



TOWN OF HAYMARKET PLANNING COMMISSION
REGULAR MEETING
~ AGENDA ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, December 16, 2019

7:00 PM

Council Chambers

I. Call To Order

II. Pledge of Allegiance

III. Minute Approval

1. Planning Commission - Regular Meeting - Oct 21, 2019 7:00 PM
2. Planning Commission - Regular Meeting - Nov 18, 2019 7:00 PM

IV. Citizens Time

V. Agenda Items

1. Haymarket Hotel Venture, LLC Final Site Plan

VI. New Business

VII. Old Business

VIII. Architectural Review Board Update

IX. Town Council Update

X. Adjournment



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, October 21, 2019

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call to Order

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Aayush Kharel: Present.

II. Pledge of Allegiance

Chairman Matt Caudle invited everyone to stand for the Pledge of Allegiance, followed by a moment of silence.

III. Citizen's Time

There were no citizens wishing to address the Planning Commission at this meeting.

IV. Public Hearing

Town Planner Emily Lockhart requested to Chairperson Caudle that the applicant give a presentation of the updated changes on the project prior to opening the floor for public comment. Chairperson Caudle invited the applicant to the podium to present their changes to the Planning Commission.

A representative for Van Metre Companies gave a slide presentation of the changes made from the original plan. She stated that the entrance to the property would only be accessible from Washington Street on the western edge of the property not to conflict with St. Paul Street. This would eliminate all traffic coming off of Hunting Path Road, which raised concerns at the last meeting. There would be no access to the town houses off of Hunting Path Road. The design also showed a tot lot at the north western corner of the site. The representative shared the type of business that would occupy the southern end of the property. The representative stated that they are currently in communication with a high end day care facility to occupy the space. The representative continued with an explanation of the design for 38 town home units with 4 parking spaces per unit, 2 of which would be in the garage. In addition, there would be an additional 30 parking spaces located throughout the property. She also stated that they have been meeting with their traffic engineer in regards to the right hand turn off of Washington Street onto the property. After the presentation, the Planning Commission asked several questions, particularly on the design and storm water management.

At this time, Chairperson Caudle opened the floor for public comment.

Dottie Leonard, 14801 Washington Street, stated that she liked the changes that were made. She said that she would like to see the Planning Commission recommend approval on this project.

With no other public comment, Chairperson Matt Caudle closed the public hearing.

1. SUP#2019-004, Van Metre/Smith Property

V. Agenda Items

1. SUP#2019-004, Van Metre/Smith Property, 6701 Hunting Path Rd & 14850/14860 Washington

Town Planner Emily Lockhart stated that she reviewed the revised plans and included her comments in her staff report. She stated that her biggest concern would be the right turn lane meeting VDOT standards. There was a discussion on the subject of the turn lane.

Minutes Acceptance: Minutes of Oct 21, 2019 7:00 PM (Minute Approval)

The representative from Van Metre answered several questions from the Planning Commission Members about the request for the Special Use Permit to have town homes versus making the property all commercial buildings and the amount of the town home units. The Planning Commission discussed the Special Use Permit application and the Town of Haymarket's zoning ordinance, the comprehensive plan and the walk ability of the Town in length.

Councilman Shannon moved that the Planning Commission recommend approval to the Town Council for the proposed Special Use Permit for the proposed 38 town houses located at 14850 and 14860 Washington Street and 6701 Hunting Path Road as presented in the Special Use Permit plan to the Commission on October 21, 2019.

| | |
|------------------|---|
| RESULT: | ADOPTED [3 TO 1] |
| MOVER: | Steve Shannon, Councilman |
| SECONDER: | Aayush Kharel, Commissioner |
| AYES: | Matt Caudle, Steve Shannon, Aayush Kharel |
| NAYS: | Nicholas Pulire |

2. McDonald's Second Drive-Thru

Town Planner Emily Lockhart shared that McDonald's asked to be removed from the evening's Agenda. Ms. Lockhart stated that she and the Business Manager would be meeting with them and that they will be on a future meeting agenda.

VI. New Business

Business Manager Chris Coon shared with the Planning Commission that the Comprehensive Plan needs to be updated. He stated that he would be reaching out the Town Council for a request to have additional Planning Commission meetings in order to get the Plan updated. There was a discussion on the subject.

VII. Old Business

Town Planner Emily Lockhart shared that Haymarket Hotel Venture has submitted their second site plan.

VIII. Architectural Review Board Update

Mr. Kharel shared that the Architectural Review Board approved the design for Hotel Venture, LLC. He stated that they met all of the Boards requests for the parking lot lighting, the windows and signage. He also shared that the Board approved the signage for the Taco Bell.

IX. Town Council Update

Councilman Shannon gave the Town Council updates. He stated that they approved the bond release for A Dog's Day Out. They also adopted the Property Maintenance Code Ordinance. He also shared that the Council filled the vacant Town Council seat and the Town Clerk's position.

X. Adjournment

1. Motion to Adjourn

| | |
|------------------|--|
| RESULT: | ADOPTED [UNANIMOUS] |
| MOVER: | Steve Shannon, Councilman |
| SECONDER: | Aayush Kharel, Commissioner |
| AYES: | Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel |

Submitted:

Approved:

Minutes Acceptance: Minutes of Oct 21, 2019 7:00 PM (Minute Approval)

Kimberly Henry, Clerk of the Council

Matt Caudle, Chairperson

DRAFT

Minutes Acceptance: Minutes of Oct 21, 2019 7:00 PM (Minute Approval)



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, November 18, 2019

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call to Order

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Aayush Kharel: Present, Commissioner Pearl Carter-Bush: Present.

II. Pledge of Allegiance

Chairman Matt Caudle invited everyone to stand for the Pledge of Allegiance followed by a moment of silence.

III. Minutes Approval

1. Planning Commission - Public Hearing/Regular Meeting - Aug 19, 2019 7:00 PM

Councilman Shannon moved to approve the Planning Commission Public Hearing/Regular meeting minutes for August 19, 2019. The motion was seconded by Commissioner Carter-Bush.

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| RESULT: | ACCEPTED [UNANIMOUS] |
| MOVER: | Steve Shannon, Councilman |
| SECONDER: | Pearl Carter-Bush, Commissioner |
| AYES: | Caudle, Shannon, Pulire, Kharel, Carter-Bush |

2. Planning Commission - Regular Meeting - Sep 16, 2019 7:00 PM

Councilman Shannon moved to approve the minutes of the Planning Commission Regular Meeting from September 16, 2019. The motion was seconded by Commissioner Kharel.

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|------------------|--|
| RESULT: | ACCEPTED [UNANIMOUS] |
| MOVER: | Steve Shannon, Councilman |
| SECONDER: | Aayush Kharel, Commissioner |
| AYES: | Caudle, Shannon, Pulire, Kharel, Carter-Bush |

IV. Citizen's Time

Marie Turner, Fayette Street South, asked if there would be a possibility for VDOT to set the light to flashing red at the intersection of Washington and Old Carolina Road during the overnight hours. She stated that vehicular traffic is using a cut through to avoid the traffic light.

Ms. Turner also stated that, after looking at the plans for the new hotel, she would like to see the traffic pattern move from Fayette Street to Payne Street since Fayette Street is already too busy.

Councilman Shannon stated that he could give her the number for VDOT so that she could make the request for the light change and that they would answer her request specifically.

Town Planner Emily Lockhart shared that the first round of the hotel plans will be a subject for the December meeting.

Minutes Acceptance: Minutes of Nov 18, 2019 7:00 PM (Minute Approval)

Nick Spiros, owner of Transforms Power Yoga, shared that he is looking at purchasing property at 14841 Washington Street so that he can expand his business. He stated that the property is currently zoned transitional commercial. He stated that the house on the property would need to be lifted up and work would need to be done. He stated that he would like some feedback from the Commission and that he would hopefully have some ideas to bring forth at the December meeting. The Commission asked Town Planner Lockhart about the zoning by right uses. Ms. Lockhart stated that the business would meet the by right use of transitional commercial. She also stated that the building is registered as a historical building. The Commission confirmed that Mr. Spiros would have to comply by the Architectural Review Board guidelines.

Several Battlefield High School students were in attendance at the evening's meeting for a requirement in a government class.

V. Agenda Items

1. New Planning Commissioner Introduction

Town Planner Emily Lockhart introduced and welcomed Pearl Carter-Bush to the Planning Commission. Ms. Carter-Bush gave a brief autobiography.

2. 2020 Town Meeting Calendar

Town Planner Emily Lockhart shared that 2 Planning Commission meetings in 2020 fall on holidays. The first meeting date that falls on a holiday is January 20, 2020. Ms. Lockhart's recommendation was either Monday, January 13th or Tuesday, January 21st. The second meeting date that falls on a holiday is February 17, 2020. Ms. Lockhart's recommendation was either Monday, February 10th or Tuesday, February 18th. The Commission chose Tuesday, January 21st and Tuesday, February 18th for the meeting dates. Ms. Lockhart stated that with the winter months coming, the Town follows Prince William County Government inclement weather closings. She shared that if the office is closed due to inclement weather, the meeting would be cancelled. She stated that she would send out an email if the meeting is cancelled.

3. Town Council Directive to Update the Comprehensive Plan

Business Manager Chris Coon shared that the Comprehensive Plan needs to be updated. Mr. Coon suggested that the Commission do a small section at a time. There was a brief discussion. Town Planner Emily Lockhart suggested that the Commission schedule a work session night for December. She stated at that time, the Commission would work on an outline and set what the Commission would like to accomplish in 2020. Ms. Lockhart suggested that the work session be right before the scheduled regular meeting on December 15th. There was a consensus of the Commission to set the work session at 6 pm on December 16th.

VI. New Business

Ms. Lockhart shared that the only New Business item is the second submission of the site plans for the hotel. Ms. Lockhart stated that she and the Town Engineer have reviewed the plans and have submitted some changes. Ms. Lockhart stated that the plans will come before the Commission at the December regular meeting.

VII. Old Business

Ms. Lockhart shared that Morias Vineyard is working on their building. She also shared that Van Metre/Smith Property project will go before the Town Council in a public hearing at their December meeting.

VIII. Architectural Review Board Update

Commission Kharel did not have any updates since the scheduled ARB meeting was set for Wednesday, November 20, 2019.

IX. Town Council Update

Councilman Shannon gave the Council updates from the November 4th meeting.

X. Adjournment

1. Motion to Adjourn

| | |
|------------------|--|
| RESULT: | ADOPTED [UNANIMOUS] |
| MOVER: | Steve Shannon, Councilman |
| SECONDER: | Aayush Kharel, Commissioner |
| AYES: | Caudle, Shannon, Pulire, Kharel, Carter-Bush |

Submitted:

Approved:

Kimberly Henry, Clerk of the Council

Matt Caudle, Chairperson

DRAFT

Minutes Acceptance: Minutes of Nov 18, 2019 7:00 PM (Minute Approval)



Town of Haymarket
 15000 Washington Street, #100
 Haymarket, VA 20169
 703-753-2600

Emily K. Lockhart
 Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission
 FROM: Emily K. Lockhart, Town Planner
 DATE: December 13, 2019
 SUBJECT: Haymarket Hotel Final Site Plan

Background:

Haymarket Hotel Venture, LLC has worked through the Preliminary Site Plan and the Final Site Plan for the proposed hotel located at 15001 Washington Street. The site plan has been sent to all outside agencies for review.

The Town Engineer and I have worked through two iterations of the preliminary site plan and provided approval of the preliminary plan. The applicant then submitted a final site plan and was provided with comments. The attached version of the final site plan is the most recent version addressing the outstanding comments from the Town.

Please review the final site plan using the Zoning Ordinance and provide comments and feedback at the Planning Commission meeting 12/16.

Attachment: Memo for PC (4296 : Haymarket Hotel Venture, LLC Final Site Plan)

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC.

LOCATION OF SITE
 15001 WASHINGTON STREET
 HAYMARKET, VA 20169
 TOWN OF HAYMARKET
 GAINESVILLE MAGISTERIAL DISTRICT
 GPIN: 7297896995, GPIN: 7297897585, GPIN: 7297898679,
 GPIN: 7297899391, GPIN: 7297898699

PLAN REFERENCES AND CONTACTS

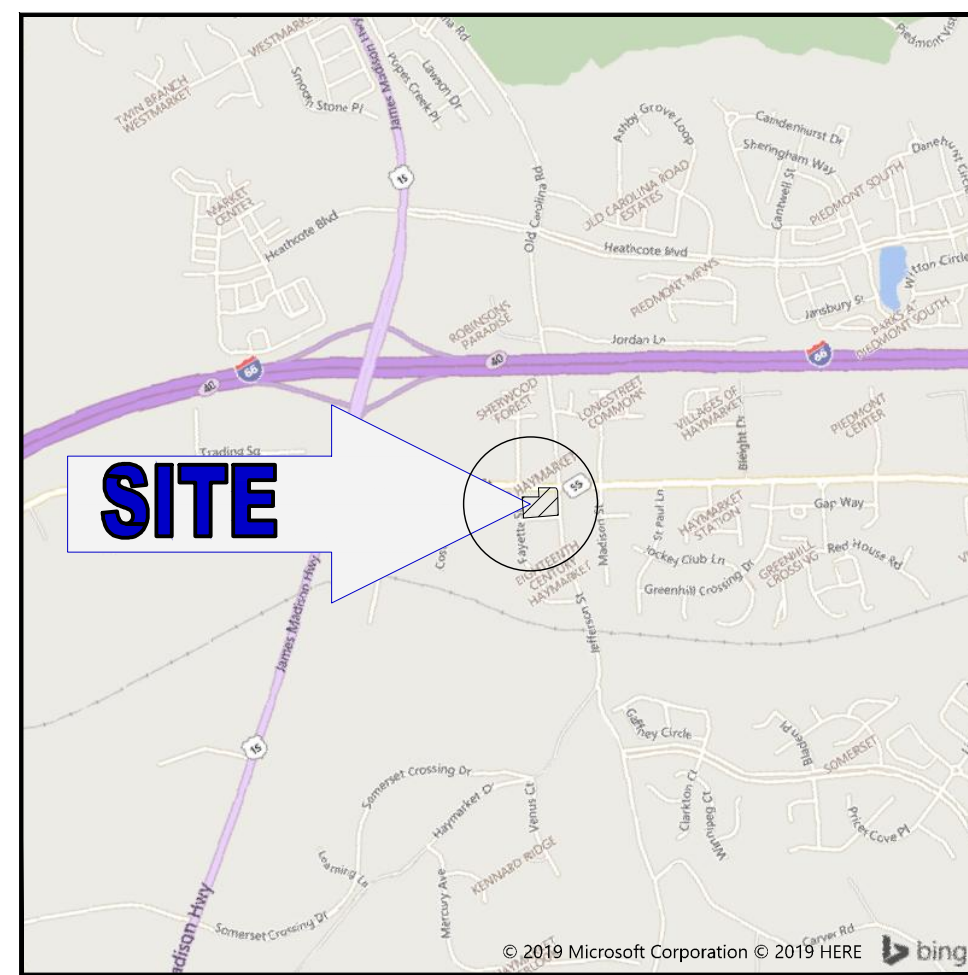
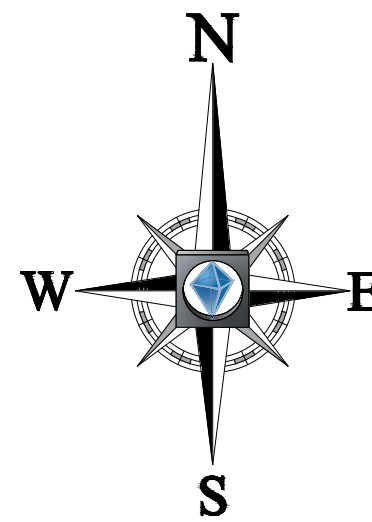
REFERENCES

- **BOUNDARY & TOPOGRAPHIC SURVEY:**
 ALTANSPS LAND TITLE SURVEY - PURPOSE LOCING
 WASHINGTON STREET AND FAYETTE STREET TOWN OF
 HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA.
 DATED: 07/10/19, REVISED 10/08/19, REVISED 11/27/2019
 JOB # SV192055
 ELEVATIONS: NAVD88 DATUM
- **ARCHITECTURAL PLAN:**
 CAD FILE: 'A1-09'
 NOVIUS
 1950 ABBOTT STREET, SUITE 605
 CHARLOTTE, NC 28203
 PHONE: (704) 373-3101
 DATED: 10/09/19
- **GEOTECHNICAL REPORT**
 "GEOTECHNICAL INVESTIGATION, PROPOSED HAYMARKET
 HOTEL PROJECT, SWC WASHINGTON AND JEFFERSON
 STREETS, TOWN OF HAYMARKET, PRINCE WILLIAM
 COUNTY, VIRGINIA"
 WDP & ASSOCIATES CONSULTING ENGINEERS, INC.
 10621 GATEWAY BLVD., SUITE 200
 MANASSAS, VIRGINIA 20110
 DATED: 11/04/19

GOVERNING AGENCIES

- **PLANNING, ZONING COMMITTEE**
 CONTACT - EMILY LOCKHART
 15000 WASHINGTON STREET,
 SUITE #100 HAYMARKET, VA 20169
 PHONE: (703) 752-2600
 EMAIL: ELOCKHART@TOWNOFHAYMARKET.ORG
- **PRINCE WILLIAM COUNTY SERVICE AUTHORITY**
 CONTACT - TOM RIGBY
 4 COUNTY COMPLEX COURT, WOODBRIDGE VA, 22192
 PHONE: (703) 335-7930
- **BUILDING DEPARTMENT**
 PWC DEPARTMENT OF DEVELOPMENT SERVICES
 5 COUNTY COMPLEX COURT, SUITE 120,
 WOODBRIDGE, VA 22192
 PHONE: (703) 792-6930
 FAX: (703) 792-5285
- **VA DEPT OF TRANSPORTATION**
 CONTACT - HIREN JOSHI
 4975 ALLIANCE DRIVE, FAIRFAX, VA 22030
 PHONE: (703) 259-2775
- **DEPT OF ENVIRONMENTAL QUALITY**
 CONTACT - MARGARET DANNEMANN
 13001 CROWN COURT, WOODBRIDGE, VA 22193
 PHONE: (703) 583-3892

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



LOCATION MAP
 SCALE: 1" = 2,000'
 Copyright MICROSOFT CORP.

OWNER
 PAYNE DEVELOPMENT, LLC
 7034 FISHER ISLAND DR
 MIAMI BEACH, FL 33109
 CONTACT: STAN SMITH
 PHONE: 204-441-7882

DEVELOPER
 HAYMARKET HOTEL VENTURE, LLC
 820 SHADES CREEK PKWY
 SUITE 2200
 BIRMINGHAM, AL 35209
 CONTACT: RYAN MORGAN
 PHONE: 726-252-8033



PREPARED BY
BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
VA@BohlerEng.com
 CONTACT: JONATHAN RITCHIE

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BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JOR |

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS SPECIALLY NOTED OTHERWISE.

811
 Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: V192055
 DRAWN BY: MEG
 CHECKED BY: JOR
 DATE: 11/08/2019
 CAD I.D.: SDP-1

SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101

REVISION 1 - 11/27/19

STANDARD DRAWING LEGEND FOR ENTIRE PLAN SET

Table with columns for LIMIT OF WORK, LIMIT OF DISTURBANCE, EXISTING NOTE, TYPICAL NOTE TEXT, PROPOSED NOTE, and various symbols for utilities, structures, and terrain.

STANDARD ABBREVIATIONS FOR ENTIRE PLAN SET

Table listing abbreviations for various materials and features such as AC (ACRES), ADA (AMERICANS WITH DISABILITY ACT), ARCH (ARCHITECTURAL), etc.

REVISED: 10/15/2019

VDOT GENERAL NOTES

- 1. THESE PLANS WERE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF (SELECT ONE): N/A
2. VDOT APPROVED EXCEPTIONS/WAIVERS (MUST BE INCORPORATED IN THE PLAN):
3. SSAR CONNECTIVITY SUMMARY (PROVIDE A CHECK MARK / WHERE APPLICABLE OR WRITE N/A):
4. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE CURRENT EDITIONS OF AND LATEST REVISIONS TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGE SPECIFICATIONS AND STANDARDS...

PROPOSED EASEMENT LEGEND

Table showing symbols for easement types: SIGHT DISTANCE, STORM DRAIN, SANITARY SEWER, WATER, PUBLIC ACCESS, COMMON SHARED, INGRESS-EGRESS, PUBLIC UTILITY, and VARIABLE WIDTH S.

BOHLER ENGINEERING logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY, MEG, JGR.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

Table with project details: PROJECT No., DRAWN BY, CHECKED BY, DATE, CAD I.D., V192055, MEG, JGR, 11/02/2019, SDP-1.

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC. PROPOSED SITE. 15001 WASHINGTON STREET, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA.

BOHLER ENGINEERING logo and address: 28 BLACKWELL PARK LANE, SUITE 201, WARRENTON, VIRGINIA 20186. Phone: (540) 349-4500. Fax: (540) 349-0321. VA@BohlerEng.com

Professional Engineer seal for KATHAN RITCHIE, Lic. No. 052544, 11/27/2019.

