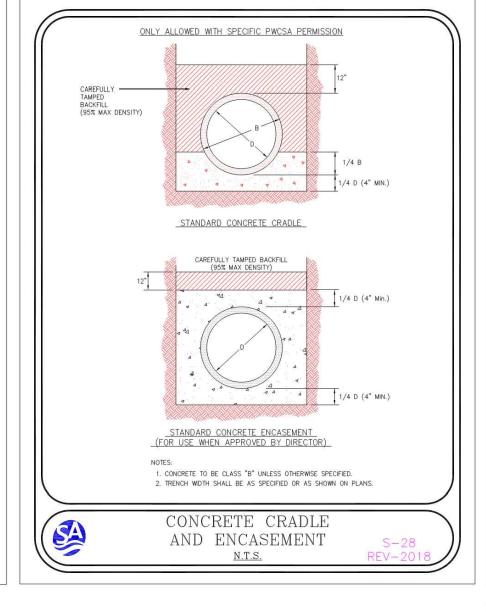


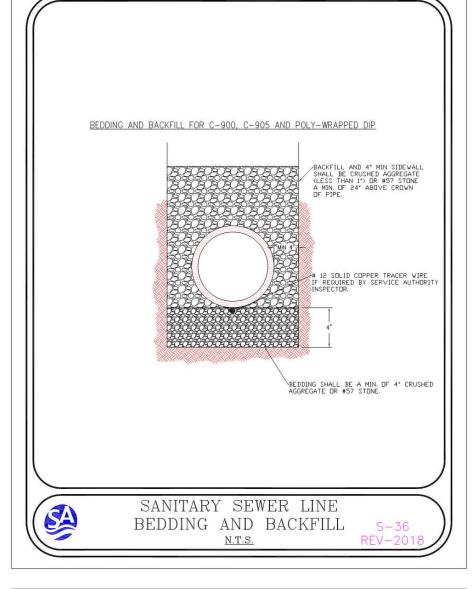


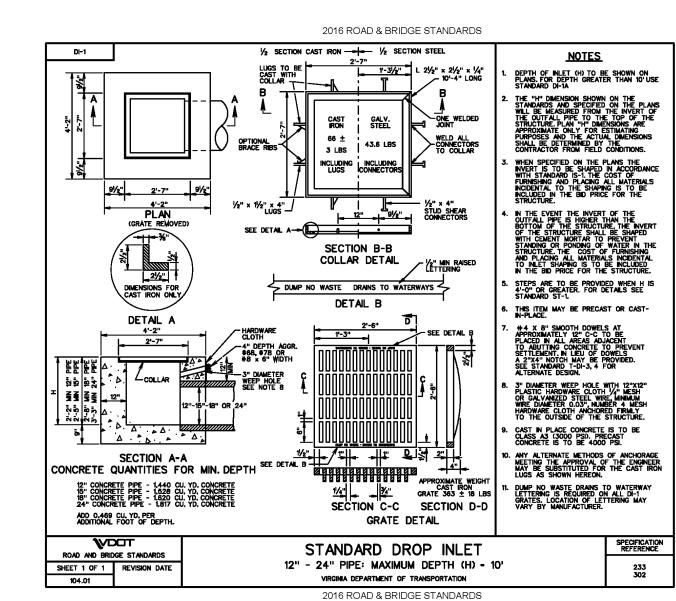


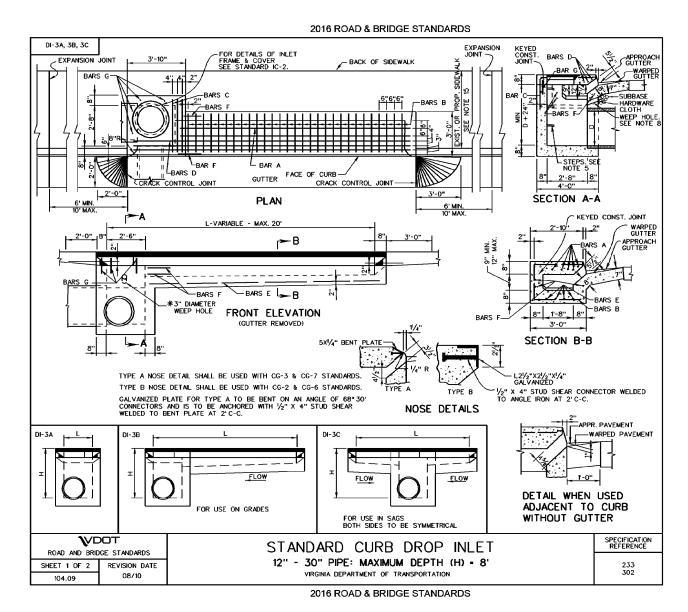


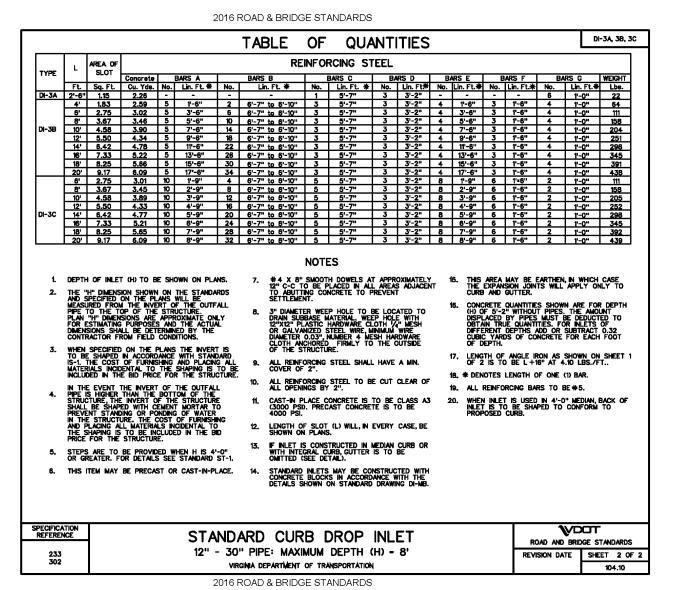


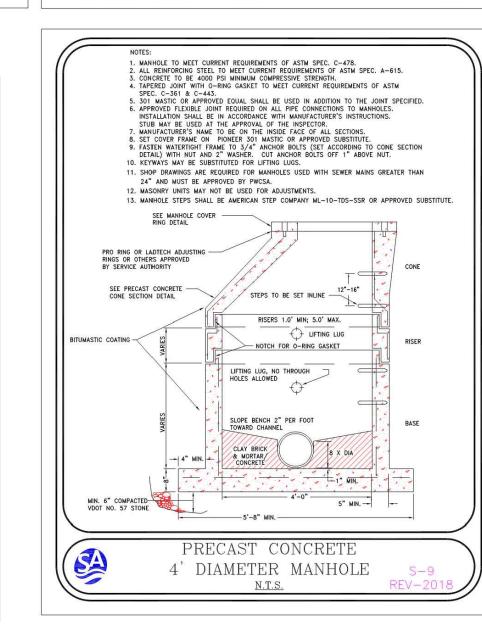


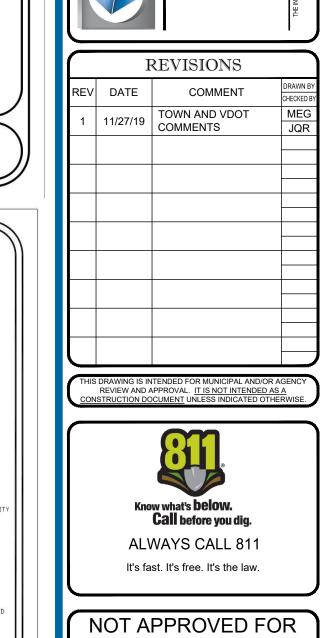


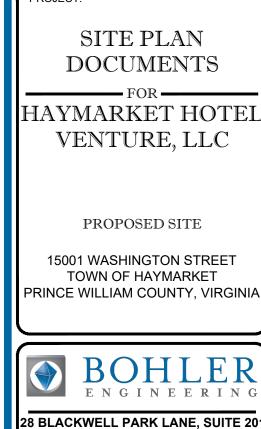












CONSTRUCTION

11/08/2019

SDP - 1

DRAWN BY:

DATE: CAD I.D.:



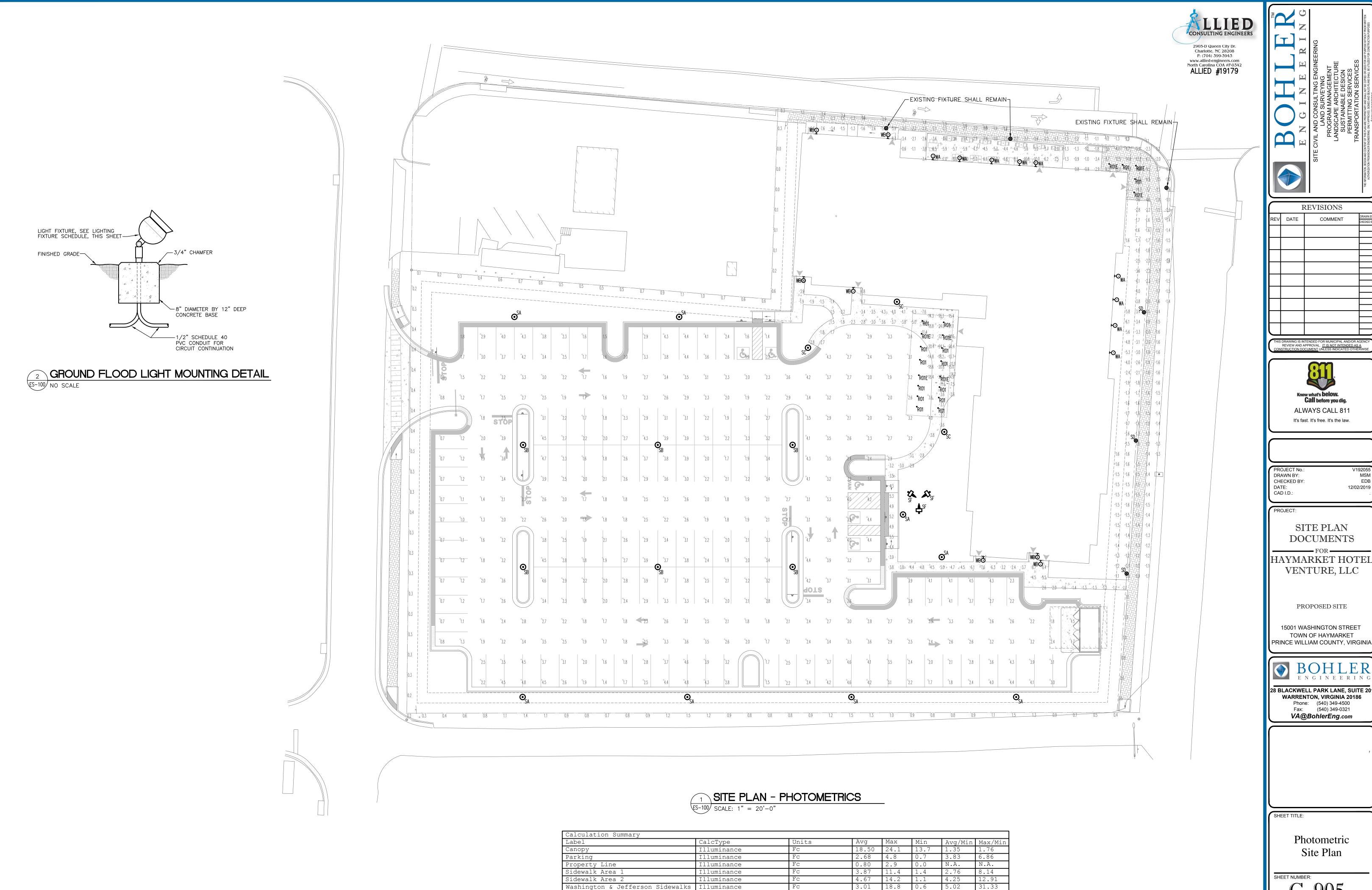
UTILITY
DETAILS

NUMBER:
C-903

	UNIT PRICE LISTS	FOR PERFORMANCE BO	NDS, LANDSCAPI	ING ESCROWS AND SILTA	TION & EROSIO	N CONTROL ESCROWS		Nous PROPRING NOT PROPRIES
						7. LANDSCAPING ESCROWS		ING RING
REVISED: March 15, 2017	EFFECTIVE DATE: March 15, 2017	J. MISCELLANEOUS DRAINAGE ITEMS		QTY	COST	A. DECIDUOUS TREES		NS ANY PROPERTY IN COLUMN TO SHARE ANY PROPERTY IN COLUMN TARKET AND ANY PROPERTY AND AND ANY PROPERTY AND A
PROJECT NAME : Ho	otel - Haymarket, VA	QTY Box Culvert	COST @ \$ 727 CY	Guardrail GR-7 NCHRP 350	@ \$ 39 LF @ \$ 2,686 EA	QTY 5' - 6'	COST @ \$ 165 EA	ENGINE STORY CONTRACTED TO THE PART OF THE
P.W.C. FILE#:TBD	DATE PREPARED: Nov 08, 2019	Energy Dissipater	@ \$ 1,953 EA	GR-9	@ \$ 3,640 EA	1" - 1.5 " or 1.5" - 2"	@ \$ 165 EA	NG E WING E SING SERVICE SER
Note: This form is to be used to estimate performan		Wing Walls	@ \$ 860 CY	Address Sign (Entrance to Pipestems) Street Name Sign	@ \$ 398 EA		@ \$ 250 EA <u>\$ 10,250</u> @ \$ 450 EA	SULTI JRVE JRCF ARCH BLE I G SE G SE TION
escrow prices posted with Prince William County. be bonded separately with the Virgini	•	Ditches		Traffic Control Sign Bus Stop Sign	@ \$ 392 EA @ \$ 342 EA	B. EVERGREEN TREES		CONS SID SU APE A AINA AINA AINA ORTAN
1. MOBILIZATION/DEMOBILIZATION OF CONSTR	RUCTION FOLIPMENT	Roadside standard ditches (Seed, fertilize and mulch)	@ \$ 7.00 LF	Bus Shelter Traffic Signal	@ \$ 17,284 EA @ \$ LUMP SUM	5' - 6'	@\$ 125 EA	ND C LAN LAN COGR OGRA OGRA UST, USPC
		Sod Ditches	@ \$ 9.00 LF	HC Parking Space Sign	@ \$ 649 EA	6' - 7'	@\$ 175 EA	AIL A AIL A BE CRAN CHINEPLA CH
1 Mobilization/Demobilization	@ LUMP SUM	Paved Ditches Filter Cloth Fabric & Gabion Stone	@ \$ 8.00 SF @ \$ 14.00 SF	Bike Rack Roadside Delineators (ED-1)	@ \$ 305 EA @ \$ 64 EA	7' - 8' 8' - 10'	@ \$ 300 EA <u>\$ 3,000</u> @ \$ 400 EA	E CIN
2. <u>STORM DRAINAGE</u>		Rip-Rap Grouted Rip-Rap	@ \$ 7.00 SF @ \$ 9.00 SF	Hand Rail (HR-1) Pavement Marking (Paint)	@ \$ 102 LF @ \$ 2.00 SF	C. SHRUBS		SIT
A. STRUCTURES		Paved Flume 8 Flush the Drainage System	@ \$ 10.00 SF @ \$ 250 HR \$ 2,000	Pavement Marking (Thermoplastic) Traffic Barricade (TB-1)	@ \$ 6.00 SF @ \$ 1,500 EA	287 18" - 24"	@\$ 45 EA \$ 12,915	RMATION, ITHORIZATION,
QTY COST	QTY COST		8 hours Min.	8 Street Lighting	@ \$ 5,500 EA \$ 44,000	24" - 30"	@ \$ 45 EA <u>\$ 12,915</u> @ \$ 55 EA	THEINA
<u>4</u> DI-1 @ \$ 3,970 EA <u>\$ 15,880</u> 2 DI-3 @ \$ 4,500 EA <u>\$ 9,000</u>	JB-1 @ \$ 6,000 EA DI-7 @ \$ 4,000 EA		SUB-TOTAL \$ 163,700	Utilities Relocation (Or provide an estimate from utility company)	\$40,000 Min.	D. ORNAMENTAL		
DI-4 @ \$ 5,500 EA 5 MH-1 @ \$ 3,000 EA \$ 15,000	DI-12 @ \$ 4,000 EA MH-2 @ \$ 3,500 EA	3. CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-	-WAY	VDOT Street Acceptance Package P.E. Certified "As-Built" Plans	@ \$ 5,000 @ \$ LUMP SUM	8 1 Gal. (#1)	@\$ 10 EA \$ 80	REVISIONS
B. CONCRETE PIPE	<u> </u>	AND/OR PRIVATE INGRESS/EGRESS EASEMENTS			\$12,000 Min.	2 Gal. (#2) 3 Gal. (#3)	@ \$ 22 EA @ \$ 30 EA	REV DATE COMMENT CHECKER TOWN AND VDOT MEDICAL CHECK
		A. SITE WORK			SUB-TOTAL \$ 78,700		@ \$ 30 EA	1 11/27/19 COMMENTS JQF
12" @\$ 40 LF 432 15" @\$ 45 LF <u>\$ 19,440</u> 20 18" @\$ 50 LF \$ 1,000	36" @ \$ 120 LF 42" @ \$ 140 LF	Clear & Grub	@ \$ 11,860 AC	4. SANITARY SEWER & WATER LINE CONSTRUCTION		<i>E. PERENNIAL</i> 18" - 24"	@\$ 9 EA	