SHEET TITLE: GENERAL NOTES AND LEGEND. SHEET NUMBER: C-103. REVISION 1 - 11/27/19.

NOTES:

- 1. THE SUBJECT PARCELS ARE THE LANDS OF PAYNE DEVELOPMENT, LLC, AS RECORDED IN INSTRUMENT NO. 200505260085471, AMONG THE LANDS RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA AND HAVING A PIDS OF 7297-89-8391, 7392-89-8679, 7297-89-7585, 7297-89-6995 AND 7297-89-8699 PER THE DEPARTMENT OF ASSESSMENTS.
- 2. AREA = 92,524 SQUARE FEET OR 2.124 ACRES
- 3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- 4. THIS SURVEY WAS PERFORMED IN THE FIELD ON MAY 29, 2019 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
- 5. THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24, 2019, 2ND REISSUE. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, PART II:
 - (12) EASEMENTS AND RIGHTS OF WAY TO STONEWALL POWER COMPANY RECORDED IN DEED BOOK 84 AT PAGE 541; MAY AFFECT SUBJECT PROPERTY, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT, THERE WAS AN OVERHEAD POLE LINE LOCATED ALONG JEFFERSON STREET AND FAYETTE STREET.
 - (13) EASEMENTS AND RIGHTS OF WAY TO VIRGINIA PUBLIC SERVICE COMPANY RECORDED IN DEED BOOK 107 AT PAGE 293; MAY AFFECT SUBJECT PROPERTY, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT, THERE WAS AN OVERHEAD POLE LINE LOCATED ALONG JEFFERSON STREET AND FAYETTE STREET.
 - (14) EASEMENTS AND RIGHTS OF WAY TO VIRGINIA ELECTRIC AND POWER COMPANY RECORDED IN DEED BOOK 135 AT PAGE 464; AFFECT SUBJECT PROPERTY, APPROXIMATE LOCATION OF CENTERLINE EASEMENT SHOWN, DEED BOOK 142 AT PAGE 400; AFFECT SUBJECT PROPERTY, THERE WHERE GUYS AND ANCHORS LOCATED ALONG JEFFERSON STREET, SHOWN, DEED BOOK 144 AT PAGES 11, AFFECT SUBJECT PROPERTY, APPROXIMATE LOCATION OF CENTERLINE EASEMENT SHOWN, AND DEED BOOK 2874 AT PAGE 1475; DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND EAST OF JEFFERSON STREET.
 - (15) EASEMENTS AND RIGHTS OF WAY TO CONTEL OF VIRGINIA RECORDED IN DEED BOOK 1624 AT PAGE 1797; DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND ON THE NORTH SIDE OF WASHINGTON STREET.
 - (16) TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN FIRE HYDRANT EASEMENT TO PRINCE WILLIAM COUNTY SERVICE AUTHORITY RECORDED IN DEED BOOK 2481 AT PAGE 178, DO NOT AFFECT SUBJECT PROPERTY, AFFECT LAND ON THE NORTH SIDE OF WASHINGTON STREET.
 - (17) EASEMENTS AND RIGHTS OF WAY TO COMMONWEALTH OF VIRGINIA RECORDED IN DEED BOOK 2623 AT PAGES 1936, 1946 AND 1944, AND DEED BOOK 2827 AT PAGES 1863 AND 1867; AFFECT SUBJECT PROPERTY, STORM DRAIN AND TEMPORARY EASEMENTS ARE SHOWN.
 - (18) TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN EASEMENTS AND RIGHTS OF WAY RECORDED IN DEED BOOK 319 AT PAGE 560 AND INCLUDING THE WELL AND SEPTIC TANK RIGHTS LOCATED THEREIN; AFFECT SUBJECT PROPERTY, NOT PLOTTABLE, NO WELL LOCATED ON PROPERTY.
 - (19) EASEMENTS AND RIGHTS OF WAY CONVEYED BY INSTRUMENT NO. 200208060102107; THIS DOCUMENT IS A CORRECTIVE DOES NOT CREATE ANY EASEMENTS AND RIGHT OF WAY.
 - (20) TERMS, PROVISIONS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS, MAINTENANCE OBLIGATIONS AND RIGHTS OF OTHERS AS ESTABLISHED IN DEED OF EASEMENT WITH THE TOWN OF HAYMARKET, DATED APRIL 2, 2007, AND RECORDED AS INSTRUMENT NO. 20070403040581; AFFECT SUBJECT PROPERTY, SHOWN.
- 6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY; HOWEVER, NO PHYSICAL INDICATIONS OF SUCH WERE FOUND AT THE TIME OF THE FIELD INSPECTION OF THIS SITE.
- 7. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS SURVEY CONTROL, NO. PW11 WITH A PUBLISHED ELEVATION OF 346.645 FEET.
- 8. THE PROPERTY IS LOCATED IN OTHER AREAS ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PRINCE WILLIAM COUNTY, VIRGINIA AND INCORPORATED AREAS", PANEL 87 OF 3367, MAP NUMBER 8115300670, WITH A MAP EFFECTIVE DATE OF JANUARY 5, 1995.
- 9. ZONING: B-1 PLANNED USE: NEIGHBORHOOD/TOWN CENTER

BUILDING SETBACKS
 FRONT 5 FEET FROM STREET RIGHT-OF-WAY
 SIDE 5 FEET FROM STREET RIGHT-OF-WAY
 REAR 5 FEET FROM STREET RIGHT-OF-WAY

PARKING REQUIREMENT 1.1 SPACES PER ROOM

MAXIMUM HEIGHT 50 FEET

ALL ZONING INFORMATION WAS PROVIDED BY BOHLER ENGINEERING, DATED APRIL 23, 2019 AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME, TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE THEN-CURRENT SITE-SPECIFIC INFORMATION. SHOULD THERE BE ANY CHANGE IN USE, SETBACK(S) AND/OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION AND/OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION AND/OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERENCING SAME AS RELATED TO THE PROPERTY, PROJECT AND/OR DEVELOPMENT.

- 10. THE PROPERTY SURVEYED HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO WASHINGTON STREET-VIA RTE 55, JEFFERSON STREET-VIA RTE 625 PAYNE LANE AND FAYETTE STREET, EACH A PUBLIC RIGHT OF WAY MAINTAINED BY VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT).
- 11. THE PROPERTY SURVEYED IS THE SAME PROPERTY DESCRIBED IN A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24, 2019 AND VESTING DEED RECORDED IN INSTRUMENT 200505260085471, AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
- 12. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 13. NO DESIGNATION FOR DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES, NOR THE OBTAINING OF NECESSARY PERMISSIONS, HAVE BEEN PROVIDED BY THE CLIENT TO THE SURVEYOR PER THE DATE OF THIS SURVEY. CLIENT DID NOT DESIGNATE WALLS TO BE DETERMINED AS PLUMB AT THE TIME OF SURVEY.
- 14. SURVEYOR OBSERVED NO EVIDENCE OF ACTIVE DRILLING OR PRODUCTION OF MINERALS OF ANY KIND AT THE TIME OF SURVEY.

TITLE DESCRIPTION

ALL THOSE CERTAIN LOTS OR PARCELS OF LAND SITUATE, LYING AND BEING IN THE TOWN OF HAYMARKET, GAINESVILLE MAGISTERIAL DISTRICT, PRINCE WILLIAM COUNTY, VIRGINIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1 (TENTATIVE DESCRIPTION):
 THAT CERTAIN LOT CONTAINING ABOUT ONE (1) ACRE, MORE OR LESS, KNOWN AS THE SHIRLEY LOT BEING MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 89, PAGE 269 AT FOLLOWS:
 "CONTAINING ABOUT ONE ACRE AND KNOWN AS THE SHIRLEY LOT AND, TOGETHER WITH PARCEL 2 DESCRIBED BELOW, COMPRISING TAX MAP PARCEL NO. 137-2-30 AND BEING THE SAME LOT CONVEYED TO CORNELIUS B. BLOUW BY DEED FROM JOHN W. SMITH, ET UX, DATED OCTOBER 6, 1893; RECORDED IN THE COUNTY CLERK'S OFFICE FOR PRINCE WILLIAM COUNTY, VIRGINIA, OCTOBER 15, 1893; AND BEING THE SAME LOT DEVISED TO SAID JOHN W. SMITH BY T.A. SMITH IN HIS WILL ADMITTED TO PROBATE, OCTOBER 4, 1899, AND RECORDED IN SAID CLERK'S OFFICE IN WILL BOOK U, AT FOLIO 210, AND BEING THE SAME LOT CONVEYED TO ALWILDA J. PATTIE AND BY DEED DATED JANUARY 1, 1987 AND RECORDED IN DEED BOOK 45 AT FOLIO 356, AND BEING THE SAME INHERITED BY SUSAN PATTIE BROWN FROM HER MOTHER, ALWILDA J. PATTIE, AND IS THE SAME CONVEYED TO SAID O.C. HUTCHISON AS OSCAR C. HUTCHISON BY SUSAN PATTIE BROWN AND J. WALTER BROWN, HER HUSBAND, BY DEED DATED AUGUST 14, 1905 AND RECORDED IN DEED BOOK 54, AT FOLIO 298 OF SAID CLERK'S OFFICE, TO WHICH SAID DEEDS AND WILL REFERENCE IS MADE FOR A MORE PARTICULAR DESCRIPTION OF THE ABOVE DESCRIBED FIRST PARCEL."

PARCEL 2:
 A LOT CONTAINING 0.438 ACRE, MORE OR LESS, ADJOINING PARCEL 1 AND MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 89, PAGE 269 AS FOLLOWS:
 "ADJOINING SAID FIRST PARCEL AND LOCATED AS AFORESAID; AND BEGINNING AT BUTLER'S CORNER IN THE NORTH LINE OF FRANKLIN STREET, 105 FEET WEST OF THE NORTHWEST CORNER OF FRANKLIN AND JEFFERSON STREETS, IN SAID TOWN OF HAYMARKET; THENCE N. 58 DEG. 30' W. 86 FEET TO A POST IN LINE OF FRANKLIN STREET, A CORNER TO SAID OSCAR HUTCHISON AND T.E. GARNETT; THENCE N. 33 DEG. 49' E. 202.3 FEET TO 3, A POST, A CORNER TO HUTCHISON, GARNETT AND THE SCHOOL GROUNDS; THENCE S. 89 DEG. 30' E. 94.34 FEET TO 4, A LOCUST POST, AND INCLUDING THREE-FOURTHS OF SAID POST, AND THENCE S. 36 DEG. 15' W. 202.3 FEET TO THE BEGINNING, CONTAINING 4.38 OF AN ACRE; AND IS THE SAME PROPERTY CONVEYED TO SAID O.C. HUTCHISON AND ADA L. HUTCHISON (ADA HUTCHISON BEING THE SAME AS ADA L. HUTCHISON) BY DEED DATED JULY 5, 1910, BY T.E. GARNETT, ET UX, AND RECORDED IN DEED BOOK 59, AT FOLIO 487 OF SAID CLERK'S OFFICE TO WHICH REFERENCE IS LIKEWISE MADE."

PARCEL 3 (TENTATIVE DESCRIPTION):
 A LOT CONVEYED TO JAMES R. GOSSOM BY DEED DATED AUGUST 7, 1958, RECORDED IN DEED BOOK 231, PAGE 490 AND THEREIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 "ALL THAT CERTAIN LOT OR PARCEL OF LAND, LYING AND BEING SITUATE IN THE TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA, AT THE INTERSECTION OF STATE ROUTE 625 WITH ROUTE 1302, AND BEING A LOT 105 X 118 FEET, COMPOSED OF TWO LOTS, ONE OF WHICH WAS ACQUIRED BY W.W. BUTLER (ALSO KNOWN AS WILBUR) AND M.A. BUTLER, HIS WIFE, BY DEED DATED DECEMBER 14, 1905, AND RECORDED IN DEED BOOK 57, PAGE 494 FROM T.E. GARNETT AND WIFE, AND THE OTHER HAVING BEEN ACQUIRED BY W.W. BUTLER FROM T.E. GARNETT AND WIFE BY DEED DATED MAY 1, 1911 AND RECORDED IN DEED BOOK 61, PAGE 183.

LESS AND EXCEPTING FROM PARCELS 1, 2 AND 3 ABOVE, A PARCEL OF LAND CONTAINING 14,393 SQUARE FEET, MORE OR LESS, CONVEYED TO ALAN C. GOSSOM AND DOROTHY E. GOSSOM BY DEED DATED MAY 18, 1984, RECORDED IN DEED BOOK 319, PAGE 660 AND THEREIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE NORTHERLY SIDE OF PAYNE LANE (FORMERLY FRANKLIN STREET) SAID POINT BEING APPROXIMATELY 99 FEET FROM THE CENTERLINE OF JEFFERSON STREET; THENCE RUNNING ALONG THE NORTHERLY SIDE OF PAYNE LANE N. 58 DEG. 00' 00" W. 141.00 FEET (PASSING THROUGH AN IRON PIPE MARKING THE ORIGINAL SOUTHWEST CORNER OF THE FORMER BUTLER PROPERTY, NOW GOSSOM AT 21.11 FEET) TO AN IRON PIPE; THENCE DEPARTING FROM PAYNE LANE AND RUNNING THROUGH THE GOSSOM PROPERTY ALONG THE FOLLOWING BEARINGS: N. 32 DEG. 00' 00" E. 100.44 FEET TO AN IRON PIPE, AND S. 37 DEG. 00' 00" W. 98.00 FEET TO THE POINT OF BEGINNING, CONTAINING 14,393 SQUARE FEET, MORE OR LESS, ACCORDING TO A PLAT AND SURVEY DATED APRIL 16, 1964, MADE BY ROSS & FRANCE, SURVEYORS, RECORDED WITH DEED BOOK 319, PAGE 560.

TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON AN ADJOINING LOT KNOWN AS THE HENRY W. BUTLER LOT, ACQUIRED BY THE SAID JAMES R. GOSSOM FROM HENRY W. BUTLER, ET AL, AND MORE FULLY DESCRIBED IN DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS MADE FOR FULL PARTICULARS, SAID RIGHT OF WAY OF EASEMENT TO RUN FROM A WELL LOCATED NEAR THE SOUTHERN BORDER OF SAID LOT DESCRIBED IN DEED BOOK 231, PAGE 490, AS AFORESAID, TO THE PROPERTY HEREIN DESCRIBED ALONG WITH THE RIGHT OF USE OF WATER FROM THE WELL MENTIONED.

ALSO TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON TWO ADJOINING LOTS WHICH SAID LOTS ARE MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 159, PAGE 484, SAID RIGHT OF WAY TO RUN FROM A WELL SITUATED AT THE NORTHEASTERN CORNER OF THE LOT DESCRIBED AT DEED BOOK 159, PAGE 484, AFORESAID TO THE PROPERTY HEREIN DESCRIBED.

AND ALSO A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON A CERTAIN LOT ADJOINING THE PARCEL HEREIN CONVEYED DESCRIBED IN DEED BOOK 124, PAGE 218, WHICH EXTENDS FROM THE WEST SIDE OF SAID LOT INTO A PORTION OF THE LAND RETAINED BY THE SAID JAMES R. GOSSOM AND MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AFORESAID.

PARCEL 4:
 A LOT CONTAINING 0.21 ACRES, MORE OR LESS, CONVEYED TO JAMES R. GOSSOM, BY DEED DATED DECEMBER 4, 1951, RECORDED IN DEED BOOK 159, PAGE 484, AND MORE PARTICULARLY DESCRIBED IN A DEED OF TRUST RECORDED IN DEED BOOK 98, PAGE 361, AS FOLLOWS:

"BEGINNING AT 1, LOCATION ON THE SOUTH EDGE OF CONCRETE SIDEWALK N. 53 DEG. 10' W. 97.7 FEET FROM SOUTHWEST CORNER OF THOROUGHFARE ROAD AND JEFFERSON STREET; THENCE S. 36 DEG. 15' W. 97.9 FEET TO POST (2), CORNER OF O.C. HUTCHISON IN GARNETT'S LINE; THENCE WITH HUTCHISON'S LINE N. 51 DEG. 28' W. 94.34 FEET TO 3, CORNER OF TOWN HALL LOT, IN HUTCHISON'S LINE; THENCE WITH TOWN HALL LOT N. 34 DEG. E. 95 FEET TO 4, ANOTHER CORNER OF TOWN HALL LOT ON THOROUGHFARE ROAD, AND THENCE WITH THOROUGHFARE ROAD S. 53 DEG. 10' E. 98 FEET TO THE POINT OF BEGINNING, CONTAINING TWENTY-ONE HUNDREDTHS (21) OF AN ACRE, MORE OR LESS."

LESS AND EXCEPT FROM THE ABOVE DESCRIBED PROPERTY 93.88 SQUARE FEET, MORE OR LESS, OF LAND CONVEYED TO THE COMMONWEALTH OF VIRGINIA BY DEED RECORDED IN DEED BOOK 2823 AT PAGE 1940 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

PARCEL 5:
 A LOT CONTAINING 17,143 SQUARE FEET, MORE OR LESS, CONVEYED TO JAMES R. GOSSOM BY DEED DATED SEPTEMBER 21, 1971, RECORDED IN DEED BOOK 604, PAGE 360 AND THEREIN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

"BEGINNING AT A PIPE ON THE WEST SIDE OF JEFFERSON STREET A CORNER OF LAWRENCE J. KRUSE AND JAMES R. GOSSOM; THENCE DEPARTING FROM THE STREET AND RUNNING WITH GOSSOM N. 54 DEG. 41' W. 105.20 TO A PIPE; THENCE WITH ANOTHER LINE OF GOSSOM N. 39 DEG. 54' E. 172.57 TO A PIPE ON THE SOUTH SIDE OF ROUTE 55; THENCE WITH ROUTE 55, 49 DEG. 19' E. 99.57 TO A PIPE ON THE WEST SIDE OF JEFFERSON STREET; THENCE DEPARTING FROM ROUTE 55 AND RUNNING WITH JEFFERSON STREET S. 38 DEG. 02' W. 162.77 TO THE BEGINNING, CONTAINING 17,143 SQUARE FEET, MORE OR LESS."

LESS AND EXCEPT FROM THE ABOVE-DESCRIBED PROPERTY 185.12 SQUARE FEET, MORE OR LESS, OF LAND CONVEYED TO THE COMMONWEALTH OF VIRGINIA BY DEED RECORDED IN DEED BOOK 2823 AT PAGE 1936 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.

PARCEL 6:
 BEGINNING AT A POINT IN THE NORTHERLY SIDE OF PAYNE LANE (FORMERLY FRANKLIN STREET); SAID POINT BEING APPROXIMATELY 99 FEET FROM THE CENTERLINE OF JEFFERSON STREET; THENCE RUNNING ALONG THE NORTHERLY SIDE OF PAYNE LANE N. 58 DEG. 00' 00" W. 141.00 FEET (PASSING THROUGH AN IRON PIPE MARKING THE ORIGINAL SOUTHWEST CORNER OF THE FORMER BUTLER PROPERTY, NOW GOSSOM AT 21.11 FEET) TO AN IRON PIPE; THENCE DEPARTING FROM PAYNE LANE AND RUNNING THROUGH THE GOSSOM PROPERTY ALONG THE FOLLOWING BEARINGS: N. 32 DEG. 00' 00" E. 100.44 TO AN IRON PIPE, S. 37 DEG. 55' 20" W. 149.57 FEET TO AN IRON PIPE; AND S. 37 DEG. 00' 00" W. 98.00 FEET TO THE POINT OF BEGINNING, CONTAINING 14,393 SQUARE FEET, MORE OR LESS, ACCORDING TO A PLAT AND SURVEY DATED APRIL 16, 1964, MADE BY ROSS & FRANCE, SURVEYORS, ATTACHED THERETO AND MADE A PART THEREOF, AND BEING A PORTION OF THE SAME LAND CONVEYED TO THE SAID JAMES R. GOSSOM BY DEEDS RECORDED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS HEREBY MADE FOR FURTHER AND COMPLETE PARTICULARS AND DERIVATION OF TITLE.

TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON AN ADJOINING LOT KNOWN AS THE HENRY W. BUTLER LOT, ACQUIRED BY THE SAID JAMES R. GOSSOM FROM HENRY W. BUTLER, ET AL, AND MORE FULLY DESCRIBED IN DEED BOOK 231, PAGE 490, TO WHICH REFERENCE IS MADE FOR FULL PARTICULARS, SAID RIGHT OF WAY OF EASEMENT TO RUN FROM THE WELL LOCATED NEAR THE SOUTHERN BORDER OF SAID LOT DESCRIBED IN DEED BOOK 231, PAGE 490, AS AFORESAID, TO THE PROPERTY HEREIN DESCRIBED.

ALSO TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON TWO ADJOINING LOTS WHICH SAID LOTS ARE MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AND DEED BOOK 159, PAGE 484, SAID RIGHT OF WAY TO RUN FROM A WELL SITUATED AT THE NORTHEASTERN CORNER OF THE LOT DESCRIBED AT DEED BOOK 159, PAGE 484, AFORESAID TO THE PROPERTY HEREIN DESCRIBED, ALONG WITH THE RIGHT OF USE OF WATER FROM THE WELL MENTIONED.