	48" @ \$ 150 LF 54" @ \$ 200 LF	Excavation Embankment** (cut and fill)	@ \$ 26.00 CY @ \$ 10.00 CY	WATERMAIN (Exclusive of Fire Hydrants)		F. REFORESTATION		
21" @\$ 55 LF 23 24" @\$ 60 LF <u>\$ 1,380</u> 27" @\$ 65 LF	60" @ \$ 240 LF	Embankment (haul off) Final Grading	@ \$ 36.00 CY @ \$ 5,000.00 AC	4" DIP	@\$ 50 LF	# of Acres	© ¢ 44.700 A.C	
30"	66" @ \$ 300 LF72" @ \$ 350 LF	Rock Excavation	@ \$ 64.00 CY	6" DIP	@ \$ 65 LF		@ \$ 11,700 AC	
33" @\$ 110 LF		Slope Stabilization - Hydroseeding (3:1 or flatter)	@ \$ 1.00 SY	8" DIP 12" DIP	@ \$ 78 LF @ \$ 108 LF	TOTAL LANDSCAPE ESCROW AMOUNT	<u>\$ 26,245</u>	
C. END WALLS		Slope Stab Jute Mesh, Matting, Blankets	s, etc. @ \$ 6.00 SY	16" DIP 18" DIP	@ \$ 140 LF @ \$ 160 LF	7. SILTATION AND EROSION CONTROL ESCROWS		
12"	36"	(Between 2:1 to 3:1)	\$200 Min.	4" or 6" RW Valve (with Accessories) 8" or 12" RW Valve (with Accessories)	@ \$ 1,000 EA		@ \$ 6 LF <u>\$ 1,500</u> @ \$ 500 HR \$ 20,000	
15"	48" @ \$ 4,200 EA	Slope Stab Sod	@ \$ 8.00 SY	16" or 24" RW Valve (with Accessories)	@ \$ 2,500 EA	Silt Traps, and Sediment Basins	\$20,000 Min. Lump Sum	THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR ACTION
21" @ \$ 1,500 EA 24" @ \$ 1,700 EA	54" @ \$ 5,000 EA 60" @ \$ 5,500 EA	(Between 2:1 to 3:1)	\$200 Min.	Fire Hydrant Assembly Central Sewer Lift/Pump Station Construction	@ \$ 8,000 EA @ \$ LUMP SUM	492 Silt Fence 0' - 1,000' (installation, maintenance for 1 year & removal	@ \$ 8 LF <u>\$ 3,936</u>)	REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE
27" @ \$ 1,900 EA 30" @ \$ 2,100 EA	66" @ \$ 6,000 EA	Steep Slopes (Grading and Stabilization with Jute Mesh, Netting, Blankets, etc.)	@ \$ 17.00 SY	Standard Meter Crock & Appurtenances (Angle Valve, Backflow Preventer, Yoke, Fram	@\$ 2,000 EA	Silt Fence 1,001' - 10,000' (installation, maintenance for 1 year & removal	@\$6LF	
33" @ \$ 2,300 EA	72			Meter Vault & Appurtenances	@ \$ 10,500 EA	Silt Fence 10,000' +	@ \$ 4 LF	811 .
D. END SECTIONS (ES - 1)		B. SUBGRADE, SUBBASE AND BASE CO	OURSE ITEMS	(3" Meters & Larger) Water Main Blow-off Assembly	@ \$ 2,500 EA	(installation, maintenance for 1 year & removal Super Silt Fence 0' - 1,000') @\$ 20 LF	
12" @\$ 550 EA	27" @ \$ 1,200 EA	Subgrade Preparation	@ \$ 3.00 SY	Air Release Assembly Dead End Anchor System	@ \$ 3,500 EA @ \$ 7,500 EA	(installation, maintenance for 1 year & removal Super Silt Fence 1,001' - 10,000') @\$ 10 LF	Know what's below. Call before you dig.
15" @ \$ 580 EA	30" @ \$ 1,130 EA	Subbase & Base Course: Aggregate (21A/21B) (per inch d	looth) @ ¢ 2.50.5V	SANITARY SEWER PIPE LINE (Exclusive of M		(installation, maintenance for 1 year & removal)	ALWAYS CALL 811
21"	33" @ \$ 1,500 EA	Bituminous Concrete (per inch d	lepth) @ \$ 5.50 SY	` `	,	(installation, maintenance for 1 year & removal)	It's fast. It's free. It's the law.
24" @ \$ 900 EA		Reinforced Conc. Pavement (per inch d Gravel Shoulders (4" depth)	lepth) @ \$ 15.50 SY @ \$ 8.50 SY	1.5" thru 4" LPFM (Low Pressure Force Main System)	@ \$ 30 LF	Sod 2,168 Seed, Fertilizer & Mulch	@ \$ 6.00 SY @ \$ 1.50 SY	
E. CORRUGATED METAL PIPES		Soil Cem. Stabilization (4%) (6" depth) Lime Stabilization (10%) (6" depth)	@ \$ 20.50 SY @ \$ 15.00 SY	8" PVC 8" DIP	@ \$ 70 LF @ \$ 80 LF	745 Steep Slopes (grading and stabilization with jute	\$200 Min. @\$ 15.00 SY \$ 11,175	NOT APPROVED FOR