AND ALSO TOGETHER WITH A RIGHT OF WAY OF EASEMENT OVER, ACROSS AND UPON A CERTAIN LOT ADJOINING THE PARCEL HEREIN CONVEYED DESCRIBED IN DEED BOOK 124, PAGE 218, TO USE AND MAINTAIN AN EXISTING SEPTIC TANK DRAIN FIELD SYSTEM WHICH EXTENDS FROM THE PROPERTY HEREIN CONVEYED INTO A PORTION OF THE LAND RETAINED BY THE SAID JAMES R. GOSSOM AND MORE FULLY DESCRIBED IN DEED BOOK 124, PAGE 218, AFORESAID.

BEING THE SAME PROPERTY CONVEYED TO PAYNE DEVELOPMENT, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, BY DEED FROM YOUNG'S BRANCH, L.L.C., A VIRGINIA LIMITED LIABILITY COMPANY, AND ALAN C. GOSSOM, UNMARRIED, DATED MAY 25, 2005, AND RECORDED MAY 26, 2005, IN THE CLERK'S OFFICE, CIRCUIT COURT, PRINCE WILLIAM COUNTY, VIRGINIA, AS INSTRUMENT NO. 200505260085471.

SURVEYED DESCRIPTION

ALL OF THE LANDS OF PAYNE DEVELOPMENT, LLC INSTR. #200505260085471 TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA

- BEGINNING AT THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LIMITS OF WASHINGTON STREET - VIA RTE. 55 (VARIABLE WIDTH RIGHT-OF-WAY) WITH THE WESTERLY RIGHT-OF-WAY LIMITS OF JEFFERSON STREET - VIA RTE. 625, THENCE WITH SAID WESTERLY RIGHT-OF-WAY LIMITS;
 - 1. SOUTH 31° 15' 28" WEST, 249.31 FEET TO THE INTERSECTION OF SAID WESTERLY LIMITS WITH THE NORTHERLY RIGHT-OF-WAY LIMITS OF PAYNE LANE (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID NORTHERLY RIGHT-OF-WAY LIMITS;
 - 2. NORTH 62° 49' 28" WEST, 360.25 FEET TO THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY LIMITS WITH THE EASTERLY RIGHT-OF-WAY LIMITS OF FAYETTE STREET (VARIABLE WIDTH RIGHT-OF-WAY), THENCE WITH SAID EASTERLY RIGHT-OF-WAY LIMITS;
 - 3. NORTH 27° 50' 05" EAST, 217.89 FEET TO A 1" IRON PIPE FOUND MARKING THE INTERSECTION OF SAID EASTERLY RIGHT-OF-WAY LIMITS, WITH THE DIVISION LINE, BETWEEN THE LANDS OF TOWN OF HAYMARKET (TM 7298 80 7308) ON THE NORTH AND THE LANDS OF PAYNE DEVELOPMENT, LLC (INSTR. #200505260085471) ON THE SOUTH, THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY LIMITS AND WITH SAID DIVISION LINE, THE FOLLOWING TWO (2) COURSES AND DISTANCES;
 - 8. SOUTH 58° 07' 00" EAST, 177.34 FEET, THENCE;
 - 9. NORTH 29° 21' 04" EAST, 94.09 FEET TO THE INTERSECTION OF SAID DIVISION LINE WITH THE SOUTHERLY RIGHT-OF-WAY LIMITS OF SAID WASHINGTON STREET; THENCE WITH SAID SOUTHERLY RIGHT-OF-WAY LIMITS, THE FOLLOWING SIX (6) COURSES AND DISTANCES;
 - 6. SOUTH 58° 13' 57" EAST, 142.24 FEET, THENCE;
 - 7. CONTINUING, 6.60 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 5747.18 FEET, A CENTRAL ANGLE OF 00° 03' 57", AND A CHORD BEARING AND DISTANCE OF SOUTH 58° 15' 55" EAST, 6.60 FEET TO THE BEGINNING OF A NON-TANGENTIAL LINE, THENCE;
 - 8. CONTINUING, SOUTH 57° 35' 53" WEST, 27.39 FEET, THENCE;
 - 9. CONTINUING, 32.57 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 23.46 FEET, CENTRAL ANGLE OF 79° 44' 27", AND A CHORD BEARING AND DISTANCE OF SOUTH 08° 57' 33" EAST, 30.00 FEET, THENCE;
 - 10. CONTINUING, SOUTH 30° 58' 00" WEST, 9.90 FEET, THENCE;
 - 11. CONTINUING, SOUTH 59° 02' 00" EAST, 2.50 FEET TO THE PLACE OF BEGINNING.

CONTAINING 92,524 SQUARE FEET OF 2.124 ACRES. DESCRIPTION IS ON NAD83/2011 DATUM BASED ON A CURRENT FIELD SURVEY AND MONUMENTATION FOUND.

BEING THE PART OF THE PROPERTY AS DESCRIBED IN A TITLE COMMITMENT REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. B19-1540F, WITH AN EFFECTIVE DATE OF MAY 24, 2019, 2ND REISSUE, AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A914303048-00A

| UTILITY COMPANY | LOCATE STATUS | PHONE NUMBER |
|-------------------------------|----------------------------|----------------|
| PRINCE WILLIAM - WATER | MARKED | (703) 609-8097 |
| PRINCE WILLIAM-SEWER | MARKED | (703) 609-8097 |
| COMCAST | NO CONFLICT | (804) 562-3861 |
| FIBERLIGHT | MARKED | (410) 979-0384 |
| LEVEL 3-CENTURYLINK | NO CONFLICT | (877) 366-8344 |
| QWEST GOVERNMENT | MARKED (CRITICAL FACILITY) | (703) 387-9152 |
| VERIZON | NO CONFLICT | (703) 754-2116 |
| DOMINION ENERGY ELECT. DISTR. | NO CONFLICT | (703) 754-2116 |
| COLUMBIA GAS | NO CONFLICT | (703) 754-2116 |

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A914303002-00A

| UTILITY COMPANY | LOCATE STATUS | PHONE NUMBER |
|-------------------------------|----------------------------|----------------|
| PRINCE WILLIAM - WATER | MARKED | (703) 609-8097 |
| PRINCE WILLIAM-SEWER | MARKED | (703) 609-8097 |
| COMCAST | NO CONFLICT | (804) 562-3861 |
| FIBERLIGHT | NO CONFLICT | (410) 979-0384 |
| LEVEL 3-CENTURYLINK | NO CONFLICT | (877) 366-8344 |
| QWEST GOVERNMENT | MARKED (CRITICAL FACILITY) | (703) 387-9152 |
| VERIZON | NO CONFLICT | (703) 754-2116 |
| DOMINION ENERGY ELECT. DISTR. | NO CONFLICT | (703) 754-2116 |
| COLUMBIA GAS | MARKED | (703) 754-2116 |

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): B914301299-00B

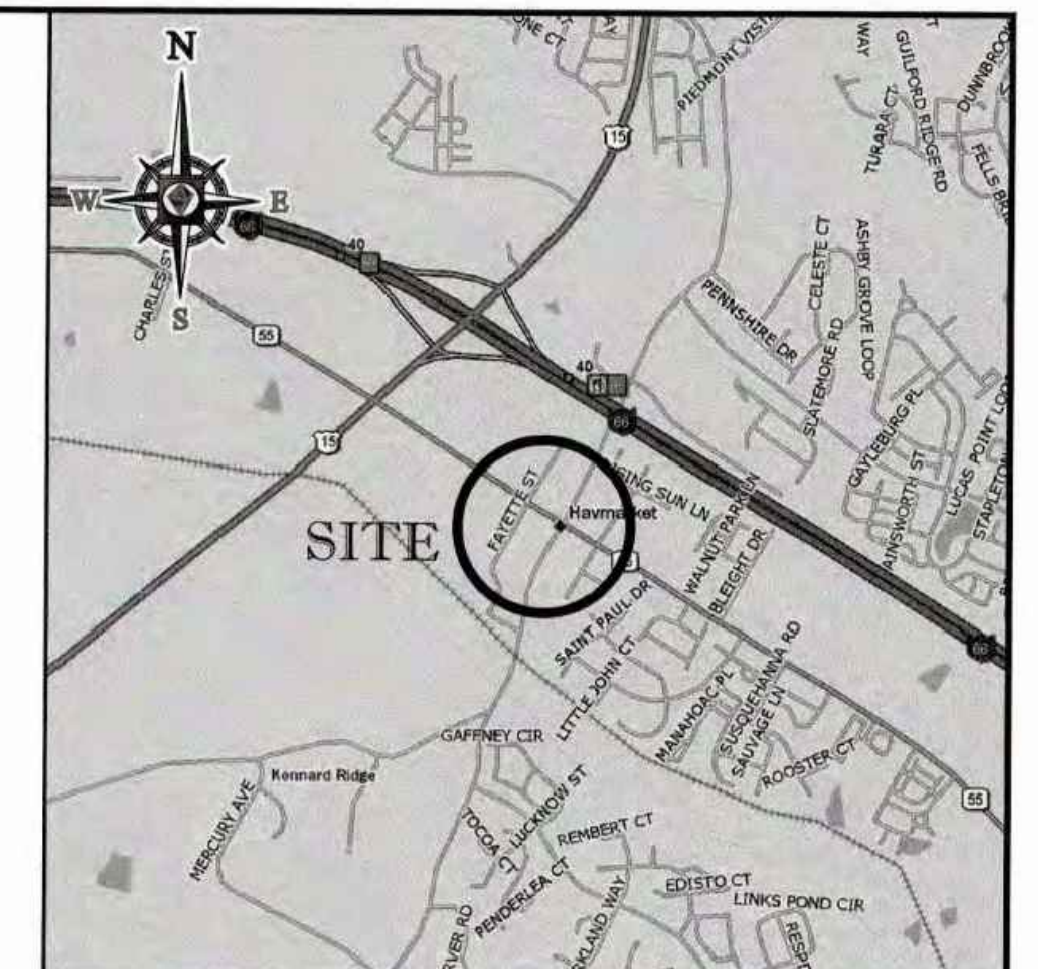
| UTILITY COMPANY | LOCATE STATUS | PHONE NUMBER |
|-------------------------------|----------------------------|----------------|
| PRINCE WILLIAM - WATER | MARKED | (703) 609-8097 |
| PRINCE WILLIAM-SEWER | MARKED | (703) 609-8097 |
| COMCAST | NO CONFLICT | (804) 562-3861 |
| FIBERLIGHT | MARKED | (410) 979-0384 |
| LEVEL 3-CENTURYLINK | NO CONFLICT | (877) 366-8344 |
| QWEST GOVERNMENT | MARKED (CRITICAL FACILITY) | (703) 387-9152 |
| VERIZON | NO CONFLICT | (703) 754-2116 |
| DOMINION ENERGY ELECT. DISTR. | NO CONFLICT | (703) 754-2116 |
| COLUMBIA GAS | NO CONFLICT | (703) 754-2116 |

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A91430292-00A

| UTILITY COMPANY | LOCATE STATUS | PHONE NUMBER |
|-------------------------------|---------------|----------------|
| PRINCE WILLIAM - WATER | MARKED | (703) 609-8097 |
| PRINCE WILLIAM-SEWER | MARKED | (703) 609-8097 |
| COMCAST | NO CONFLICT | (804) 562-3861 |
| FIBERLIGHT | NO CONFLICT | (410) 979-0384 |
| LEVEL 3-CENTURYLINK | NO CONFLICT | (877) 366-8344 |
| QWEST GOVERNMENT | NO CONFLICT | (703) 387-9152 |
| VERIZON | NO CONFLICT | (703) 754-2116 |
| DOMINION ENERGY ELECT. DISTR. | NO CONFLICT | (703) 754-2116 |
| COLUMBIA GAS | NO CONFLICT | (703) 754-2116 |

UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A91430292-00A

| UTILITY COMPANY | LOCATE STATUS | PHONE NUMBER |
|-------------------------------|---------------|----------------|
| PRINCE WILLIAM - WATER | MARKED | (703) 609-8097 |
| PRINCE WILLIAM-SEWER | MARKED | (703) 609-8097 |
| COMCAST | NO CONFLICT | (804) 562-3861 |
| FIBERLIGHT | NO CONFLICT | (410) 979-0384 |
| LEVEL 3-CENTURYLINK | NO CONFLICT | (877) 366-8344 |
| QWEST GOVERNMENT | NO CONFLICT | (703) 387-9152 |
| VERIZON | NO CONFLICT | (703) 754-2116 |
| DOMINION ENERGY ELECT. DISTR. | NO CONFLICT | (703) 754-2116 |
| COLUMBIA GAS | NO CONFLICT | (703) 754-2116 |



LOCATION MAP
 COPYRIGHT 2013
 DELORME STREET ATLAS USA 2013
 SCALE: 1"=200'

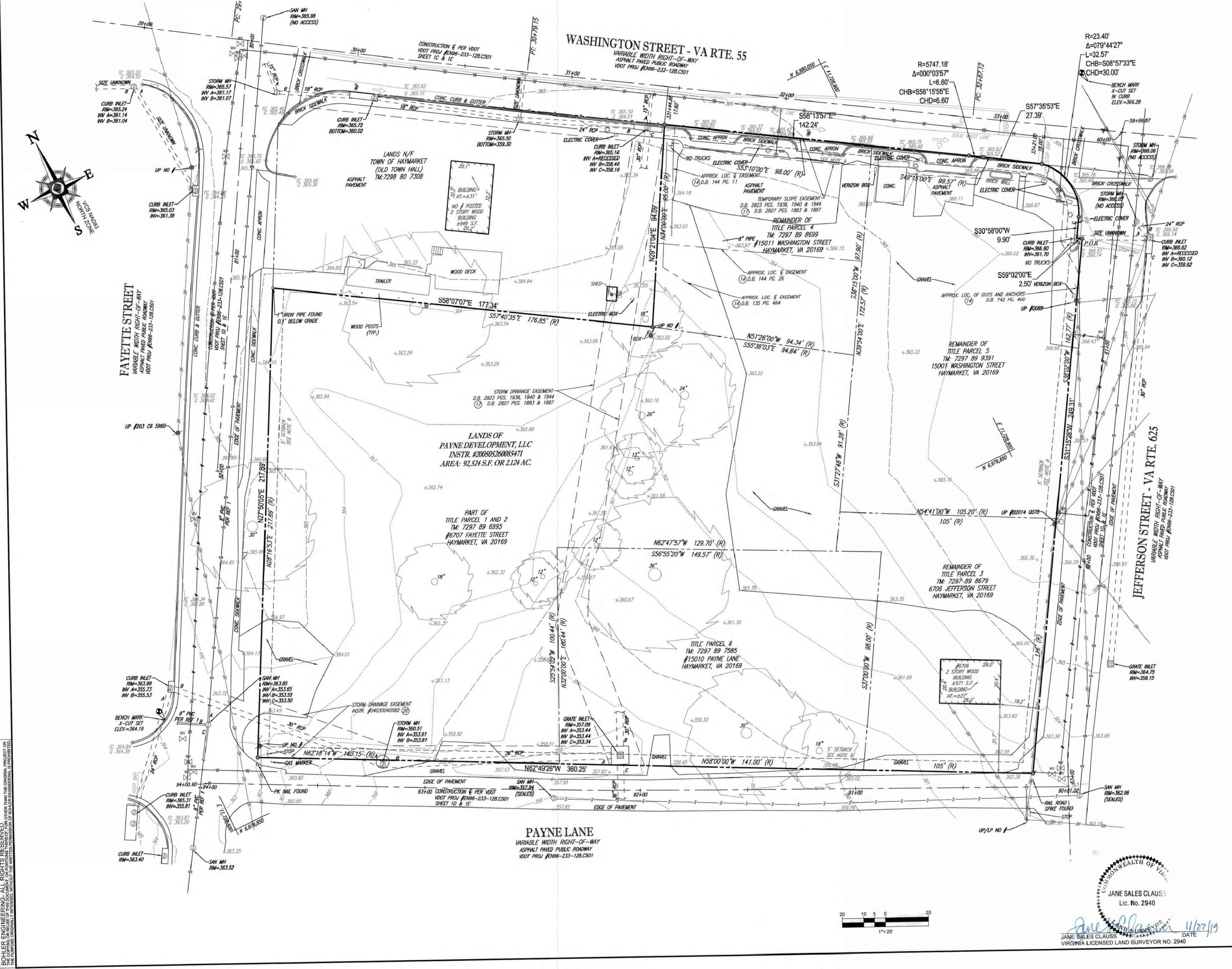
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| 3 | UPDATED PER ATTORNEY COMMENTS & REV. COMMITMENT | ETB/ JB | 11/21/19 |
| 2 | UPDATED PER COMMENTS | JEB | 10/08/19 |
| 1 | UPDATED PER ZONING INFORMATION | JEB | 08/01/19 |
| No. | DESCRIPTION OF REVISION | BY: | DATE |

ALTA/NSPS LAND TITLE SURVEY

PURPOSE LODGING

WASHINGTON STREET AND FAYETTE STREET
 PRINCE WILLIAM COUNTY, VIRGINIA
 TOWN OF HAYMARKET, 20169

| | | |
|------------|----------|--|
| FILE NO. | SV192055 | 12825 WOODLARK DRIVE, SUITE 100 HERNDON, VIRGINIA 20170 703.709.8500 |
| DATE | 7/10/19 | www.bohlerengineering.com |
| FIELD DATE | 05/28/19 | CREW CH |



LEGEND

- - - - - EXISTING CONTOUR
- X 123.45 EXISTING SPOT ELEVATION
- X TC 123.45 EXIST. TOP OF CURB ELEVATION
- X C 122.95 EXIST. GUTTER ELEVATION
- HYDRANT
- WATER VALVE
- OH OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT
- UTILITY POLE
- TRAFFIC SIGNAL
- ELECTRIC METER
- ELECTRIC BOX
- SANITARY MANHOLE
- STORM DRAIN MANHOLE
- WATER METER
- SIGN
- MAIL BOX
- AREA LIGHT
- PAINTED ARROWS
- TITLE REPORT EXCEPTION
- BENCHMARK
- UTILITY POLE/LIGHT POLE
- GUY WIRE
- TREE (SIZE AS NOTED)
- PROP. CORNER TO BE SET
- (M) MEASURED
- (R) RECORD
- APPROX. LOC. UNDERGROUND SEWER LINE PER UTILITY MARKOUT
- APPROX. LOC. UNDERGROUND WATER LINE PER REF. 1
- APPROX. LOC. UNDERGROUND SEWER LINE PER REF. 1

REFERENCES
 1 WATER/SEWER GIS MAP PROVIDED BY SERVICE AUTHORITY, DATED AUGUST 15, 2019

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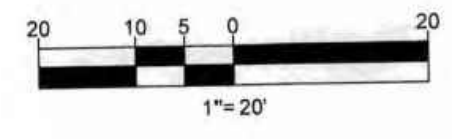
| | | | |
|-----|---|--------|----------|
| 3 | UPDATED PER ATTORNEY COMMENTS & REV. COMMITMENT | ETB/JB | 11/21/19 |
| 2 | UPDATED PER COMMENTS | JEB | 10/08/19 |
| 1 | UPDATED PER ZONING INFORMATION | JEB | 08/01/19 |
| No. | DESCRIPTION OF REVISION | BY: | DATE |

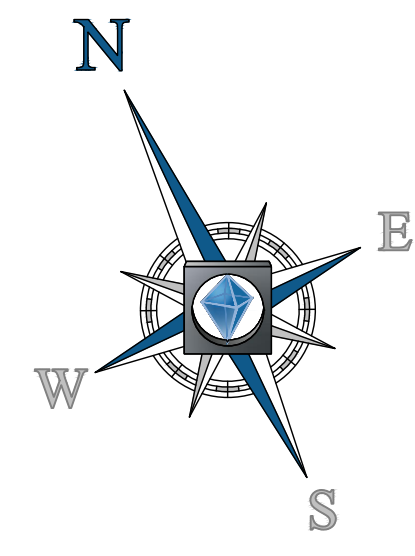
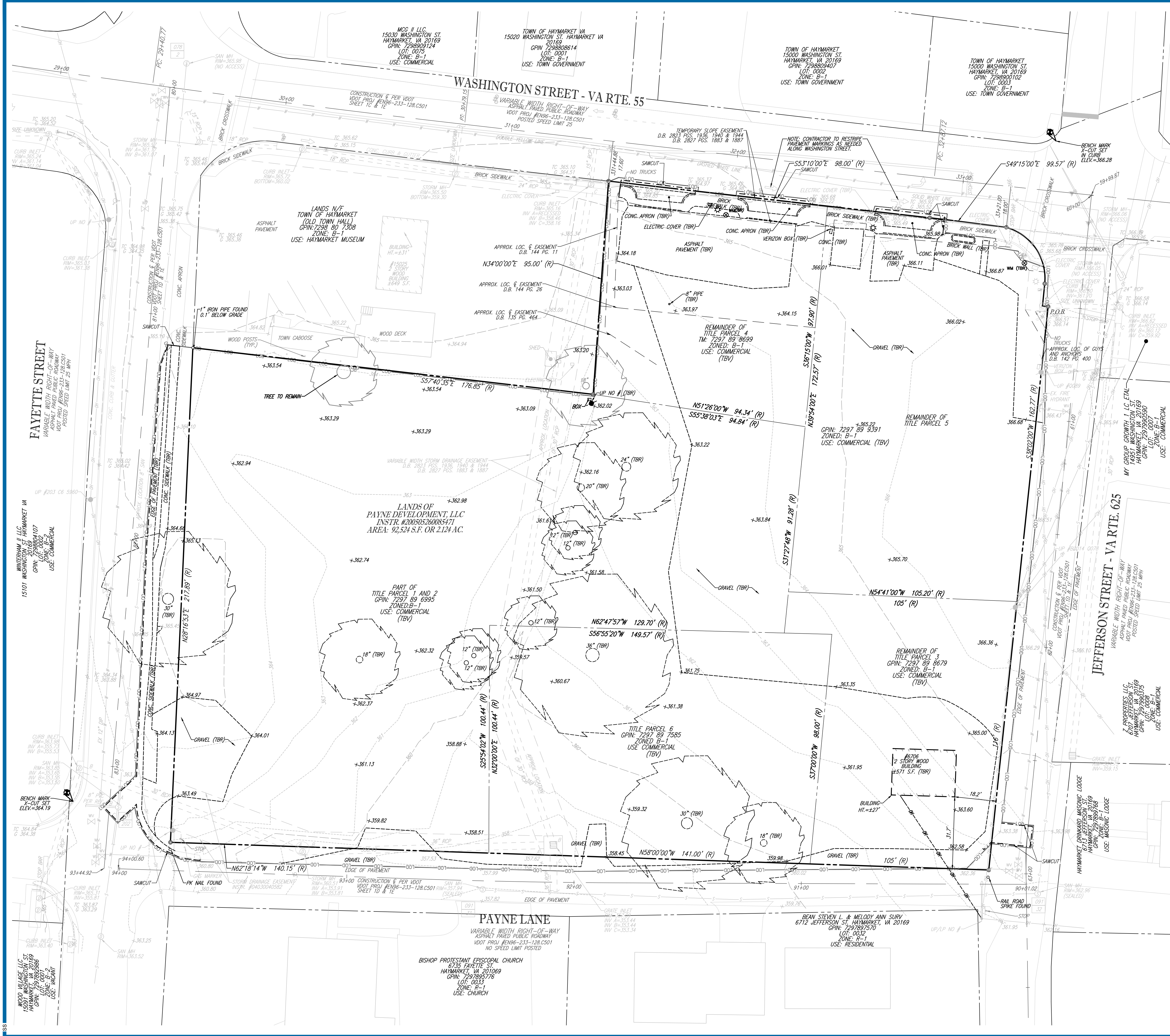
ALTA/NSPS LAND TITLE SURVEY
PURPOSE LODGING

WASHINGTON STREET AND FAYETTE STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA, 20169

| | | | |
|------------------------|---------------------|---------------------------|---|
| FILE NO. SV192055 | | BOHLER ENGINEERING | 1325 WORLDWATE DRIVE, SHERBOON, VIRGINIA 22079-9600 |
| DATE 07/10/19 | | | www.bohlereng.com |
| FIELD DATE 05/28/19 | CREW CHIEF JD/MR | DRAWN BAS II | REVIEWED JB |
| | APPROVED JF | SCALE 1" = 20' | DWG. NO. C-1 |

JANE SALES CLAUS
 Lic. No. 2940
 DATE 11/27/19
 VIRGINIA LICENSED LAND SURVEYOR NO. 2940





NOTES:

- THIS PLAN DOES NOT GUARANTEE THE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO DETERMINE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOBILIZATION. IF CONFLICTS EXIST, NOTIFY ENGINEER.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- EXISTING SITE CONDITIONS ARE BASED ON TAL TAINSPS LAND TITLE SURVEY - PURPOSE LOGGING - PREPARED BY BOHLER ENGINEERING DATED 07/10/19, REVISED 10/08/19 AND REVISED 11/27/2019. ADDITIONAL INFORMATION DERIVED FROM AVAILABLE PRINCE WILLIAM COUNTY GIS DATA AND AERIAL IMAGERY.
- ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS SURVEY CONTROL NO. PW11 WITH A PUBLISHED ELEVATION OF 348.645 FEET
- FEMA FLOOD ZONE HAZARD "X" AS PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 51153C067D DATED, JANUARY 5, 1995.
- THE EXISTING HISTORICAL STRUCTURE AT 6706 JEFFERSON STREET HAS BEEN APPROVED TO BE DEMOLISHED UNDER ZONING PERMIT #2019-020, APPROVAL ISSUED ON 9/17/19.

DEMOLITION/REMOVAL LEGEND

| DEMOLITION/REMOVAL NOTE | TYPICAL NOTE TEXT |
|-------------------------|----------------------------|
| --- | EASEMENT LINE |
| --- | CONCRETE CURB & GUTTER |
| --- | UTILITY POLE WITH LIGHT |
| --- | POLE LIGHT |
| --- | TRAFFIC LIGHT |
| --- | UTILITY POLE |
| --- | TYPICAL LIGHT |
| --- | ACORN LIGHT |
| --- | TYPICAL SIGN |
| --- | PARKING COUNTS |
| --- | ELEVATIONS |
| --- | SANITARY LABEL |
| --- | STORM LABEL |
| --- | SANITARY SEWER LATERAL |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND ELECTRIC LINE |
| --- | UNDERGROUND GAS LINE |
| --- | OVERHEAD WIRE |
| --- | UNDERGROUND TELEPHONE LINE |
| --- | UNDERGROUND CABLE LINE |
| --- | STORM SEWER |
| --- | SANITARY SEWER MAIN |
| --- | HYDRANT |
| --- | SANITARY MANHOLE |
| --- | STORM MANHOLE |
| --- | WATER METER |
| --- | WATER VALVE |
| --- | GAS VALVE |
| --- | GAS METER |

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 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY |
|-----|----------|------------------------|----------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG |

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PROJECT No: V192055
 DRAWN BY: MEG
 CHECKED BY: JQR
 DATE: 11/08/2019
 CAD I.D.: ECP

SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

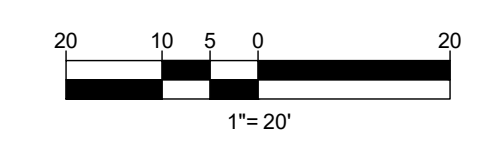
BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

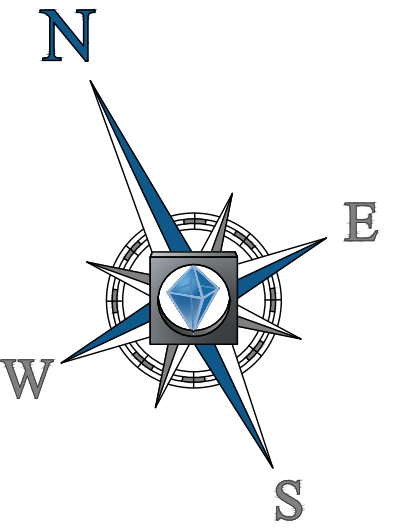
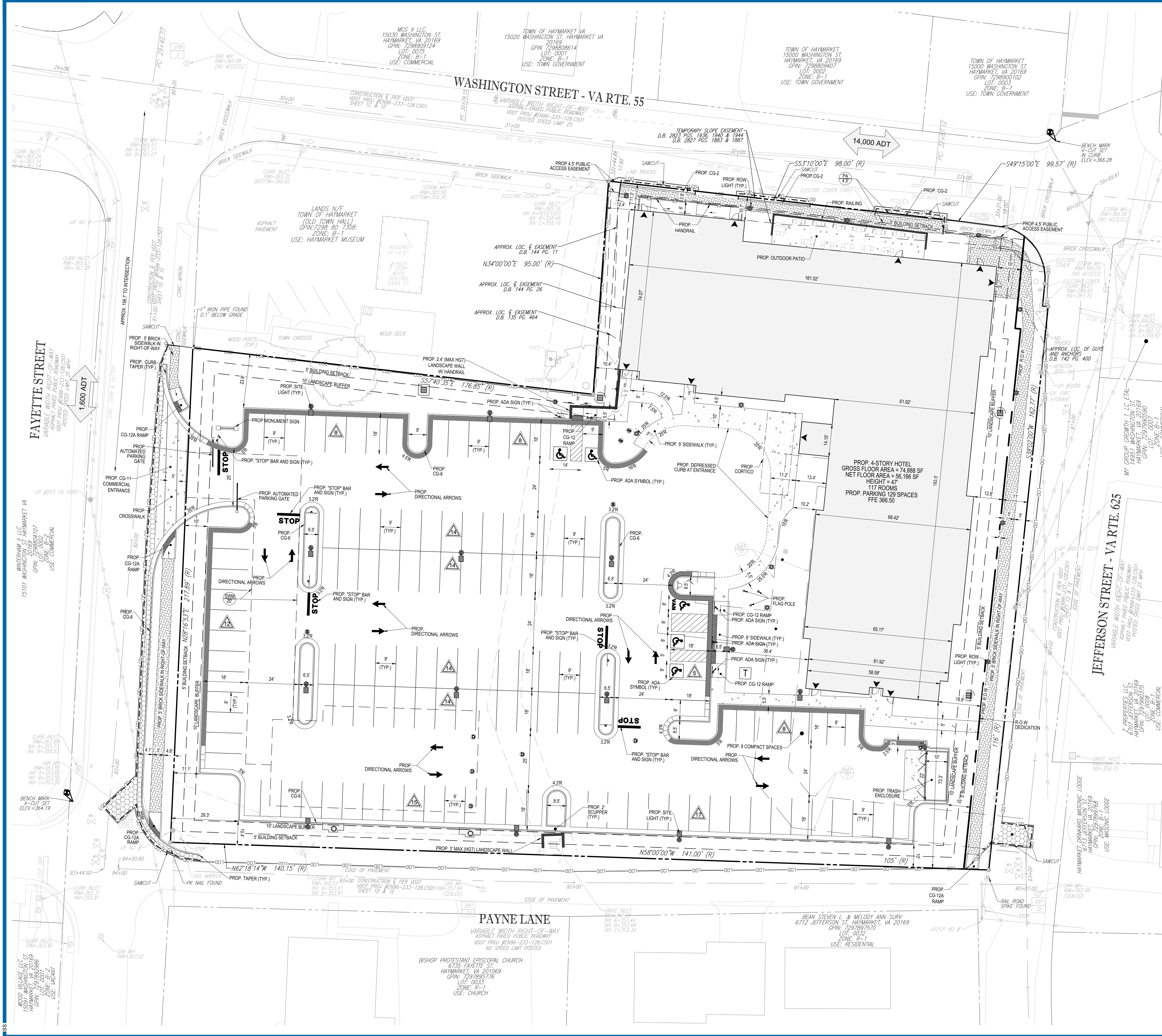
COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SHEET TITLE:
EXISTING CONDITIONS /DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 1 - 11/27/19





GENERAL NOTES:

- 1. SURVEY: ALTAIR'S LAND TITLE SURVEY, "PURPOSE LODGING WASHINGTON STREET AND FAYETTE STREET TOWN OF HAYMARKET PRINCE WILLIAM COUNTY, VIRGINIA PREPARED BY BOHLER ENGINEERING PROJECT NUMBER SV192055 DATED 07/10/19, REVISED 10/09/19
- 2. ARCHITECTURAL PLAN: CAD FILE 'A1-09' PREPARED BY NOVUS DATED 10/09/19
- 3. DEVELOPER: HAYMARKET HOTEL VENTURE, LLC 820 SHADES CREEK PKWY, SUITE 2300 BIRMINGHAM, AL 35208 CONTACT: RYAN MORGAN PHONE: 720-252-9033

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

SITE DATA

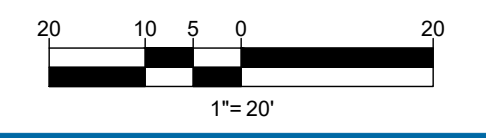
| ADDRESS | FINAL ADDRESS TBD |
|----------------------------|---|
| JURISDICTION | TOWN OF HAYMARKET |
| ZONING | EXISTING: B-1 - TOWN CENTER DISTRICT PROPOSED: B-1 - TOWN CENTER DISTRICT |
| SITE AREA | EXISTING: 2.12 AC ± PROPOSED: 2.05 AC ± |
| BUILDING AREA | 74,888 SF |
| PARKING REQUIRED | 1.1 SPACES PER ROOM @ 117 ROOMS = 129 SPACES |
| PARKING PROVIDED | 129 SPACES |
| REQUIRED BUILDING SETBACKS | FRONT YARD (WASHINGTON STREET/MUSEUM PROPERTY): 5 FEET SIDE YARDS (FAYETTE AND JEFFERSON STREETS): 5 FEET REAR YARD (PAYNE LANE): 5 FEET |
| PROVIDED BUILDING SETBACKS | FRONT YARD (WASHINGTON STREET/MUSEUM PROPERTY): 10.4 FEET SIDE YARDS (FAYETTE AND JEFFERSON STREETS): 12.8 FEET (JEFFERSON) REAR YARD (PAYNE LANE): 73.3 FEET |
| REQUIRED LANDSCAPE BUFFERS | FRONT YARD (WASHINGTON STREET/MUSEUM PROPERTY): 10 FEET SIDE YARDS (FAYETTE AND JEFFERSON STREETS): 10 FEET REAR YARD (PAYNE LANE): 10 FEET |
| PROVIDED BUFFERS | FRONT YARD (WASHINGTON STREET/MUSEUM PROPERTY): N/A - PUBLIC SIDEWALK SIDE YARDS (FAYETTE AND JEFFERSON STREETS): 10 FEET (MIN) REAR YARD (PAYNE LANE): 10 FEET (MIN) |
| MAXIMUM BUILDING HEIGHT | 50 FEET (4 STORIES) |
| PROPOSED BUILDING HEIGHT | 47 FEET (63 FEET TO HIGHEST PARAPET) |
| PROPOSED OPEN SPACE | 0.40 AC ± |
| LOT COVERAGE | 80% |

SITE NOTES:

1. ESTIMATED SEWAGE FLOW IS 16,500 GPD.
2. PROVIDED DEVELOPMENT IS ESTIMATED TO GENERATE 470 VPD.
3. THERE ARE NO MAPPED RPA'S ON THE PROJECT SITE.
4. THERE ARE NO CEMETERIES OR OTHER HISTORIC SITES ON THE PROJECT SITE.
5. THE MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING IN COMMERCIAL OPEN SPACE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
6. PROPOSED BRICK SIDEWALKS ALONG SITE FRONTAGE ARE THE MAINTENANCE RESPONSIBILITY OF THE OWNER.

HATCH LEGEND

| | | | |
|--|-------------------------|--|-----------------------------------|
| | PAVEMENT & ADA STRIPING | | PROP BUILDING (SEE ARCH DRAWINGS) |
| | CONCRETE PAVEMENT | | STANDARD DUTY ASPHALT PAVEMENT |
| | BRICK WALKWAY | | HEAVY DUTY ASPHALT PAVEMENT |



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REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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| | |
|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | SSP |

SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC
 PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 KATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SITE PLAN
 SHEET NUMBER:
C-301
 REVISION 1 - 11/27/19

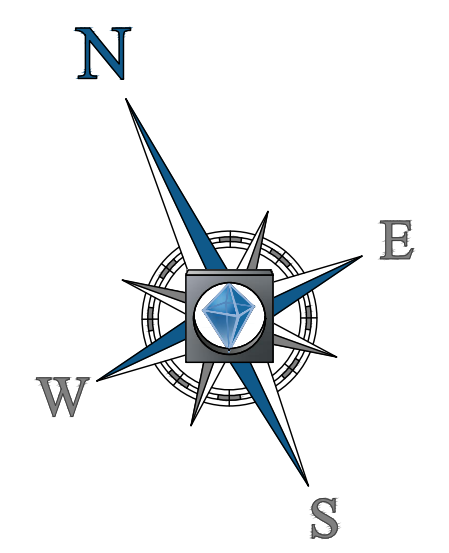
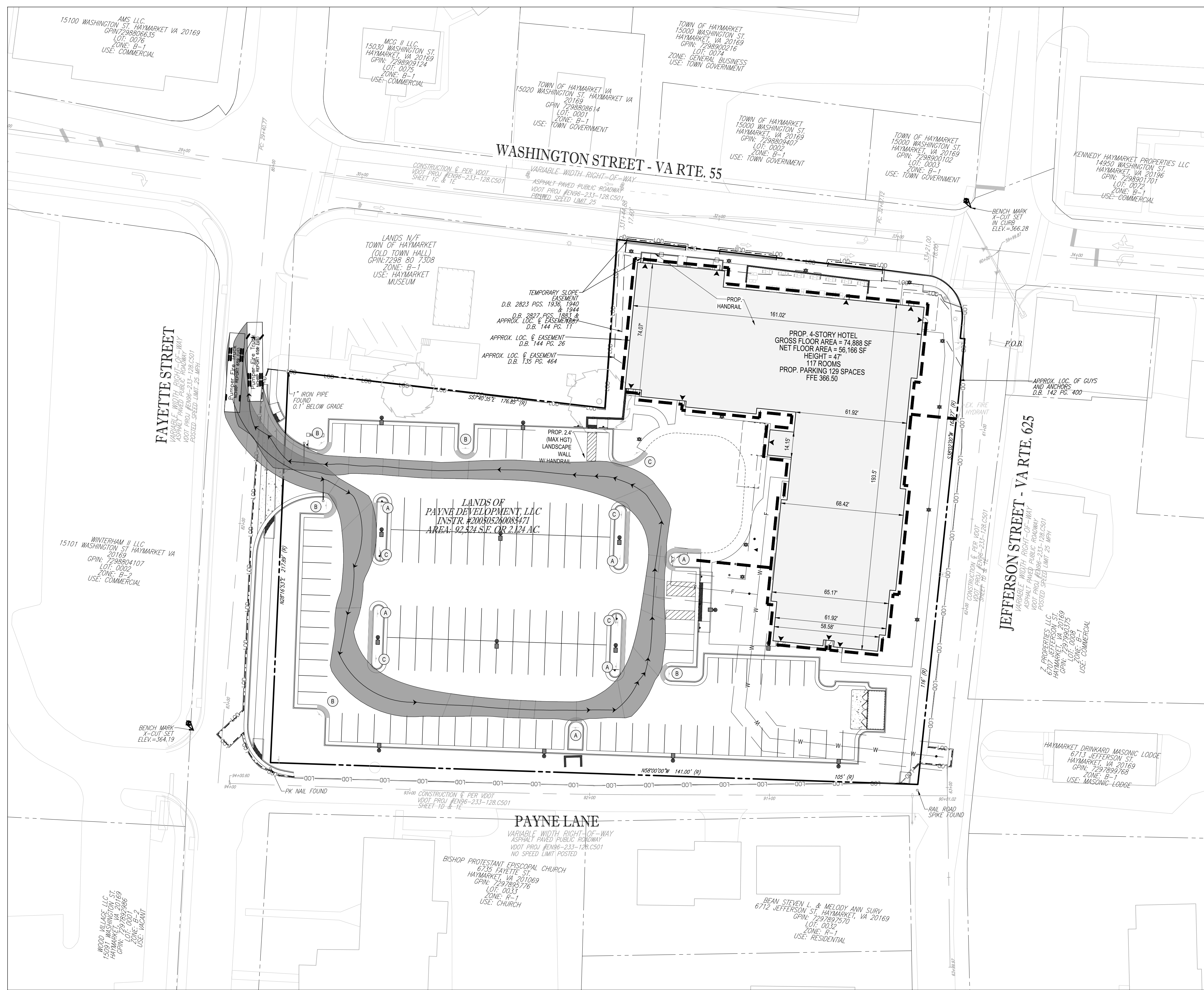


TABLE 3-4
FIRE LANE SIGN LETTERING SIZE

| Lettering | Letter Height inches |
|----------------------------------|----------------------|
| NO PARKING OR STANDING FIRE LANE | 2 |
| Arrows | 1 |
| | 2 |
| | 2-1/2 |
| | 1 |

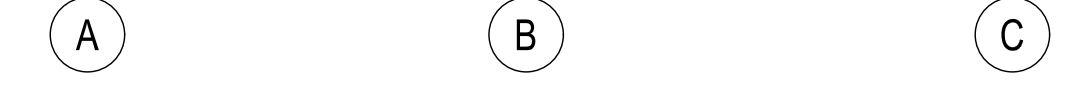
SIGN TYPES AND DESIGN

| SIGN TYPE "A" | SIGN TYPE "B" | SIGN TYPE "C" |
|---------------------------------------|---------------------------------------|---------------------------------------|
| NO PARKING OR STANDING FIRE LANE ➔ | NO PARKING OR STANDING FIRE LANE ↔ | NO PARKING OR STANDING FIRE LANE ← |

Standard wording with an arrow at bottom pointing to the right. One sign mounted parallel to the line of curbing or pavement edge at end of painted area.