12" @ \$ 30 LF	36" @ \$ 90 LF	Cement Treated Aggregate (per inch d		10" PVC 10" DIP	@ \$ 85 LF	mesh, netting, and blankets, etc.)		CONSTRUCTION
15" @ \$ 35 LF 18" @ \$ 45 LF	42" @ \$ 100 LF 48" @ \$ 115 LF	Underdrains:		12" PVC	@ \$ 90 LF	(# 1 or # 57)	@ \$ 28 TON	PROJECT No.: V192055 DRAWN BY: MEG
24" @ \$ 55 LF 30" @ \$ 65 LF	54" @ \$ 130 LF 60" @ \$ 150 LF	UD-1 UD-2	@ \$ 16.00 LF @ \$ 18.00 LF	12" DIP 15" PVC	@ \$ 150 LF @ \$ 190 LF	11 Inlet Protection Check Dam	@ \$ 165 EA <u>\$ 1,815</u> @ \$ 175 EA	CHECKED BY: JQF DATE: 11/08/2019
F. END SECTION (ES - 2)		UD-3 UD-4	@ \$ 19.00 LF	4' Dia. Sanitary Sewer Manhole 5' Dia. Sanitary Sewer Manhole	@ \$ 10,000 EA	Temp. Construction Entrance 1 Wash Rack	@ \$ 1,150 EA \$ 1,150	CAD I.D.: OCD - 1
·			@ \$ 21.00 LF	Street Manhole Frame & Cover Assembly	@ \$ 1,000 EA	Temp. Sediment Trap		PROJECT:
15"	36" @ \$ 1,100 EA 42" @ \$ 1,400 EA	C. ENTRANCES AND PIPE STEMS		(including Rain Bowl & Chimney Seal) Easement Manhole Frame & Cover Assembly	@\$ 1,000 EA	(Drainage area 0-1 Ac.) (Drainage area 1-2 Ac.)	@ \$ 1,000 EA @ \$ 1,500 EA	CITT DI ANI
24"	48" @ \$ 1,800 EA	DE-1 DE-2	@ \$ 1,800 EA @ \$ 1,950 EA	(including Chimney Seal) Abandonment of Manhole	@ \$ 250 VF	1 (Drainage area 2-3 Ac.) Temporary Sediment Basin	@ \$ 2,000 EA <u>\$ 2,000</u> By itemized cost	SITE PLAN DOCUMENTS
		DE-3	@ \$ 2,000 EA	4" PVC Lateral (including clean-out stack)	@ \$ 40 LF	Channel Diversion	By itemized cost	FOR
G. AD N-12 (HDPE)		DE-4 PP-1 (1 lot)	@ \$ 2,000 EA @ \$ 1,800 EA	4" DIP Lateral (including clean-out stack) 6" PVC Lateral (including clean-out stack)	@ \$ 50 LF @ \$ 60 LF	6' Chain-link Safety Fence 1,266 4' Plastic Orange Safety Fence	@ \$ 20 LF <u> </u>	HAYMARKET HOTE
12"	30" @ \$ 85 LF 36" @ \$ 95 LF	PP-1 (2 - 5 lots) PP-2 (1 lot)	@ \$ 2,000 EA @ \$ 1,200 EA	6" DIP Lateral (including clean-out stack) LPFM Flushing Station	@ \$ 65 LF @ \$ 2,500 LF	Yard utility refurbishment (Single Family Lot) 100 Stockpile Removal (Quantity based on policy)	@ \$ 750 EA @ \$ 25 CY \$ 2,500	VENTURE, LLC
18"	42" @ \$ 105 LF 48" @ \$ 125 LF	PP-2 (2 - 5 lots) CG-9D or equal (30' Width)	@ \$ 1,500 EA	Sewerage Air Release/Vacuum Breaker Assemb		2 Removal of Erosion Control Measures	@ AC <u>\$ 2,000</u> \$200 Min.	
End @ \$ EA	60" @\$ 165 LF	CG-9D or equal (40' Width)	@ \$ 6,500 EA	Grease Trap (500 Gal. Minimum)	@ \$ 4,500 EA	Level Spreader	By itemized cost	
Section		CG-10A or equal (30' Width) CG-10A or equal (40' Width)	@ \$ 4,120 EA @ \$ 5,300 EA	For sizes larger than 15", add \$4.00 per inch incr	rease in diameter.		TOTAL \$ 55,126	PROPOSED SITE
H. STORMWATER MANAGEMENT / BMP PER IMPERVIOUS ACRE TREATED (SE		1 CG-11 (Concrete Entrance) Valley Gutter	@ \$ 3,000 EA \$ 3,000 @ \$ 55 SY		SUB-TOTAL \$ -	ADMINISTRATIVE C	OST (10% of Total Cost) \$ 5,513	15001 WASHINGTON STREET
Non-Proprietary BMP	By Itemized Cost	Pipestem Driveway - 10' (1 lot) Pipestem Driveway - 18' (2-5 lots)	@ \$ 55 LF	TOTAL CO	NSTRUCTION COST \$ 257,400	TOTAL SILTATION & EROSION CONT	`	TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA
(Engineer Estimate for all SWM)			@ \$ 70 LF					L