Standard wording with two directional arrows. One sign mounted parallel to the line of curbing or pavement edge at end of painted area.

Standard wording with an arrow at bottom pointing to the left. One sign mounted parallel to the line of curbing or pavement edge at end of painted area.



302.01 Fire Lanes:

A. Fire lanes in residential, commercial, institutional and industrial developments shall be designated by the County, and shall be a minimum of twenty (20) feet in width. This dimension shall be measured perpendicular from the painted curb or perimeter line. Parking and traffic flow patterns within designated fire lanes shown on site plans shall be as follows:

| STANDARD REQUIREMENTS | | |
|-----------------------|--|--|
| Width Curb to Curb | One Way Traffic | Two-Way Traffic |
| 20' to 30' | Parking on one side | No Parking |
| 30' to 35' | Parallel parking allowed on both sides of street | Parallel parking on one side determined by the Fire Marshal's Office |
| 35' or greater | No fire lane will be established | No fire lane will be established. |

B. A minimum of two (2) signs shall designate fire lanes, one (1) at each end. Additional signs shall be provided at a minimal interval of one hundred (100) feet. Fire lanes may be painted in parking areas where no curb or gutter exists and where posting of a metal sign is not feasible. See construction standards for fire lanes in Section 304.01 of this manual.

304.01. Fire Lane Signs and Painting:

A. Fire lane signs shall be constructed of metal with a dimension of approximately twelve (12) inches by fifteen (15) inches.

B. The sign shall be painted with red letters on a white background with a three-eighths (3/8) inch red trip strip around the entire outer edge of the sign. The lettering on the sign shall read "NO PARKING OR STANDING FIRE LANE," which shall be spaced on the sign face uniformly. Solid arrows shall also be painted on the signs to point to and indicate the designated fire lane. The lettering and arrow on the sign shall be in accordance with Table 3-4.

C. Signs for fire lanes shall be posted at intervals of one hundred (100) feet with the bottom of the sign no less than six (6) feet from the ground, and the top no more than eight (8) feet from the ground, unless otherwise directed by Public Works and the Fire Marshal's Office. Sign posts shall be metal and securely mounted unless permission from the Fire Marshal's Office is obtained prior to installation for an alternative method.

D. Letters at least two (2) feet in height may be painted on the pavement where a fire lane runs through a parking area without curbing adjacent to the fire lane, and where the posting of a metal sign(s) is impractical. The lettering shall read "NO PARKING OR STANDING FIRE LANE."

E. When curbing is provided adjacent to the fire lane, it shall be painted yellow within the limits of the fire lane.

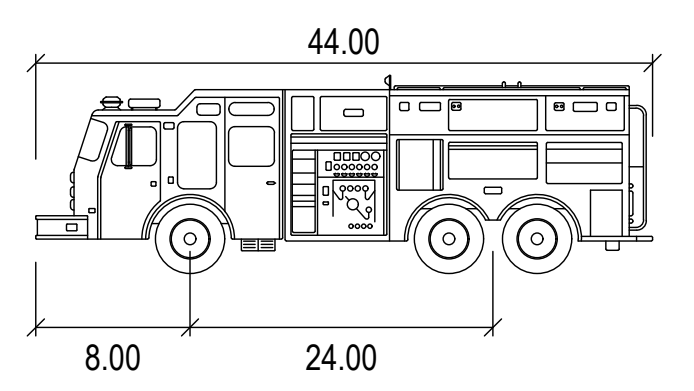
F. When curbing is not provided adjacent to the fire lane, a yellow line shall be painted on the pavement along the perimeter and within the limits of the fire lane with two (2) foot long intersecting lines and painted at three (3) foot intervals on the fire lane side of the perimeter.

NOTES:

1. CONTRACTOR TO PAINT FIRE LANE CURB (OR PAVEMENT) YELLOW. CONTRACTOR TO ENSURE FIRE LANE SIGNAGE IS PROVIDED TO MEET THE REQUIREMENTS OF THE PWC FIRE PREVENTION CODE.

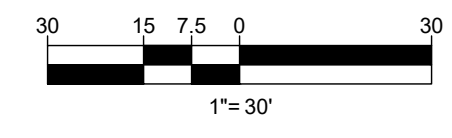
LEGEND:

- FIRE LANE (CURB TO BE PAINTED YELLOW)
- FIRE HOSE COVERAGE (300' MAXIMUM LENGTH PER PWC DCSM)



Pumper Fire Truck

| | feet |
|-------------------|--------|
| Width | : 8.50 |
| Track | : 8.50 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 37.8 |



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 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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| | |
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| PROJECT NO.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | FMP - 1 |

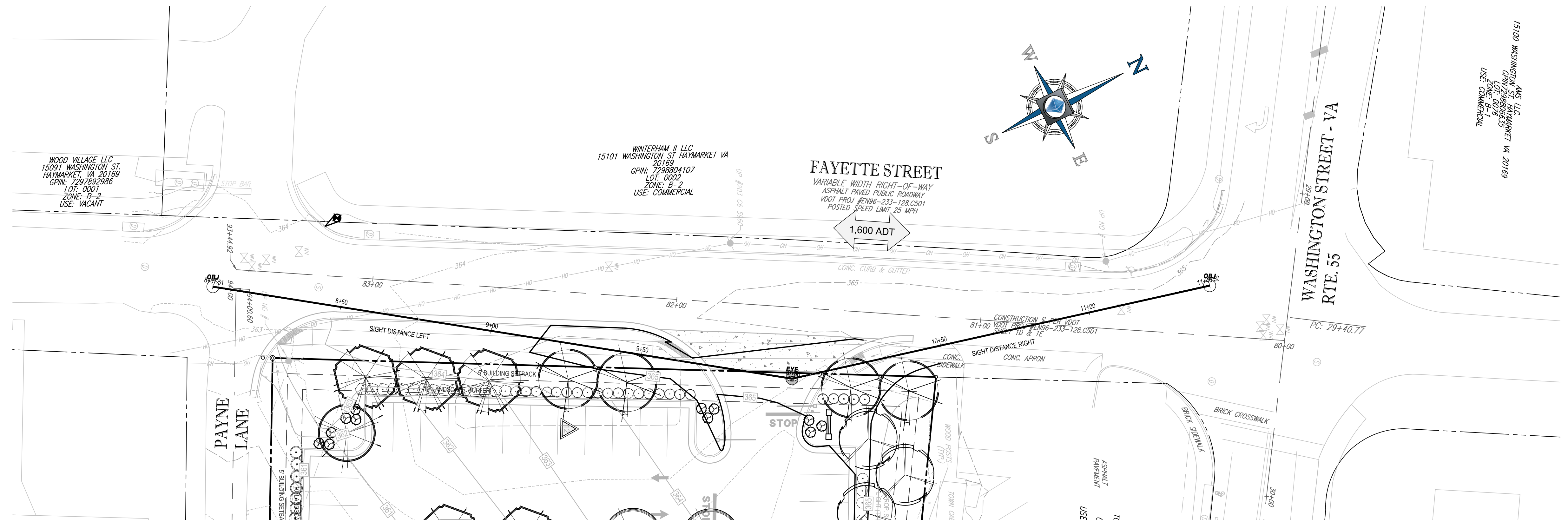
SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

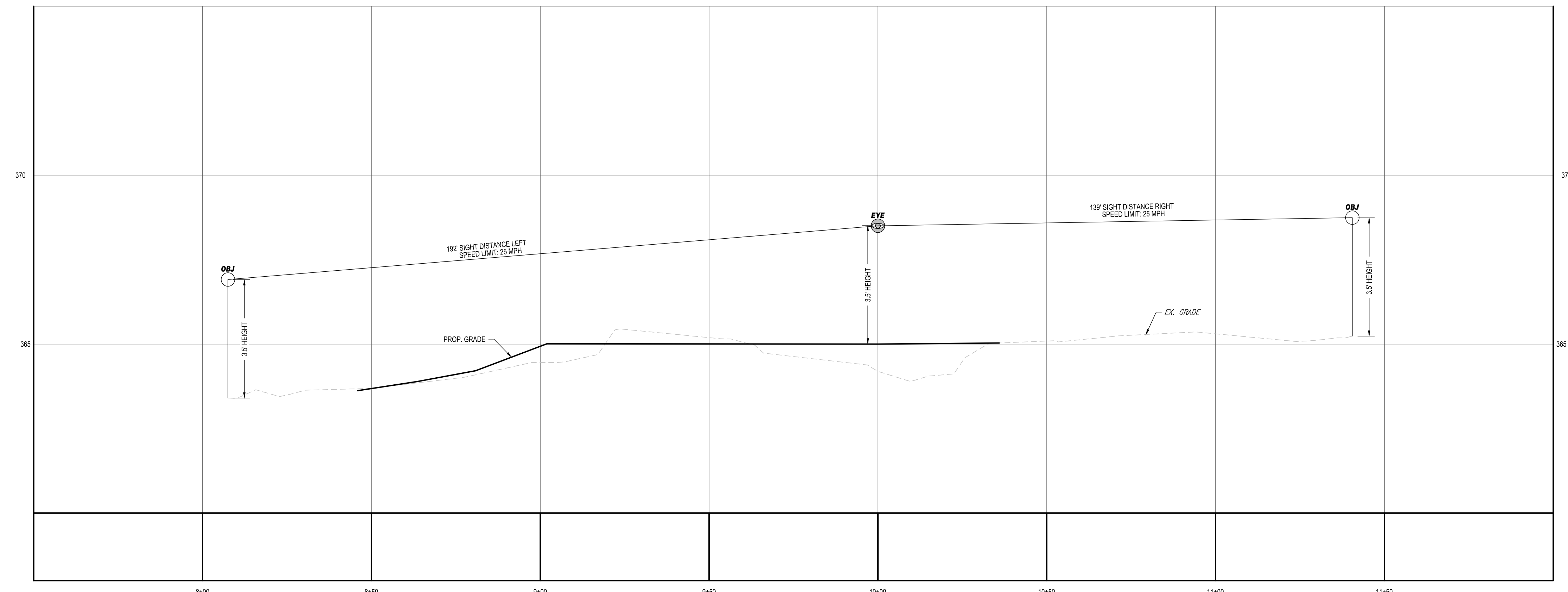
BOHLER ENGINEERING
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 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

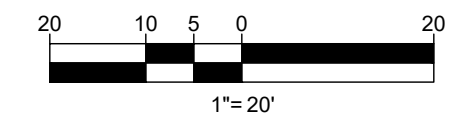
SHEET TITLE:
FIRE MARSHAL PLAN
 SHEET NUMBER:
C-302
 REVISION 1 - 11/27/19



SIGHT DISTANCE PLAN VIEW
SCALE: 1" = 20'



FAYETTE STREET ACCESS SIGHT DISTANCE
SCALE: 1" = 20' HORIZONTAL
1" = 2' VERTICAL



BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
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SUSTAINABLE DESIGN
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TRANSPORTATION SERVICES

15100 WASHINGTON ST.
HAYMARKET VA 20169
GPN: 797932986
LOT: 0001
ZONE: B-2
USE: COMMERCIAL

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | PPL - 1 |

PROJECT:

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
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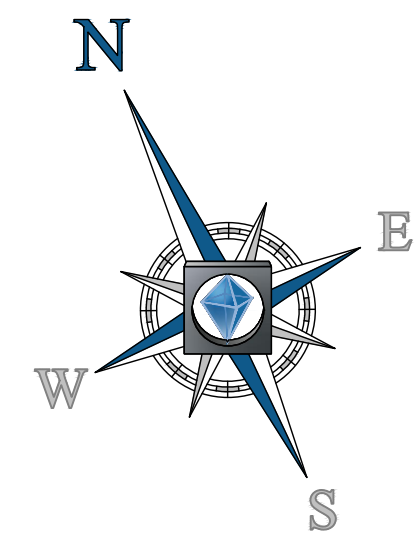
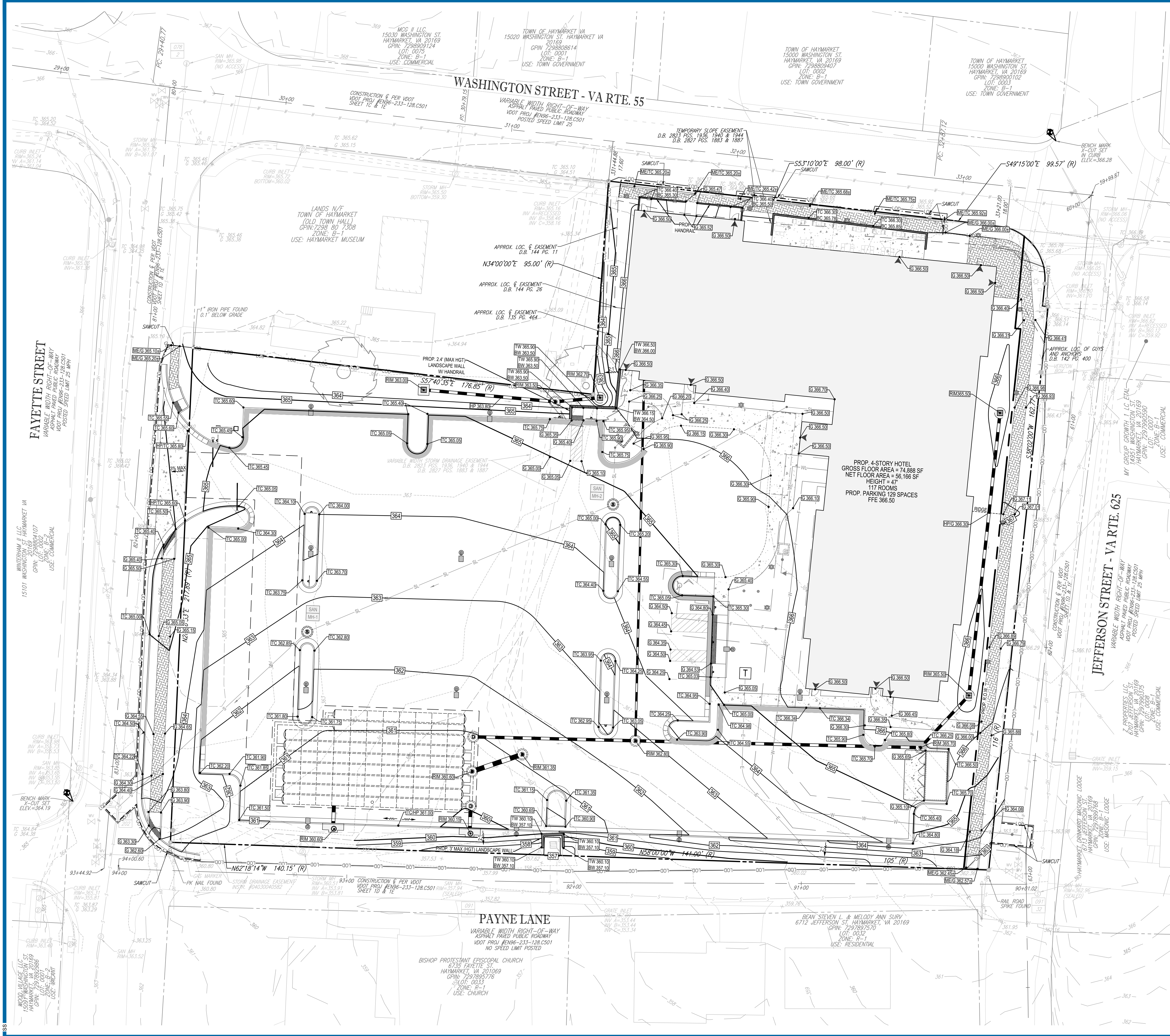
COMMONWEALTH OF VIRGINIA

JONATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
SIGHT DISTANCE PROFILES

SHEET NUMBER:
C-303

REVISION 1 - 11/27/19



NOTES:

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- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- EXISTING SITE CONDITIONS ARE BASED ON ALTA/SPS LAND TITLE SURVEY - "PURPOSE LOGGING" PREPARED BY BOHLER ENGINEERS AND DATED 07/19/19; REVISED 10/09/19. ADDITIONAL INFORMATION DERIVED AVAILABLE PRINCE WILLIAM COUNTY GIS DATA AND AERIAL IMAGERY.
- GEOTECH RECOMMENDATIONS ARE PROVIDED IN THE REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, PROPOSED HAYMARKET HOTEL PROJECT, SWC WASHINGTON AND JEFFERSON STREETS, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA," BY WDP & ASSOCIATES, DATED 11/4/19.

REVISIONS

| REV | DATE | COMMENT | DRAWN BY |
|-----|----------|------------------------|----------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG |

GRADING LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
|---------------|---------------------|------------------|
| 120 | CONTOUR LINE | 120 |
| 125 | GIS CONTOUR LINE | 125 |
| 120 | SPOT ELEVATIONS | 120.00 125.55 |
| SAN | SANITARY LABEL | SAN |
| STM | STORM LABEL | STM |
| SS | STORM SEWER | SS |
| SM | STORM MANHOLE | SM |
| TE | TYPICAL END SECTION | TE |
| HE | HEADWALL OR ENDWALL | HE |
| YI | YARD INLET | YI |
| CI | CURB INLET | CI |
| MW | MONITORING WELL | MW |
| B | BORING | B |
| BM | BENCHMARK | BM |
| TP | TEST PIT | TP |

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PROJECT No.: V192055
DRAWN BY: MEG
CHECKED BY: JQR
DATE: 11/08/2019
CAD I.D.: GDF

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

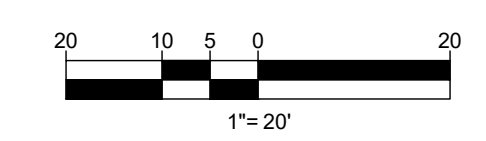
BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

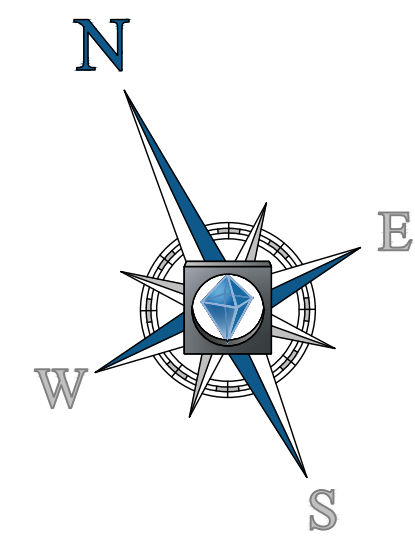
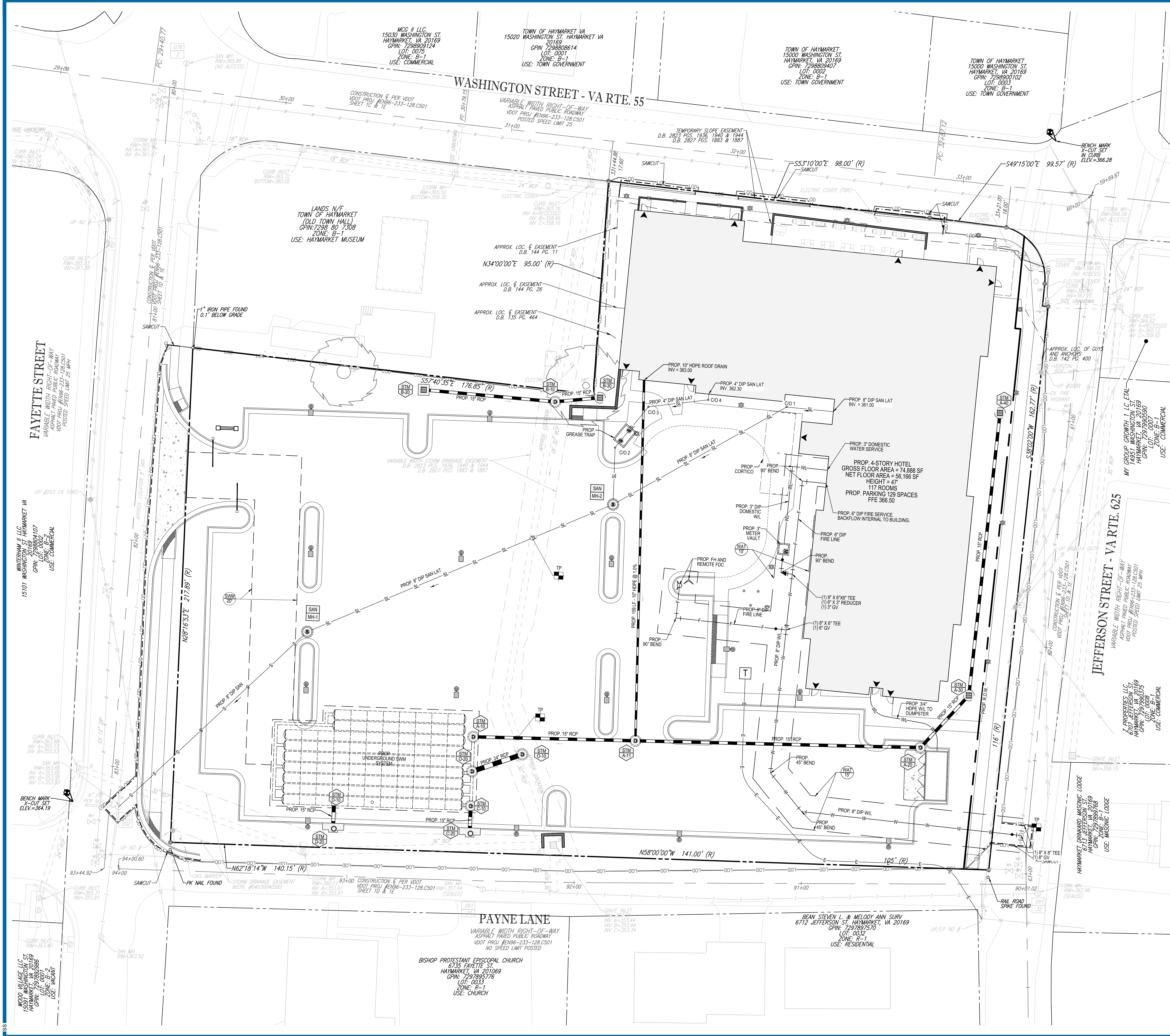
COMMONWEALTH OF VIRGINIA
KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C-401