Proprietary/Manufactured BMP - CDS Unit (Manufacturer's Certified Cost Plus Cons	g e e e e e e e e e e e e e e e e e e e	D. MISCELLANEOUS CONSTRUCTION 17	I EMS	5. MISCELLANEOUS COSTS		(Minimum acceptable amount for Siltation and	I Erosion Control Escrow is \$1,000.00)	
Proprietary/Manufactured BMP - Undergrou (Manufacturer's Certified Cost Plus Cons	und System By Itemized Cost <u>\$ 100,000</u>	550 Sidewalk (5' Width) 95 Header Curb (CG-2/CG-3)	@ \$ 34 LF <u>\$ 18,700</u> @ \$ 20 LF \$ 1,900	A. ADMINISTRATIVE COST - 10% of the total cor not to exceed \$50,000	nstruction cost \$ 25,740	I hereby certify that the above is my best estimate of the qua improvements, landscaping items, and Siltation & Erosion Con		BOHLER
I. MISCELLANEOUS STORMWATER MAI	,	204 Curb & Gutter 3 CG-12 (Exposed Aggregate)	@ \$ 25 LF <u>\$ 5,100</u>	B. INFLATION COST - Compounded annually at of the total Construction Cost	3.0% per year \$ 7,722	plan.	III CADAIVISION OF SILC	ENGINEERING 28 BLACKWELL PARK LANE, SUITE 20
		Bicycle Trail/Walkway	@ \$ 9.00 SF	TOTAL PERFORMANCE BOND AMOUNT	\$ 290,862			WARRENTON, VIRGINIA 20186
Seed, Fertilizer, Mulch Sod	\$200 Min. @ \$ 1.50 SY @ \$ 6.00 SY	Raised Concrete Median (MS-1A)	@ \$ 70 SY			PREPARER'S SIGNATURE	TELEPHONE #	Phone: (540) 349-4500 Fax: (540) 349-0321
Hydraulic Cem. Conc 4" depth Bituminous Concrete - 1" depth	@ \$ 6.00 SF @ \$ 5.00 SY	Trail (Wood Chip) Trail (Stone Dust)	@ \$ 19 SY	6. FLOODPLAIN ITEMS ESCROW				VA@BohlerEng.com
Rip-Rap	@ \$ 7.00 SF		@ \$ 19 SY	LOMR	@ \$ 15,000			NEALTH OF
Grouted Rip-Rap Erosion Control Stone (EC - 1)	@ \$ 9.00 SF @ \$ 113.00 TON	Retaining Walls Timber	@\$ 29 SF	Elevation Certificate LOMC (SF Detached)	@ \$ 800 @ \$ 1,500	NAME (print)	COMPANY OR FIRM	A STORE OF THE PERSON OF THE P
# 57 - Coarse Aggregate 4' High Chain Link Fence	@ \$ 26.00 TON @ \$ 19.00 LF	Crib MSE/Geogrid	@ \$ 38 SF @ \$ 43 SF	Stream Restoration	By Itemized Cost			JONATHAN RITCHIE
(# 9 gauge or better, including braces, er	nd posts and gate)	Gravity Wall Excavation for tiebacks	@ \$ 62 SF	TOTAL FLOODPLAIN ITEMS	ESCROW AMOUNT \$ 0			Lic. No. 052544
6' High Chain Link Fence (# 9 gauge or better, including braces, er	•	(For walls in cut areas)	@ \$ 25 CY			NOTES:		11/27/2019
SWM Sign (WATER RISES RAPIDLY) (Minimum 3 signs per facility)	@ \$ 390 EA	Anti-Graffiti Treatment/Sealant (Concrete retaining walls only)	@ \$ 15 SF \$2,500 Min.			 For items identified with ** the quantity for the embatorial needed and cut material available at the control of the control of		SONAL ENGINE
Access Road	By Itemized Cost					material is suitable for embankment.		7944444
						2 The excavation and embankment costs include the		SHEET TITLE:
						compaction of soil in accordance with County and S		UNIT
						3 The unit cost for each of the items in this Unit Price includes factors such as excavation, bedding, back		PRICE
						4 Inflation has been calculated based on Northern Vir	- 1	LIST
						Washington D.C. area provided by the Bureau of La		SHEET NUMBER:
						5. Whomever certifies the site development plans mus	•	
						bonded items, landscaping escrow and siltation and on "Preparer's Signature" on page 10 of this form.	d erosion control escrow and must sign	C=904
						6. Floodplain Items Escrow not to be part of Bond/E	scrow reduction	
						1. 1. 1555 Lam Romo Loorow not to be part of Borla/L		REVISION 1 - 11/27/19

Packet Pg. 39

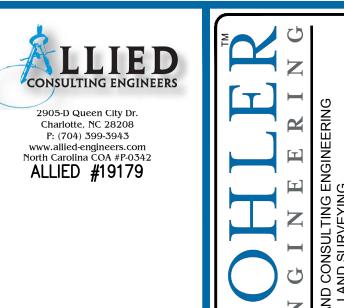
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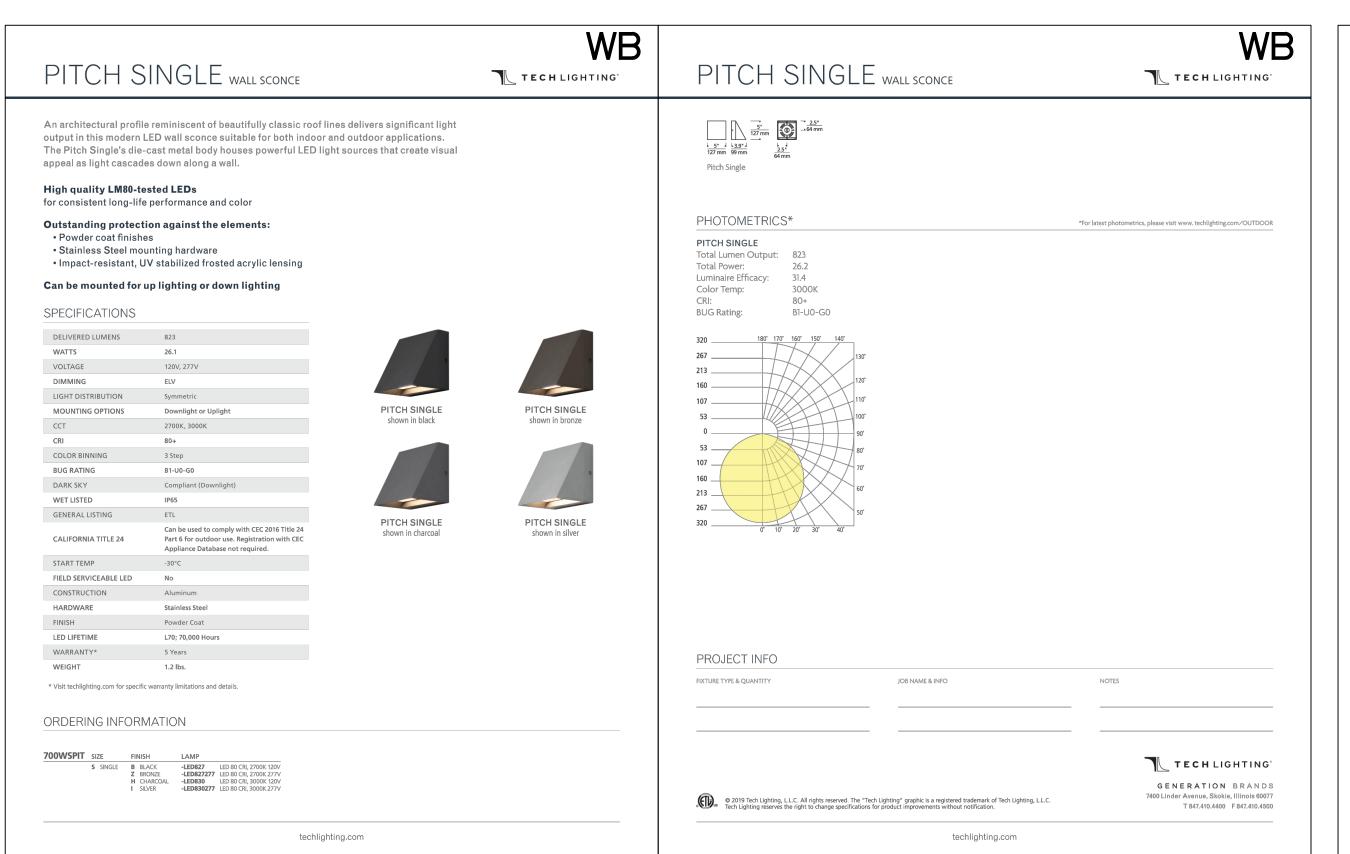