REVISION 1 - 11/27/19





BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: V192055
 DRAWN BY: MEG
 CHECKED BY: JQR
 DATE: 11/08/2019
 CAD I.D.: UTP -

SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
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COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-501

REVISION 1 - 11/27/19

SITE SPECIFIC UTILITY NOTES

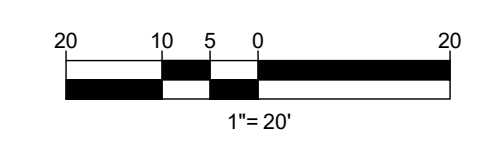
- THIS PLAN IS BASED UPON:
 EXISTING SITE CONDITIONS ARE BASED ON ALTA/NSPS LAND TITLE SURVEY - "PURPOSE LODGING" PREPARED BY BOHLER ENGINEERING AND DATED 07/10/19, REVISED 10/08/19. ADDITIONAL INFORMATION DERIVED AVAILABLE PRINCE WILLIAM COUNTY GIS DATA AND AERIAL IMAGERY.
- CONTRACTOR SHALL VERIFY THAT ALL EXISTING STORM INLETS AND PIPES ON SITE ARE IN GOOD WORKING CONDITION, AND SHALL CLEAR OR REPAIR AS NECESSARY.
- SEE UTILITY DETAILS SHEET C-903

UTILITY CROSSING NOTES

- CONTRACTOR SHALL VERIFY SIZE AND INVERT OF PIPES AT EACH CROSSING.
- TEST PITS SHALL BE REQUIRED WHERE ALL PROPOSED UTILITIES CROSS EXISTING UTILITIES AND WHERE ALL PROPOSED UTILITIES TIE INTO EXISTING UTILITIES
- UNLESS OTHERWISE NOTED, MINIMUM COVER OVER DOMESTIC WATERLINES SHALL BE 3.5'. ALL WET UTILITY CROSSINGS MUST MAINTAIN MINIMUM OF 1.5' VERTICAL CLEARANCE. ALL OTHER UTILITY CROSSINGS MUST MAINTAIN A 1' VERTICAL CLEARANCE.

TEST PIT NOTE

- CONTRACTOR TO TEST PIT FOR EXACT LOCATION OF EXISTING UTILITY AND SUBMIT ANY DISCREPANCIES TO BOHLER ENGINEERING IN WRITING.



H:\19\192055\DRAWINGS\PLAN SET\SITE PLAN\192055-UTP-1.DWG PRINTED BY: SSHEFFIELD 12.02.19 @ 1:26 PM LAST SAVED BY: SSHEFFIELD

Attachment: 191127 Haymarket Hotel Site Plan Rev 1 (4296 - Haymarket Hotel Venture, LLC Final Site Plan)

Project Plan Name: Haymarket Hotel
 Prince William County Plan Number: TBD
 Engineering Firm: Bohler Engineering
 Project Location: SW Corner of Washington Street and Jefferson Street, Town of Haymarket, VA

Pressure Zone: Haymarket
 High Hydraulic Grade Line (ft): 535
 Low Hydraulic Grade Line (ft): 515

Sewer Shed: North Branch
 Local Facility Charge: Not Applicable
 Master Plan Utility Adjustment Applicable: No

| WATER MAIN | GRAVITY SANITARY SEWER MAIN |
|------------------------|-----------------------------|
| Size | Size |
| 8-inch | 8-inch |
| 12-inch | 10-inch |
| 16-inch | 12-inch |
| 18-inch | 16-inch |
| Total Length: 277 Feet | Total Length: 0 Feet |

| LOW PRESSURE FORCE MAIN | PUMP STATION FORCE MAIN |
|-------------------------|-------------------------|
| Size | Size |
| 1.5-inch | 4-inch |
| 2-inch | 6-inch |
| 2.5-inch | 8-inch |
| 3-inch | 12-inch |
| Total Length: 0 Feet | Total Length: 0 Feet |

Total Number of 4-inch or 6-inch proposed valves: 0 Each
 Total Number of 8-inch or 12-inch proposed valves: 1 Each
 Total Number of 16-inch or 24-inch proposed valves: 0 Each

Total Number of Proposed Manholes: 0 Each
 Total Number of Proposed Fire Hydrants: 1 Each
 Total Number of Proposed Residential Meter Cocks to be Installed: 0 Each
 Total Number of 5/8"x 3/4" Residential Meters to be Certified: 0 Each

| Pipe Quantity Summary | Total Project Quantities Proposed By This Plan | Quantities Previously Approved & Permitted by Plan # | Net Increase |
|--|--|--|--------------|
| WATER MAIN INSPECTION | 277 | | |
| WATER MAIN AS-BUILT | 277 | | |
| SANITARY SEWER / FORCE MAIN INSP. | 0 | | |
| SANITARY SEWER/FORCE MAIN AS-BUILT | 0 | | |
| TV SANITARY SEWER MAIN INSPECTION | 0 | | |
| Minimum water main inspection fee applies for water quantities less than 100 feet: | | | No |
| Minimum sanitary sewer / force main inspection fee applies for quantities less than 100 linear feet: | | | No |
| Minimum as-built fee applies when total as-built cost are less than \$1000.00: | | | No |

Notes:

The profile shall call out the station restraint is to start and the station restraint is end for each fitting, reducer, and dead end.

Pipe Material: _____
 Soil Type: _____
 Safety Factor: (1.5 to 1 is typical) _____
 Trench Type: (Type 4 is typical for the Service Authority backfill requirements) _____
 Test Pressure: (100 psi plus them max static pressure, but no less than 200 psi) _____ psi

The undersigned Engineer and /or firm, on behalf of itself and its successors, does hereby assume full liability and responsibility for the accuracy of the calculations, selections made, or information presented in this information sheet and agrees to hold harmless the Service Authority from any claim.

The undersigned Engineer and/or firm agrees that the Prince William County Service Authority shall have the right to use these plans and electronic files for the preparation of as-built records, as necessary. The Engineer and/or firm further agrees that the right to use the plans and electronic files shall be provided without cost to the Service Authority.

Signature: _____
 (Type or Print)

Maximum static water pressure in the proposed water system: 52 psi
 Minimum static water pressure in the proposed water system: 51 psi
Information above is provided from the hydraulic model with applied maximum day water demands.

Available Fire Flow: 500 gpm
 Lowest Residual Pressure during a fire flow scenario: 36 psi
Information above is provided from the hydraulic model with applied maximum day and fire flow water demands.
 Are residential fire sprinkler systems proposed? No

High Hydraulic Grade Line: 535 feet
 Lowest Finished Floor Elevation proposed within the development: 366.5 feet
 Estimated highest static pressure at the finished floor elevation: 73 psi

Low Hydraulic Grade Line: 515 feet
 Highest Finished Floor Elevation proposed within the development: 366.5 feet
 Estimated lowest static pressure at the finished floor elevation: 64 psi

Estimates are made with an assumed high and low hydraulic grade line and do not take into account the effects of friction loss or water booster pumps in the water system. Actual pressures may vary and delivery pressure are not guaranteed.

International Residential Code P2903.3 Minimum static pressure (as determined by the local water authority) at the building entrance for either public or private water service shall be 40 psi (276 kPa).

International Residential Code P2903.3.1 Maximum pressure. Maximum static pressure shall be 80 psi (551 kPa). When main pressure exceeds 80 psi (551 kPa), an approved pressure-reducing valve conforming to ASSE 1003 shall be installed on the domestic water branch main or riser at the connection to the water-service pipe.

Note: The professional engineer is responsible to account for the effects of friction loss on the delivery pressure at the finished floor elevation from the service line, meter, and other plumbing appurtenances. The Service Authority requires calculations to size the private service lines when delivery pressures are 45 psi or less and the service line is in excess of 70 feet.

The hydraulic design and all finished floor elevations comply with the applicable plumbing code for pressure without a water booster pump or pressure reducing device.

The use of private water booster pumps and/or pressure reducing devices are required for the following lots to comply with applicable plumbing code for pressure.

| Lot# or Building ID | Elev. @ Finished Floor | High Hydraulic Grade Line (ft) | Low Hydraulic Grade Line (ft) | Estimated High Pres. (psi) | Estimated Low Pres. (psi) | Private Water Booster P. Needed | Pres. Red. Device Needed |
|---------------------|------------------------|--------------------------------|-------------------------------|----------------------------|---------------------------|---------------------------------|--------------------------|
| HOTEL | 366.5 | 535 | 515 | 73 | 64 | - | - |
| | | 535 | 515 | | | - | - |

| MULTI-DWELLING METER SCHEDULE | | | | | | | | | | | |
|-------------------------------|------------------|-----------|--------------|--------------------------|---------------------|--------------------|------------|------------|---------------------------|---------------------------|--|
| Building Identifier | Building Address | Meter Use | Account Type | Number of Dwelling Units | 1 Peak Demand (GPM) | 2 & 3 ERU Purchase | Meter Size | Meter Type | (Reserved for Future Use) | (Reserved for Future Use) | 4 Non-Binding Estimated Availability Fee |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |
| | | | | | | #N/A | | | | | |

NOTES:

- A fixture unit list and meter sizing calculations shall be provided in the plan set for each proposed meter in accordance with the current AWWA M22 standard.
- The number of ERU's for a multi-family building is 80% of the total number of dwelling units associated with the meter and is rounded up to the next full unit.
- For water only accounts, the minimum purchased number of ERU units must match the allocation with the meter size as defined in Table VI: Availability Fees of the Customer Handbook.
- The Availability Fee is not the total fee due. New connections may be subject to the following fees: meter, meter installation, sewer and water inspection, application and Local Facility charges. See the Customer Handbook for additional information.

| NON-RESIDENTIAL METER SCHEDULE | | | | | | | | | | | |
|--------------------------------|------------------|------------|---------------|--------------------------------------|---------------------|----------------|------------|------------|---------------------------|---------------------------|--|
| Building Identifier | Building Address | Meter Use | Account Type | Est. Max Month Consumption (Gallons) | 1 Peak Demand (GPM) | 2 ERU Purchase | Meter Size | Meter Type | (Reserved for Future Use) | (Reserved for Future Use) | 4 Non-Binding Estimated Availability Fee |
| HOTEL | TBD | Commercial | Water & Sewer | 365,000 | 173 | (INPUT) | 3-Inch | Compound | | | #VALUE! |

NOTES:

- For meters 2-inch and larger the maximum month water consumption shall be reported. The purchased number of ERU's shall be based on the estimated maximum month consumption, but shall not be less than the allocated number of ERU's allocated meter size. For meters smaller than 2-inch, the maximum month water consumption does not need to be reported.
- A fixture unit list and meter sizing calculations shall be provided in the plan set for each proposed meter in accordance with the current AWWA M22 standard.
- For all meters the minimum purchased number of ERU units must match the allocation with the meter size as defined in Table VI: Availability Fees of the Customer Handbook.
- The Availability Fee is not the total fee due. New connections may be subject to the following fees: meter, meter installation, sewer and water inspection, application and Local Facility charges. See the Customer Handbook for additional information.

| DATA CENTER METER SCHEDULE | | | | | | | | | | | |
|----------------------------|------------------|-----------|--------------|----------------------------------|---------------------|----------------|------------|------------|--------------------|---------------------------------|--|
| Building Identifier | Building Address | Meter Use | Account Type | Est. Max Month Consumption (GPD) | 1 Peak Demand (GPM) | 2 ERU Purchase | Meter Size | Meter Type | Meter Manufacturer | Flow Rate (gpm) Minimum Maximum | 4 Non-Binding Estimated Availability Fee |
| | | | | | | | | | | | |

NOTES:

- For sewer only meters and 2-inch meters and larger, the purchased number of ERU's shall be based on the estimated maximum month consumption, but shall not be less than the allocated number of ERU's associated with the meter size.
- A fixture unit list and meter sizing calculations shall be provided in the plan set for each proposed meter in accordance with the current AWWA M22 standard.
- For all meters the minimum purchased number of ERU units must match the allocation with the meter size as defined in Table VI: Availability Fees of the Customer Handbook.
- The Availability Fee is not the total fee due. New connections may be subject to the following fees: meter, meter installation, sewer and water inspection, application and Local Facility charges. See the Customer Handbook for additional information.

(Based on AWWA M22 Manual, Second Edition)

Building Identifier: HOTEL

Multi-Dwelling Residential or Non-Residential: High Demand (e.g. Non-Residential)

Maximum static water pressure at the meter location: 60 psi
(Obtained from hydraulic study at the meter location)

| Fixture or Appliance | Fixture Value (at 60 psi) | Number of Fixtures | Subtotal Fixture Value |
|--|---------------------------|--------------------|------------------------|
| Toilet (tank) | 4 | 117 | 468 |
| Toilet (flush valve) | 35 | 7 | 245 |
| Urinal (wall or stall) | 16 | 0 | 0 |
| Urinal (flush valve) | 35 | 2 | 70 |
| Bidet | 2 | 0 | 0 |
| Shower (single head) | 2.5 | 93 | 232.5 |
| Sink / Faucet (Lavatory) | 1.5 | 128 | 192 |
| Kitchen Sink | 2.2 | 2 | 4.4 |
| Utility Sink | 4 | 1 | 4 |
| Dishwasher | 2 | 1 | 2 |
| Bathroom | 8 | 24 | 192 |
| Clothes Washer | 6 | 5 | 30 |
| Hose Connections (with 50 ft of hose) | | | |
| 1/2 in. | 5 | 0 | 0 |
| 5/8 in. | 9 | 0 | 0 |
| 3/4 in. | 12 | 5 | 60 |
| Miscellaneous | | | |
| Bedpan washers | 10 | 0 | 0 |
| Drinking fountains | 2 | 1 | 2 |
| Dental units | 2 | 0 | 0 |
| Combined Fixture Value | | | 1501.9 |
| Demand (gpm) from AWWA Curve | | | 137.5 |
| Pressure Adjustment Factor | | | 1 |
| Adjusted demand (gpm) | | | 138 |
| Irrigation Demand (gpm) that will occur simultaneously with normal water use | | | gpm |
| Water demand for equipment will occur simultaneously with normal water use | | | 30 |
| Total estimated peak flow | | | 168 |
| Required AWWA Meter Size | | | 3-Inch Compound Meter |

1 Methods and materials used in the construction of water mains, sanitary sewer mains, force mains and appurtenances shall be in conformance with the current Prince William County Service Authority (Service Authority) Utility Standards Manual (USM) and the Virginia Department of Health Regulations.

2 Acceptance of these plans by the Service Authority will in no way relieve the owner from complying with the methods, policies or requirements stated in the Service Authority's USM.

3 Service Authority has Local Review Authority for water mains up to and including 18-inch and sanitary sewer mains up to and including 24-inch. Utilities outside the Service Authority's Local Review Authority, including low pressure force mains systems, are subject to the review, approval and permitting process of either the Virginia Department of Health Office of Drinking Water or Department of Environmental Quality. It is the Professional Engineer's responsibility to submit all necessary applications and plans and to secure all applicable plan approvals and permits from the different governing authorities.

4 Trees, fences, monuments, signs, entrance features, sheds, decks, overhanging canopies, or permanent structures shall not be placed in easements dedicated to the Service Authority without written permission from the Service Authority.

5 The contractor shall notify the Service Authority Inspection Manager at least two (2) business days, but not more than ten (10) business days, prior to the commencement of demolition, excavation or blasting in areas with underground water mains, sanitary sewer mains, and/or force mains.

6 All subdivision will require an address listing approved by the Prince William County Mapping Office. The address listing must be presented to the Service Authority at the time the utility permit is issued. Forms are available at the Service Authority. (Fax copies are not acceptable.)

7 Low pressure sewer force main systems are subject to the review and requirements of the Virginia Department of Environmental Quality.

8 The developer is responsible for all costs associated with damages to or relocation of water mains, sanitary sewer mains, force mains or service lines caused by the construction of this project.

9 The contractor shall coordinate all relocation of water mains, sanitary sewer mains and/or force mains with the Service Authority's Field Inspector. Water or sanitary sewer system shutdowns will not be executed without the prior approval of the Service Authority Field Inspector. The Field Inspector shall require the contractor to submit a relocation work plan for Service Authority acceptance prior to the commencement of the relocation work. The work plan will detail how the work will be done and the manpower, materials, and equipment that will be at the site to perform the work.

10 The Service Authority does not guarantee the availability or construction of utilities that are proposed by another entity even if those utilities are shown as existing in this plan set. If needed utilities shown as existing are not available or do not exist, it is the developer's responsibility to acquiring the necessary rights and permits to install on-site and off-site water and sanitary sewer utilities to provide the desired service.

11 Existing unused water service lines shall be exposed at the connection point on the water main and shall be cut and terminated (e.g. crimped) as directed by the Service Authority Field Inspector.

12 Existing unused laterals or sanitary service lines shall be cut and capped at the connection point to the sanitary sewer main or force main as directed by the Service Authority Field Inspector.

13 When an existing water service line, lateral of sanitary service line will be reused as part of a new development, the Service Authority shall inspect the existing service line to insure that it is acceptable and meets current Service Authority material specifications. Any defects or out-of-date materials shall be repaired or replaced to the satisfaction of the Service Authority to ensure the service line is water tight before the existing service line is placed back in service.