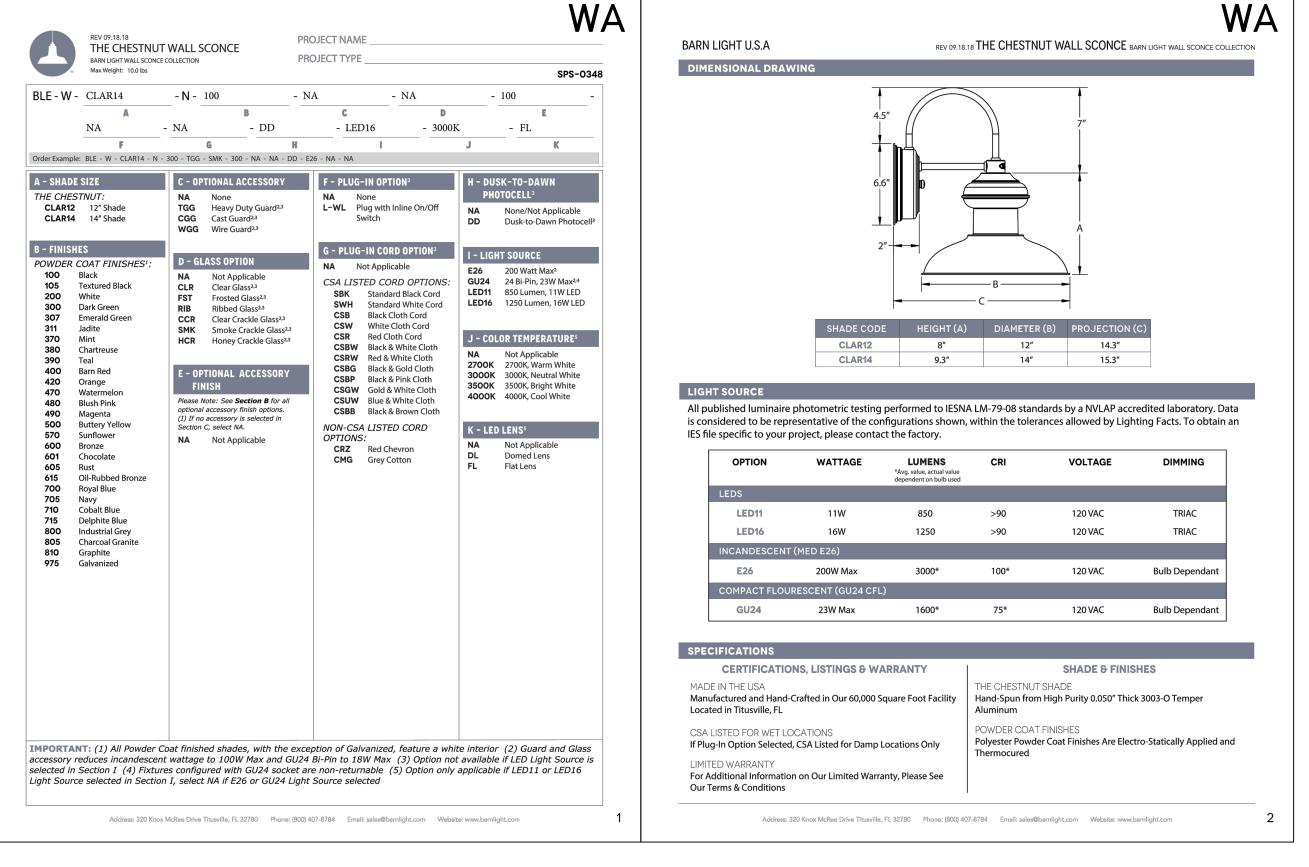
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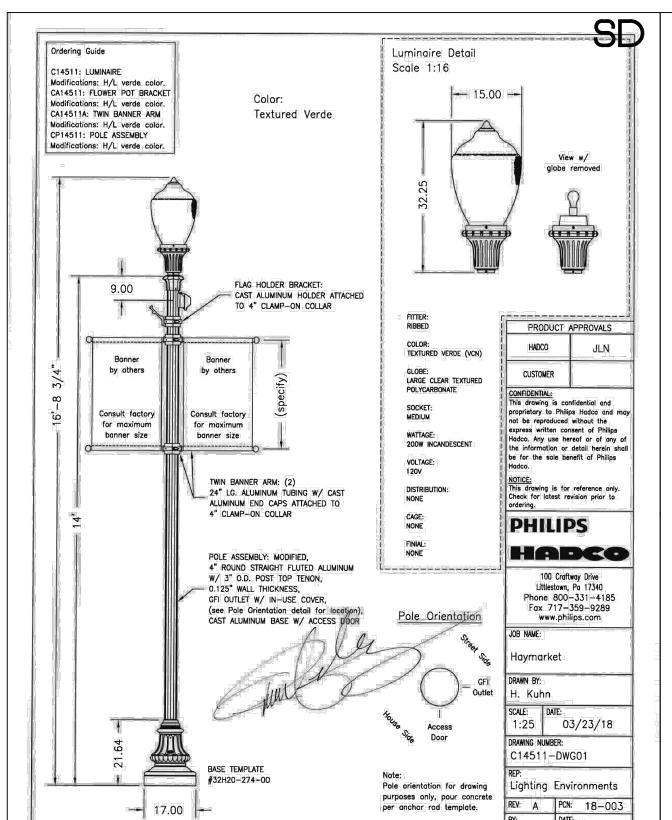
REVISION 0 - 12/02/2019

Packet Pg. 40











SA/SB/SC

DEL MAR

	SITE LIGHTING FIXTURE SCHEDULE								
TYPE	MANUFACTURER	CATALOG NUMBER	LAMPS	FIXTURE WATTAGE	VOLTAGE	DESCRIPTION			
SA	NLS LIGHTING	DMR-1-T4-64L-53-50K-UNV-PT3 BRZ	LED 5,000K	102W	120V	LED POST TOP LIGHTING FIXTURE. WET LOCATION LISTED. 20'-0" STEEL POLE. TYPE IV DISTRIBUTION.			
SB	NLS LIGHTING	DMR-1-T5-64L-53-50K-UNV-PT3 BRZ	LED 5,000K	102W	120V	LED POST TOP LIGHTING FIXTURE. WET LOCATION LISTED. 20'-0" STEEL POLE. TYPE V DISTRIBUTION.			
SC	NLS LIGHTING	DMR-1-T4-32L-53-50K-UNV-PT3 BRZ	LED 5,000K	54W	120V	LED POST TOP LIGHTING FIXTURE. WET LOCATION LISTED. 16'-0" STEEL POLE. TYPE IV DISTRIBUTION.			
SD	PHILIPS HADCO	C14511 LUMINAIRE CA14511A TWIN BANNER ARM CP14511 POLE ASSEMBLY	LED 5,000K	100W	120V	LED POST TOP LIGHTING FIXTURE. WET LOCATION LISTED. 16'-8 \(\frac{3}{4}\)" DECORATIVE ALUMINUM POLE. FIXTURE SPEC PROVIDED TO MATCH EXISTING FIXTURES. COORDINATE EXACT REQUIREMENTS PRIOR TO ORDERING.			
R01 R01E	EATON LIGHTING	SMD6R12-E	LED 1,200 LUMENS 5,000K	15.3W	120V	6" APERTURE SURFACE MOUNTED LED DOWNLIGHT. DAMP LOCATION LISTED. RO1E FIXTURES SHALL BE PROVIDED WITH OPTIONAL REMOTE EMERGENCY DRIVER.			
SF	EATON LIGHTING	XTOR3B-W	LED 5,000K	26W	120V	LED FLOOD FIXTURE. SEE GROUND MOUNT FLOOD LIGHT DETAIL THIS SHEET. BLACK FINISH.			
WA	BARN LIGHT	BLE-W-CLAR14-N-100-N/A-N/A-100 -N/A-N/A-DD-LED16-3000K-FL	LED 5,000K	16W	120V	WALL MOUNTED LED RLM SHADE FIXTURE. BLACK FINISH.			
WB	TECH LIGHTING	700WSPIT-S-B-LED830	LED 5,000K	26.1W	120V	WALL MOUNTED LED SHADE FIXTURE. BLACK FINISH.			

REVISIONS COMMENT EV DATE IS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGE REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A</u> INSTRUCTION DOCUMENT UNLESS INDICATED OTHERW Call before you dig. **ALWAYS CALL 811** It's fast. It's free. It's the law. DRAWN BY: CAD I.D.: SITE PLAN DOCUMENTS HAYMARKET HOTE VENTURE, LLC PROPOSED SITE 15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA ENGINEERIN 28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com Site Lighting Specifications

MSM EDB

and Details

REVISION 0 - 12/02/2019



SITE ADDRESS:

HILTON GARDEN INN - HAYMARKET, VA WASHINGTON ST. HAYMARKET, VA 20169

Hilton Contact: MC Project Manager: MC Sales: James Peake



440.209.6200 800.627.4460

theMCgroup.com

OWNER'S SCOPE OF WORK:

- Owner to provide (1) primary circuit (120v) for EACH sign location.
- Sign contractor is responsible for all secondary wiring. If primary is not present at time of install, the owner is responsible for making the final
- Owner is to provide unrestricted access to the area behind where each sign is located.
- The access panel is to be approx. 24" x 36".
- 5/8" plywood blocking is to be provided behind where each sign and cornice lighting is to be installed.

SIGN PACKAGE:

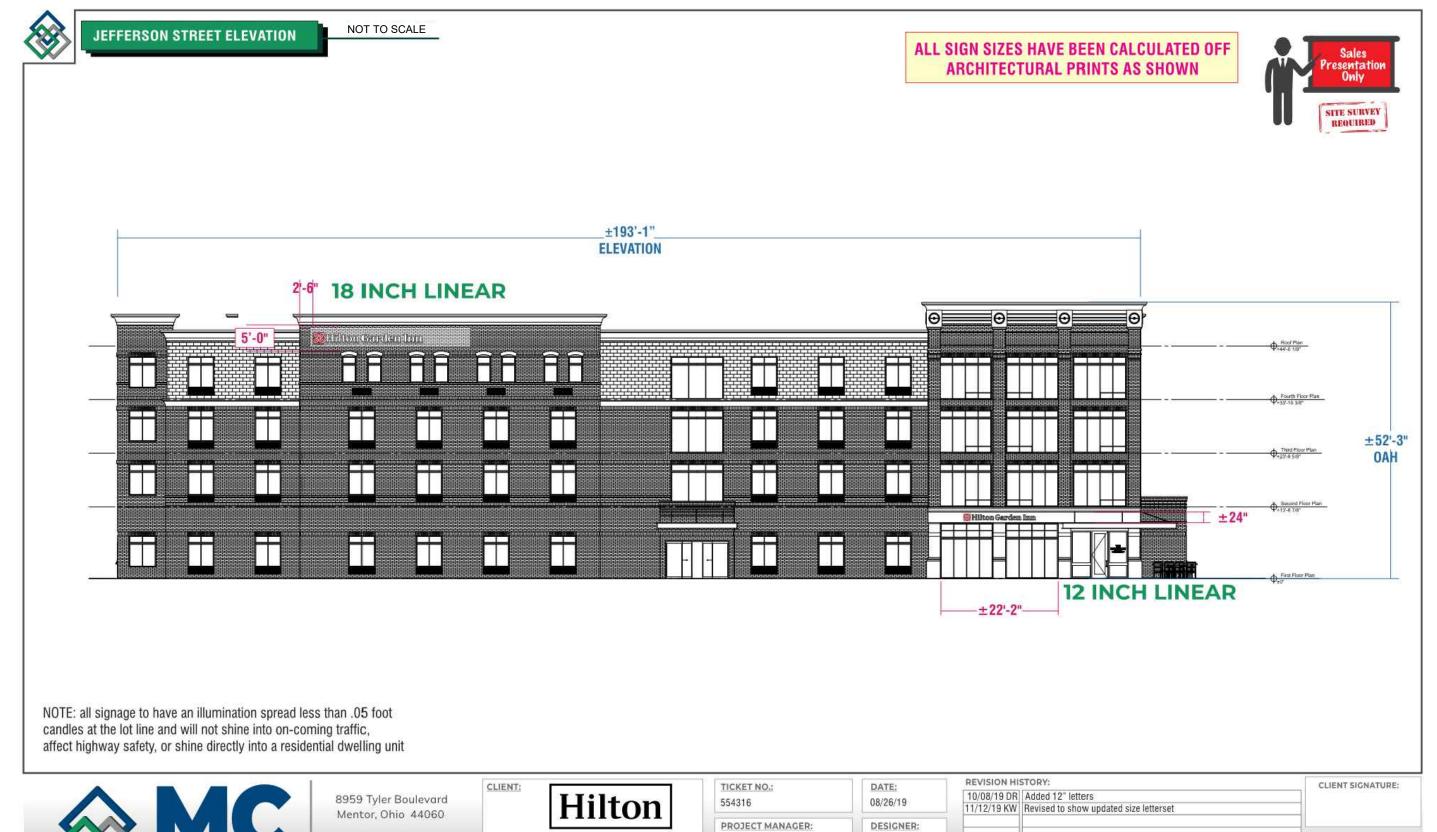
- (3) 18" LINEAR CHANNEL LETTERSETS
- (2) 12" LINEAR CHANNEL LETTERSETS NON-ILLUM MONUMNET

PERMITTING DETAILS:

TBD

CUSTOMER APPROVAL / SIGNATURE:

SIGNATURE:



JAMES PEAKE

ELECTRONIC FILE NAME:

H\HILTON\HGI\2019\VA\HGI - HAYMARKET

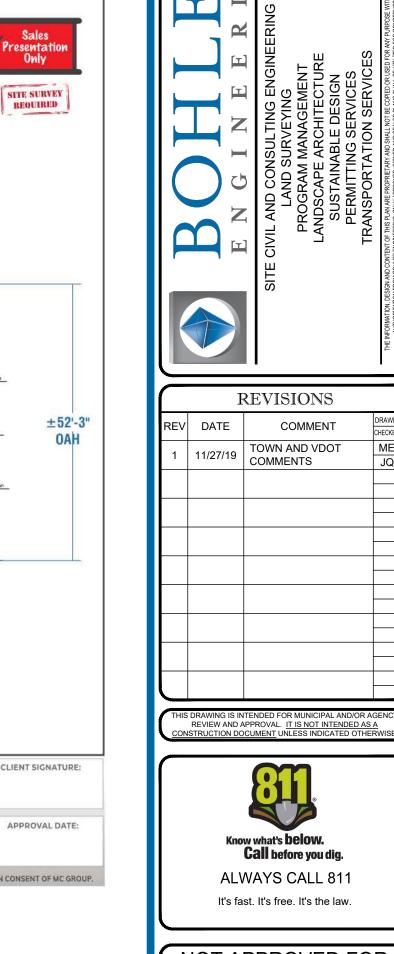
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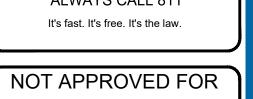
800.627.4460

theMCgroup.com

WASHINGTON ST.

HAYMARKET, VA 20169





CONSTRUCTION DRAWN BY:

CAD I.D.:

SITE PLAN

DOCUMENTS HAYMARKET HOTE VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA



28 BLACKWELL PARK LANE, SUITE 20 **WARRENTON, VIRGINIA 20186** Phone: (540) 349-4500 Fax: (540) 349-0321 VA@BohlerEng.com



APPROVED SIGN PLAN