WATER AND SEWER INFORMATION TO BE UPDATED UPON COMPLETION OF WATER MODEL

SA Service Authority
 Prince William County

Water & Sanitary Sewer Information Sheet
 Sheet effective as of September 1, 2019

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

| REVISIONS | | | | |
|-----------|----------|------------------------|----------|------------|
| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JGR |

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| | |
|------------------------------|-------|
| PROJECT NO.: V192055 | MEG |
| DRAWN BY: JGR | JGR |
| CHECKED BY: DATE: 11/08/2019 | OOD - |

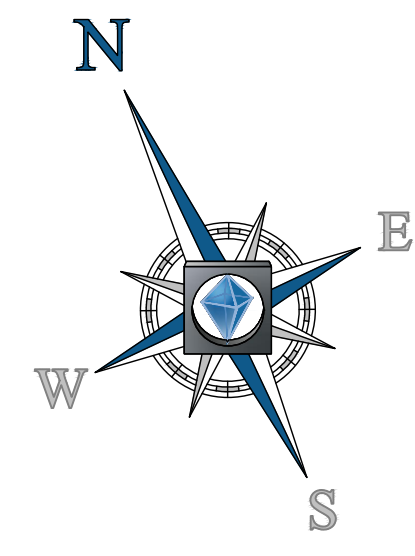
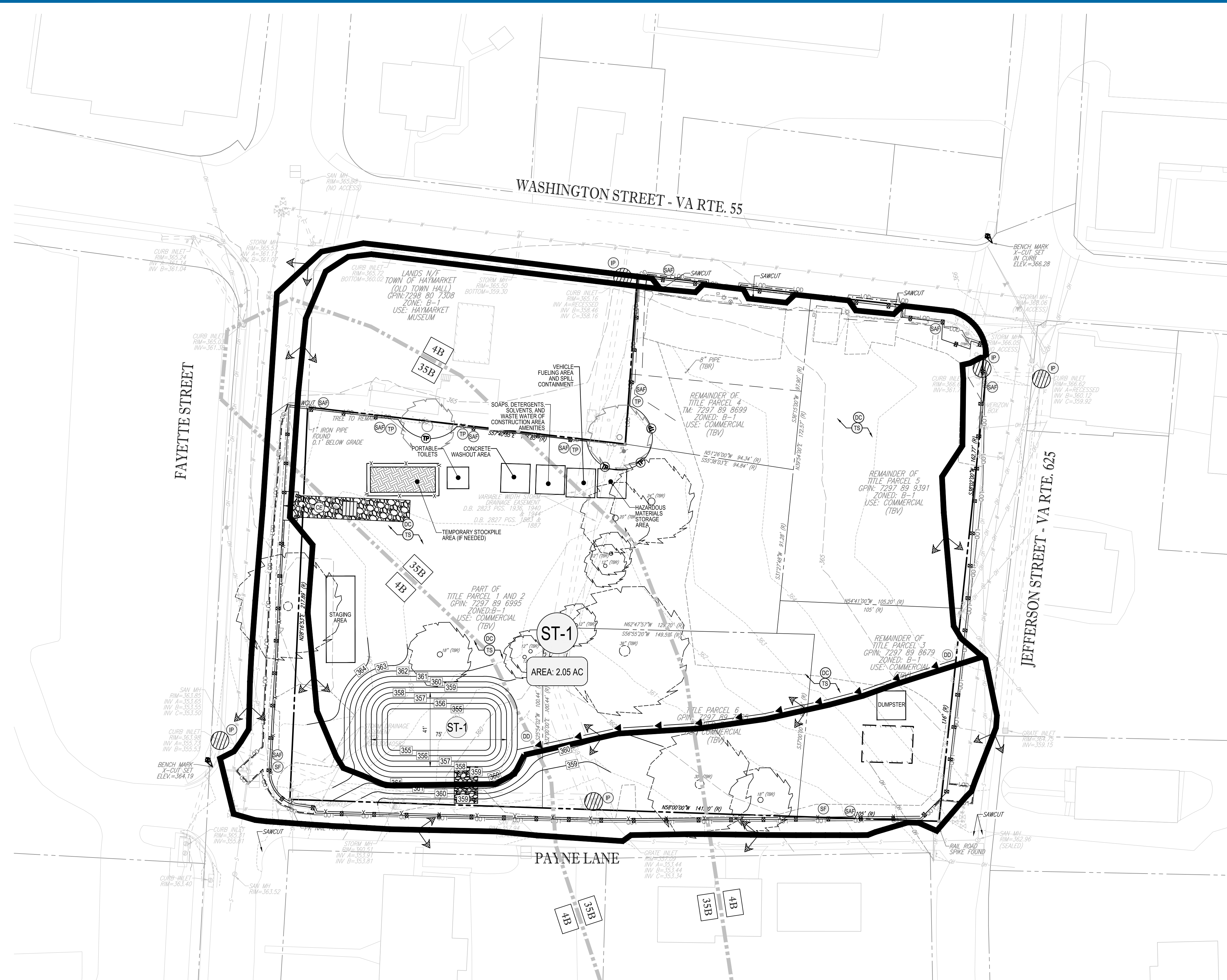
PROJECT: SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
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COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SHEET TITLE: PWCSA WATER AND SANITARY SEWER INFORMATION
 SHEET NUMBER: C-505
 REVISION 1 - 11/27/19



VIRGINIA UNIFORM CODING SYSTEM
FOR EROSION AND SEDIMENT CONTROL PRACTICES

| | | | |
|------|---------------------------------------|-----|--|
| 3.01 | SAFETY FENCE | SAF | |
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | CE | |
| 3.05 | SILT FENCE | SF | |
| 3.07 | STORM DRAIN INLET PROTECTION | IP | |
| 3.09 | TEMPORARY DIVERSION DIKE | DD | |
| 3.31 | TEMPORARY SEEDING | TS | |
| 3.38 | TREE PRESERVATION AND PROTECTION | TP | |
| 3.39 | DUST CONTROL | DC | |

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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| | |
|--------------|------------|
| PROJECT NO.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | OCF-1 |

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
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VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I

SHEET NUMBER:
C-601

REVISION 1 - 11/27/19

SEQUENCE OF CONSTRUCTION - PHASE I:

- CONTRACTOR SHALL NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO POSTING AN EROSION AND SEDIMENT CONTROL BOND, OBTAINING A LAND DISTURBING PERMIT, NOTIFYING SITE INSPECTOR, AND HAVING A PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL CONTACT THE TOWN OF HAYMARKET AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- AREAS WHICH ARE TO BE DISTURBED SHALL BE CLEARLY MARKED IN THE FIELD.
- INSTALL PERIMETER PROTECTION INCLUDING SILT FENCE, SAFETY FENCE, TREE PROTECTION AND INLET PROTECTION.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE. ALL HARD SURFACE ROADS SHALL BE CLEANED AT THE END OF THE DAY.
- INSTALL TEMPORARY SEDIMENT TRAP DIVERSION DIKES AND ASSOCIATED GRADING PER PLAN.
- BEGIN DEMOLISHING EXISTING BUILDING.
- BEGIN DEMOLISHING EXISTING CURB AND GUTTER, PAVEMENT, UTILITIES (AS IDENTIFIED IN THE DEMOLITION PLAN) AND ROUGH GRADING THE SITE. EXISTING CURB INLETS ALONG FAYETTE STREET, WASHINGTON STREET, PAYNE LANE, AND JEFFERSON STREET TO BE KEPT OPERATIONAL.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AND REPAIRED AT THE END OF EACH DAY.
- CONTRACTOR TO REMOVE EXCESS MATERIAL FROM GRADING/EXCAVATION AND DISPOSE OFFSITE AT AN APPROVED FACILITY. CONTRACTOR TO OBTAIN A PERMIT IF REQUIRED.

GENERAL NOTES:

- THE TOWN OF HAYMARKET INSPECTOR SHALL APPROVE THE PHASE I CONTROLS AFTER INSTALLATION AND PRIOR TO PHASE II COMMENCING. THE INSPECTOR HAS THE RIGHT TO ADD / REMOVE CONTROLS AS DEEMED NECESSARY.
- ALL BORROWHAUL SHALL BE FROM AN APPROVED AND PERMITTED LOCATION.
- PROPOSED SEDIMENT TRAPS SHALL BE BACKFILLED WITH SUITABLE MATERIAL PER G.E.R. PRIOR TO FINAL GRADING.

SOILS LEGEND

| | |
|--|------------------------|
| | SOILS TYPE PER PWC GIS |
|--|------------------------|

SOILS DATA

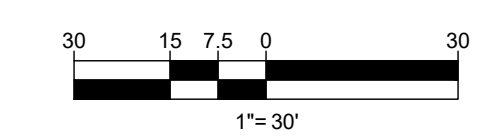
| SYMBOL | SOIL NAME | SLOPES | SOIL CATEGORY | HYDROLOGIC SOILS GROUP | CHESAPEAKE BAY | |
|--------|--------------------|--------|---------------|------------------------|-----------------|------------------|
| | | | | | HIGHLY ERODIBLE | HIGHLY PERMEABLE |
| 4B | ARCOLA SILT LOAM | 2 - 7% | II | C | NO | NO |
| 35B | MANASSAS SILT LOAM | 2 - 7% | II | B | NO | YES |

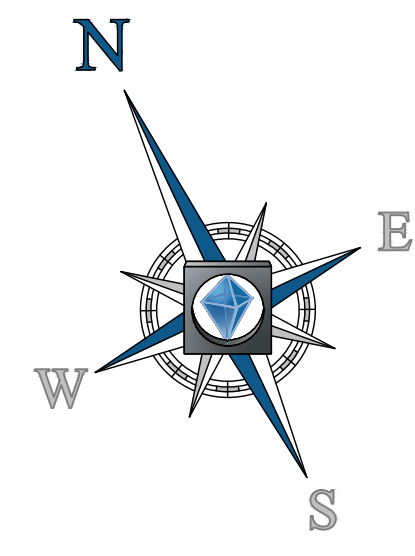
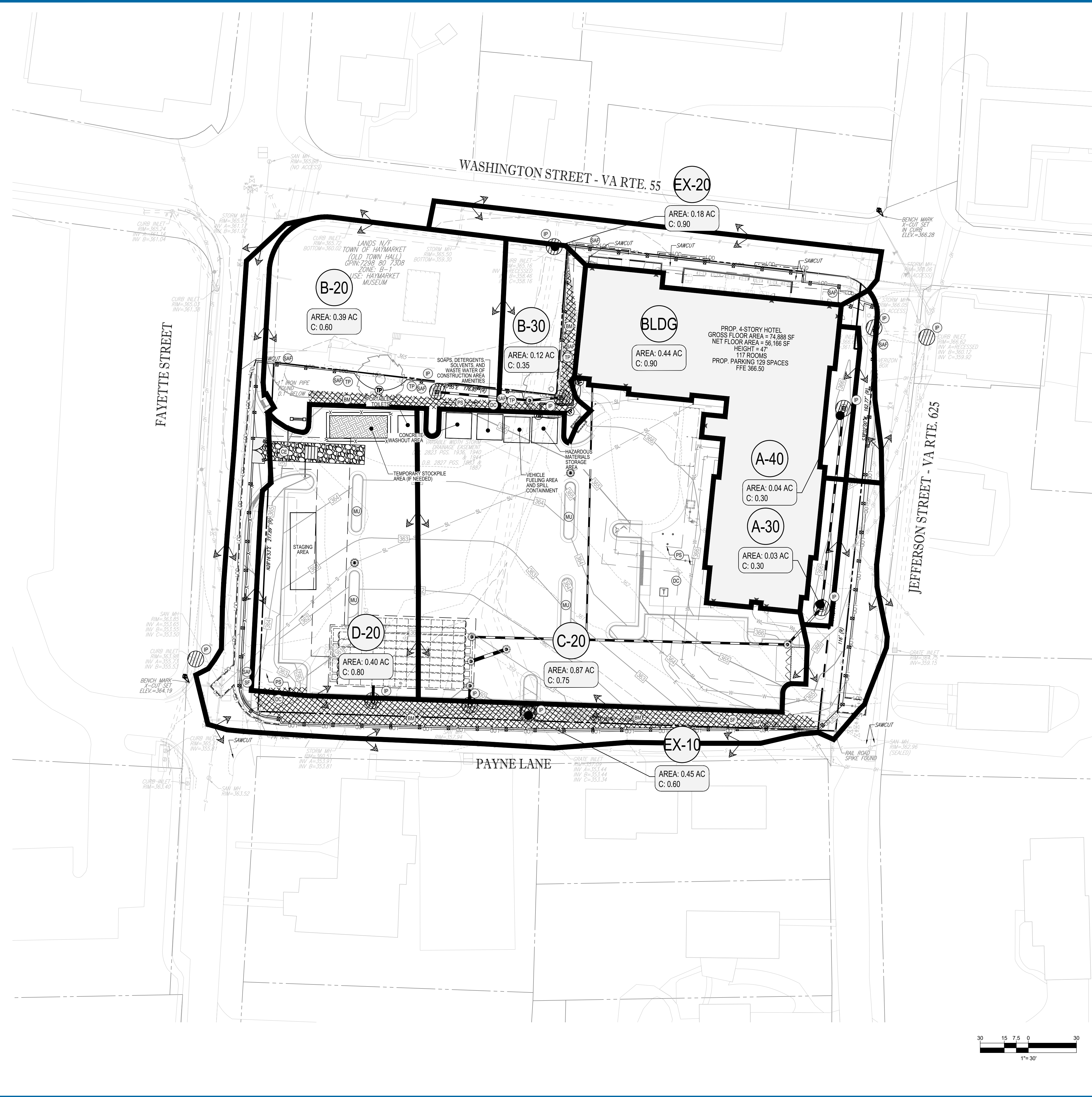
SEDIMENT TRAP DESIGN

| Trap ID | Drainage Area (ac) | Storage Volume | | | | Dimensions | | Elevations | | Clean Out*** (ft) | Embankment Elev. (ft) | Outlet Height (ft) | Top Width (ft) | Spillway Dimensions L x W (ft) | | | | |
|---------|--------------------|----------------|------------|-----------|------------|----------------------|----------------------|---------------|---------------|-------------------|-----------------------|--------------------|----------------|--------------------------------|-----|-----|-----|-------------|
| | | Req. (cy) | Prov. (cy) | Req. (cy) | Prov. (cy) | "Wet" L x W x D (ft) | "Dry" L x W x D (ft) | "Wet" (ft) | "Dry" (ft) | | | | | | | | | |
| ST-1 | 2.08 | 280 | 576 | 140 | 291 | 140 | 285 | 75 x 41 x 3.0 | 87 x 53 x 2.0 | 359.00 | 360.00 | 355.00 | 356.50 | 361.00 | 3.0 | 2.0 | 2.5 | 13' x 20.5' |

NOTES

- WET DIMENSIONS: LENGTH AND WIDTH ARE AT BASE OF STONE OUTLET. DEPTH IS MEASURED FROM BASE OF STONE OUTLET DOWN TO BOTTOM OF TRAP.
- DRY DIMENSIONS: LENGTH AND WIDTH ARE AT CREST OF STONE OUTLET. DEPTH IS MEASURED FROM BASE OF STONE OUTLET UP TO CREST OF STONE OUTLET.
- THE CLEAN OUT ELEVATION SHALL BE MARKED USING STAKE OR SPRAY PAINT ON THE RISER.





VIRGINIA UNIFORM CODING SYSTEM
FOR EROSION AND SEDIMENT CONTROL PRACTICES

| | | | |
|------|---|-----|-----|
| 3.01 | SAFETY FENCE | SAF | SAF |
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | CE | CE |
| 3.05 | SILT FENCE | SF | SF |
| 3.07 | STORM DRAIN INLET PROTECTION | IP | IP |
| 3.32 | PERMANENT SEEDING | PS | PS |
| 3.35 | MULCHING | MU | MU |
| 3.36 | SOIL STABILIZATION BLANKETS AND MATTING | BM | BM |
| 3.38 | TREE PRESERVATION AND PROTECTION | TP | TP |
| 3.39 | DUST CONTROL | DC | DC |

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | CCP - 1 |

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
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VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE II

SHEET NUMBER:
C-602

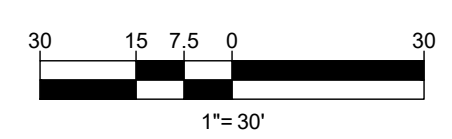
REVISION 1 - 11/27/19

SEQUENCE OF CONSTRUCTION - PHASE II:

- BEGIN GRADING THE SITE, PREPARING SUBGRADES, AND MAKING ANY NECESSARY SOIL IMPROVEMENTS.
- BEGIN CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION AND IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES, THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR MORE THAN 7 DAYS.
- THROUGHOUT CONSTRUCTION, PERMANENTLY STABILIZE AREAS TO BE VEGETATED IMMEDIATELY AS THEY ARE BROUGHT TO FINAL GRADE.
- INSTALL UTILITIES AND APPURTENANCES. CONTRACTOR SHALL COORDINATE INSTALLATION WITH RESPECTIVE UTILITY COMPANIES.
- INSTALL STORM SEWERS AND CURB, THEN APPLY THE BASE STONE FOR PAVED AREAS.
- INSTALL COMPACTED SUBBASE AND INSTALL SIDEWALKS. PAVE SITE AND INSTALL FINAL STABILIZATION TO ALL LANDSCAPE AREAS.
- CONTRACTOR TO REMOVE EXCESS MATERIAL FROM GRADING/EXCAVATION AND DISPOSE OFFSITE AT AN APPROVED FACILITY. CONTRACTOR TO OBTAIN PERMIT IF REQUIRED.
- OBTAIN CONCURRENCE FROM THE COUNTY INSPECTOR THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN:
 - WITHIN 30 DAYS, REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
 - REMOVE ALL TEMPORARY CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, AND DEBRIS FROM THE SITE.
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY MEASURES.

GENERAL NOTES:

- THE TOWN OF HAYMARKET INSPECTOR SHALL APPROVE THE PHASE II CONTROLS. THE INSPECTOR HAS THE RIGHT TO ADD / REMOVE CONTROLS AS DEEMED NECESSARY.
- PROPOSED SEDIMENT TRAPS SHALL BE BACKFILLED WITH SUITABLE MATERIAL PER G.E.R. PRIOR TO FINAL GRADING.



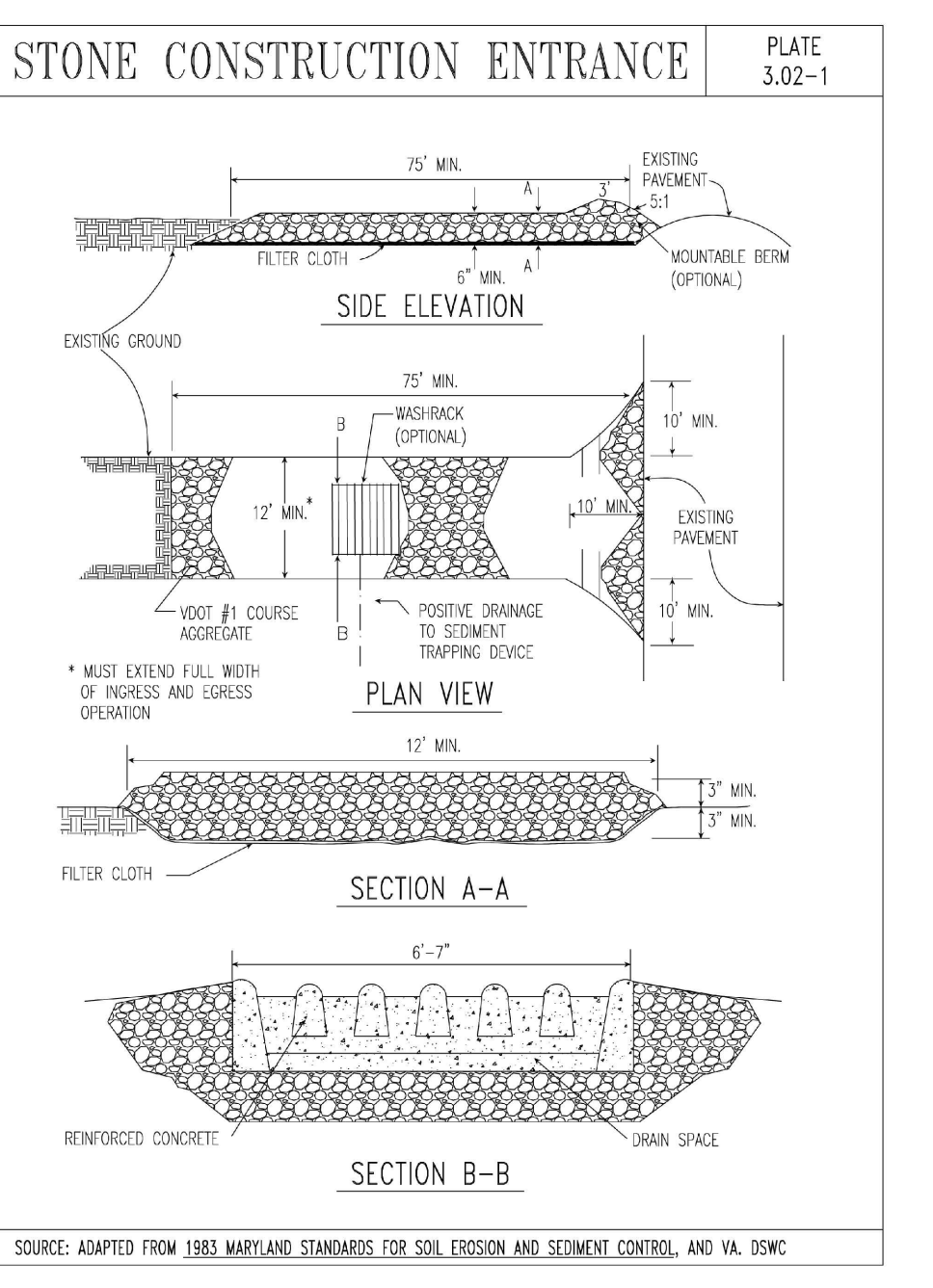
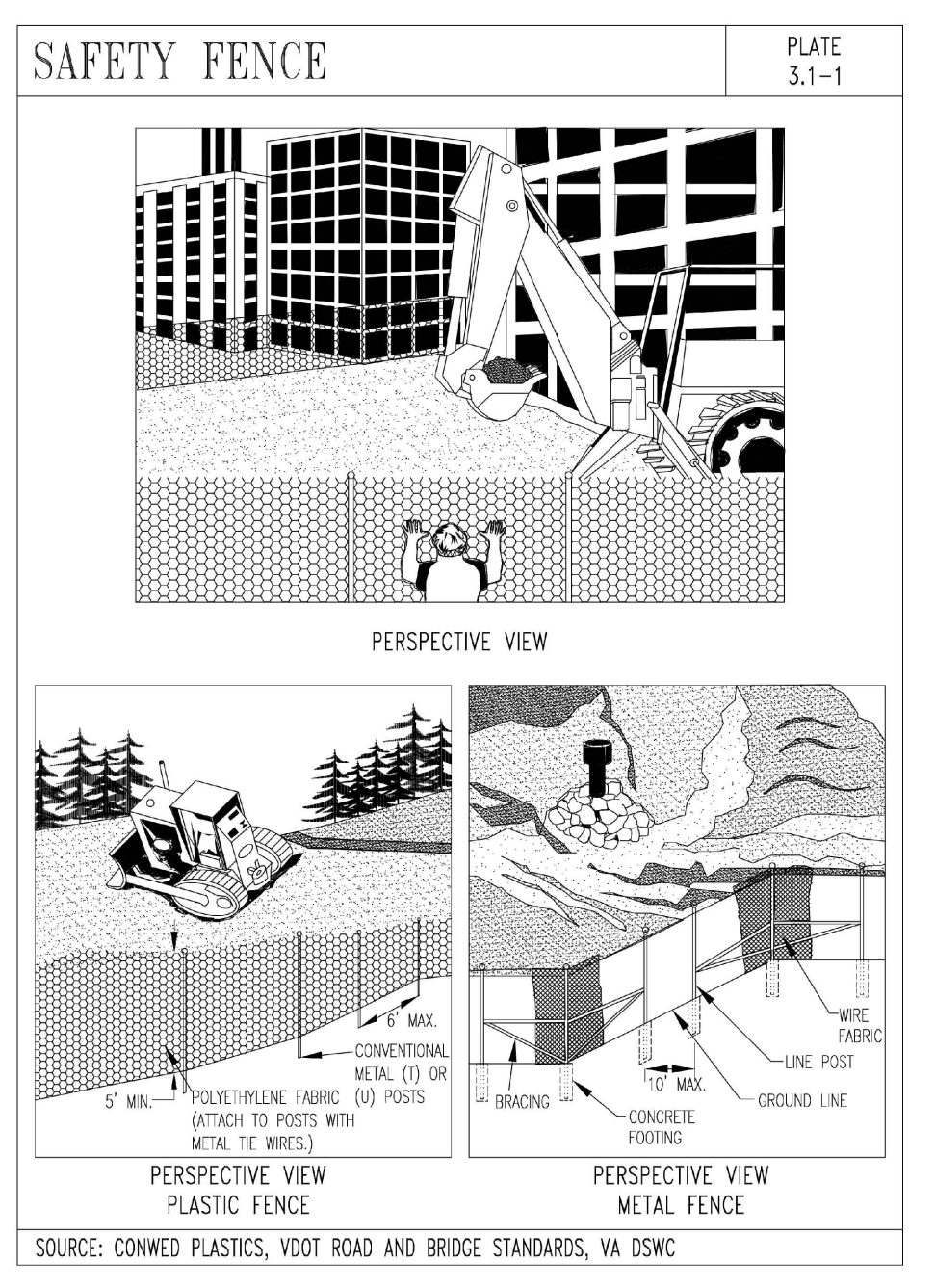
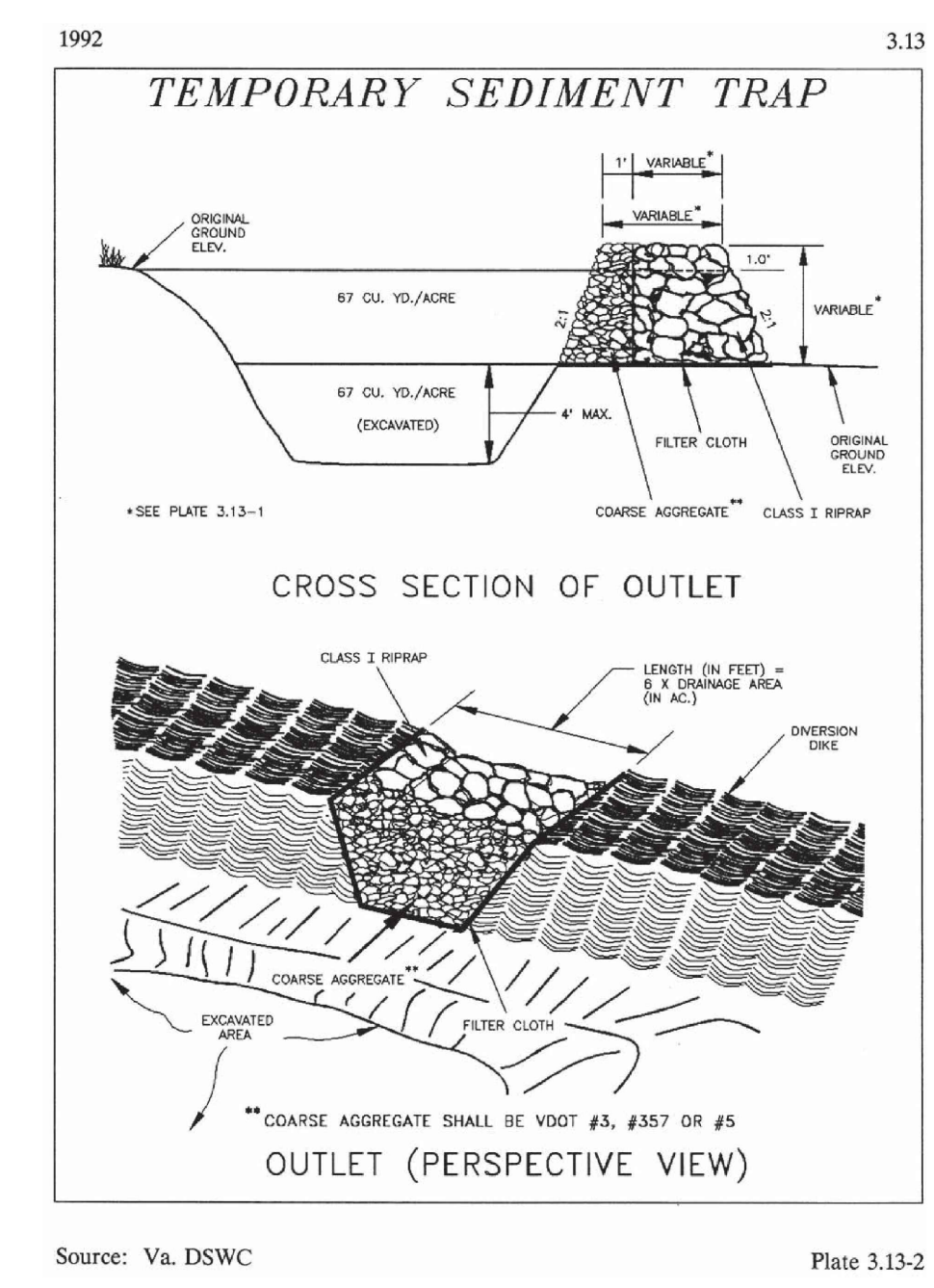


TABLE 3.31-B
ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS
"QUICK REFERENCE FOR ALL REGIONS"

| Planting Dates | Species | Rate (lbs./acre) | NORTH ^a | | SOUTH ^b | | PLANT CHARACTERISTICS |
|-------------------|---|------------------|--------------------|-------------|--------------------|-------------|--|
| | | | 3/1 to 4/30 | 5/1 to 8/15 | 3/1 to 4/30 | 5/1 to 8/15 | |
| Sept. 1 - Feb. 15 | 50/50 Mix of Annual Ryegrass (<i>Lolium multi-florum</i>) & Cereal (Winter) Rye (<i>Secale cereale</i>) | 50 - 100 | X | X | X | X | Use for late fall seedings, winter cover. Tolerates cold and low moisture. |
| Feb. 16 - Apr. 30 | Annual Ryegrass (<i>Lolium multi-florum</i>) | 60 - 100 | | X | X | X | Warm-season annual. Dies at first frost. May be added to summer mixes. |
| May 1 - Aug. 31 | German Millet (<i>Setaria italica</i>) | 50 | X | X | X | X | Warm-season perennial. May be added to summer mixes. Tolerates hot, dry slopes and acid, infertile soils. May be added to mixes. |

Source: Va. DSWC

TABLE 3.30-A
CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS

| Depth (inches) | Per 1,000 Square Feet | Per Acre |
|----------------|-----------------------|----------|
| 1 | 3.1 | 134 |
| 2 | 6.2 | 268 |
| 3 | 9.3 | 403 |
| 4 | 12.4 | 537 |
| 5 | 15.5 | 672 |
| 6 | 18.6 | 806 |

Source: Va. DSWC

TABLE 3.31-C
TEMPORARY SEEDING PLANT MATERIALS, SEEDING RATES, AND DATES

| SPECIES | SEEDING RATE | NORTH ^a | | SOUTH ^b | | PLANT CHARACTERISTICS |
|---|--|--------------------|-------------|--------------------|-------------|--|
| | | 3/1 to 4/30 | 5/1 to 8/15 | 3/1 to 4/30 | 5/1 to 8/15 | |
| OATS (<i>Avena sativa</i>) | 3 lbs. top to 100 lbs. not less than 50 lbs. | 2 lbs. | X | X | X | Use spring varieties (e.g., Noble). |
| RYE ^c (<i>Secale cereale</i>) | 2 lbs. top to 110 lbs. not less than 50 lbs. | 2.5 lbs. | X | X | X | Use for late fall seedings, winter cover. Tolerates cold and low moisture. |
| GERMAN MILLET (<i>Setaria italica</i>) | 50 lbs. | approx. 1 lb. | X | X | X | Warm-season annual. Dies at first frost. May be added to summer mixes. |
| ANNUAL RYEGRASS ^d (<i>Lolium multi-florum</i>) | 60 lbs. | 1 1/2 lbs. | X | X | X | May be added to mixes. Will grow out of most stands. |
| WEeping LOVEGRASS (<i>Eragrostis curvula</i>) | 15 lbs. | 5 1/2 cu. | X | X | X | Warm-season perennial. May be added to summer mixes. |
| KOREAN LESPEDEZA ^e (<i>Lepidocytis stipulacea</i>) | 25 lbs. | approx. 1 1/2 lbs. | X | X | X | Warm season annual legume. Tolerates acid soils. May be added to mixes. |

^a Northern Piedmont and Mountain region. See Plates 3.22-1 and 3.22-2.
^b Southern Piedmont and Coastal Plain.
^c May be used as a cover crop with spring seeding.
^d May be used as a cover crop with fall seeding.
^e X May be planted between these dates.
^f May not be planted between these dates.

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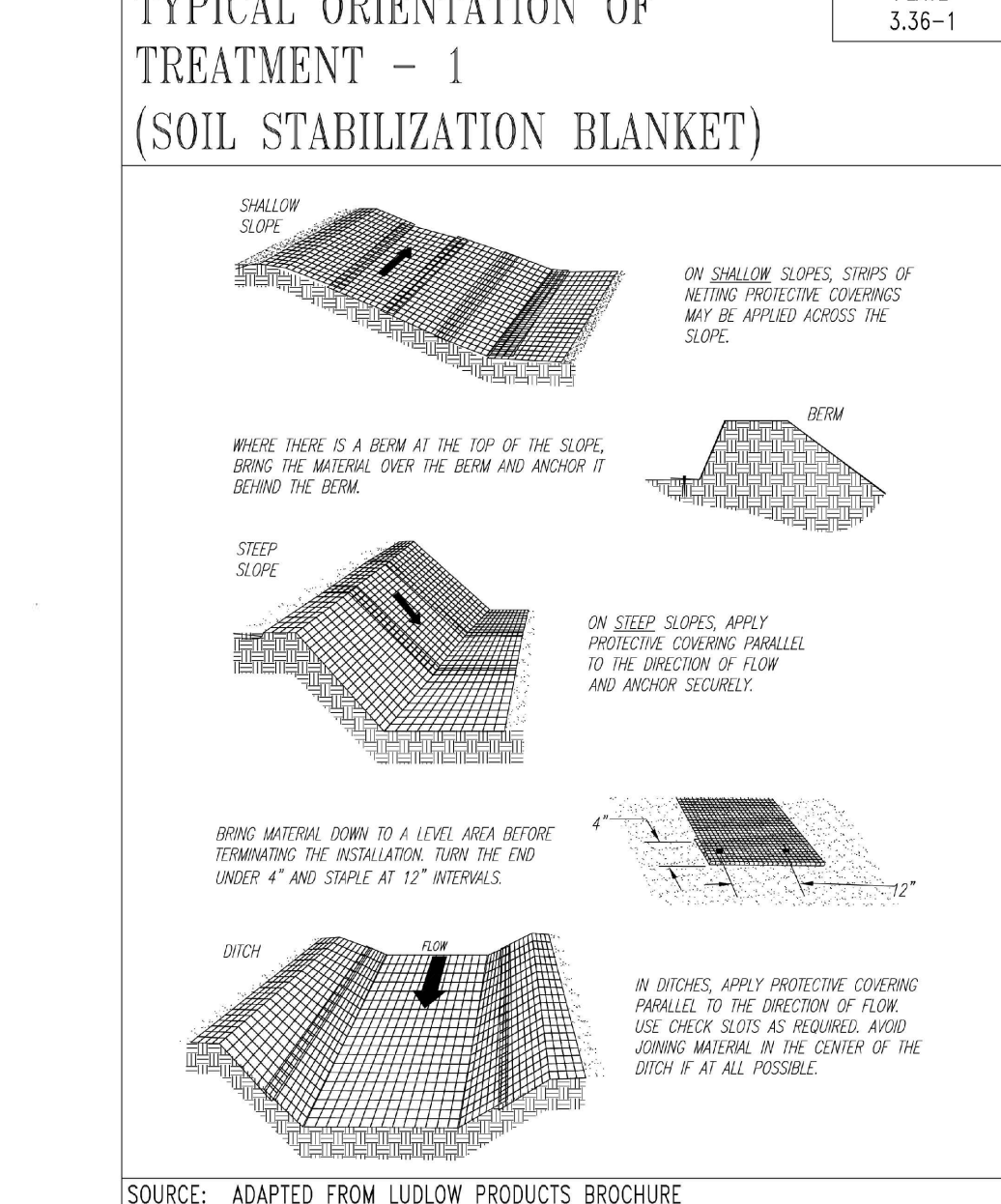
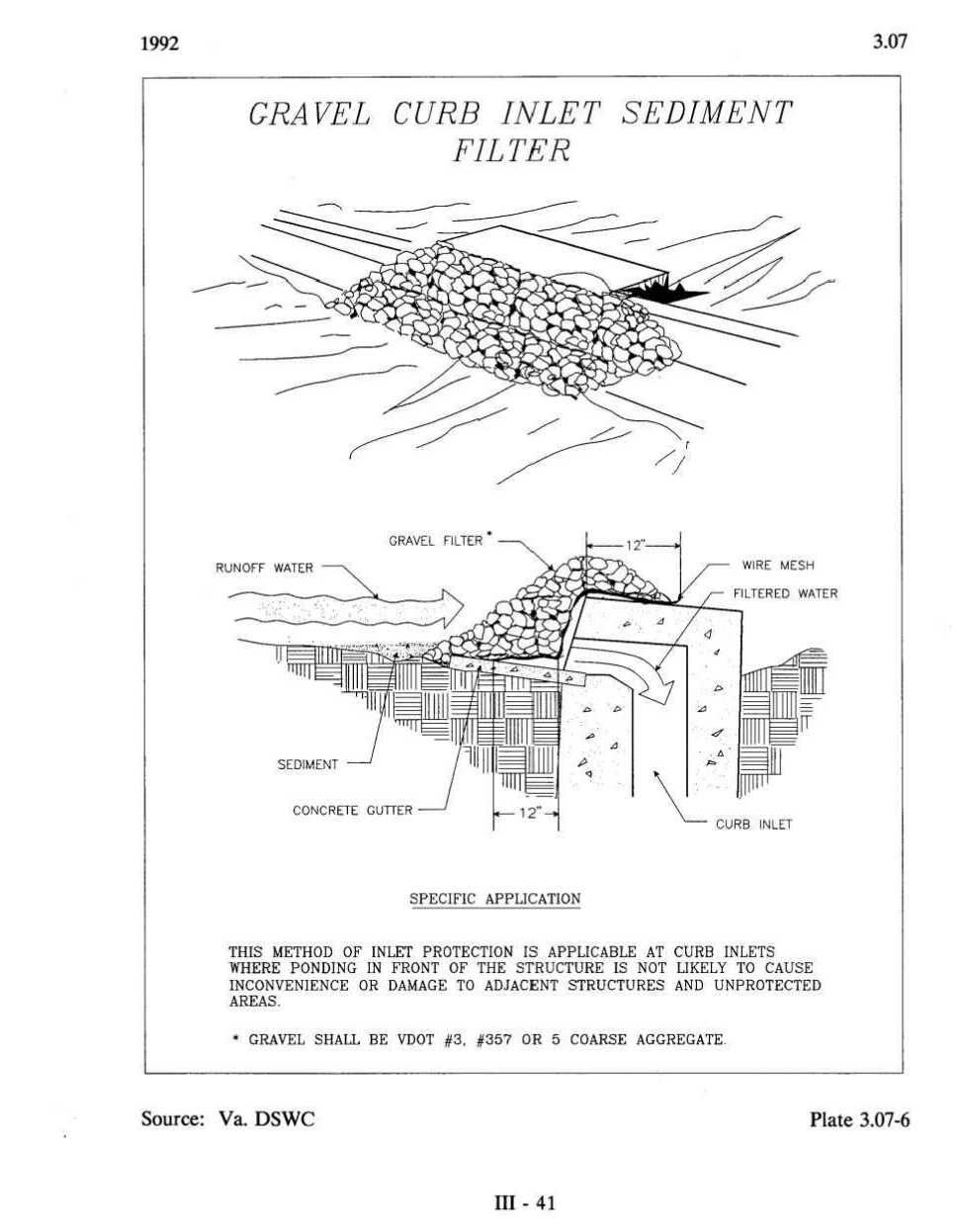
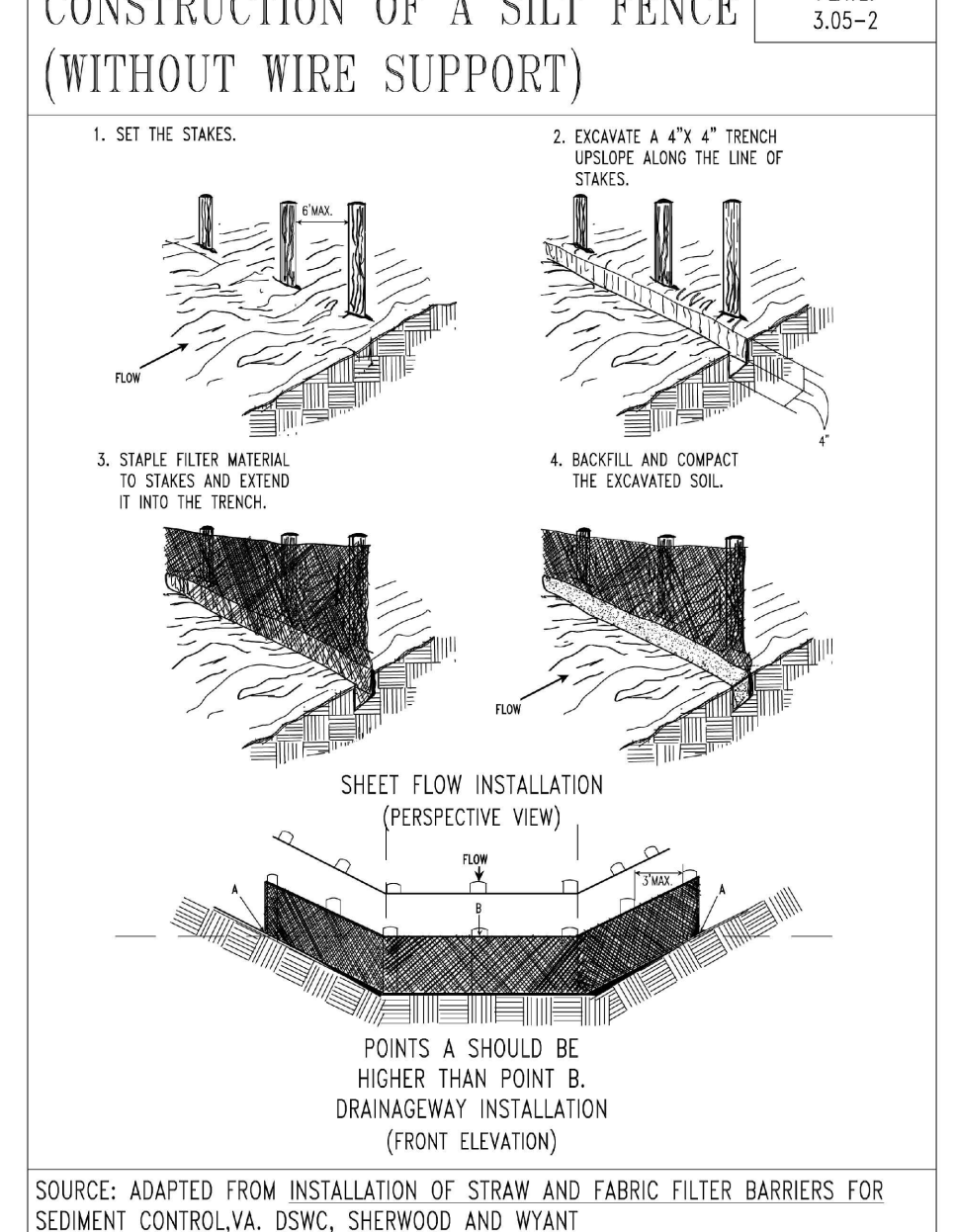
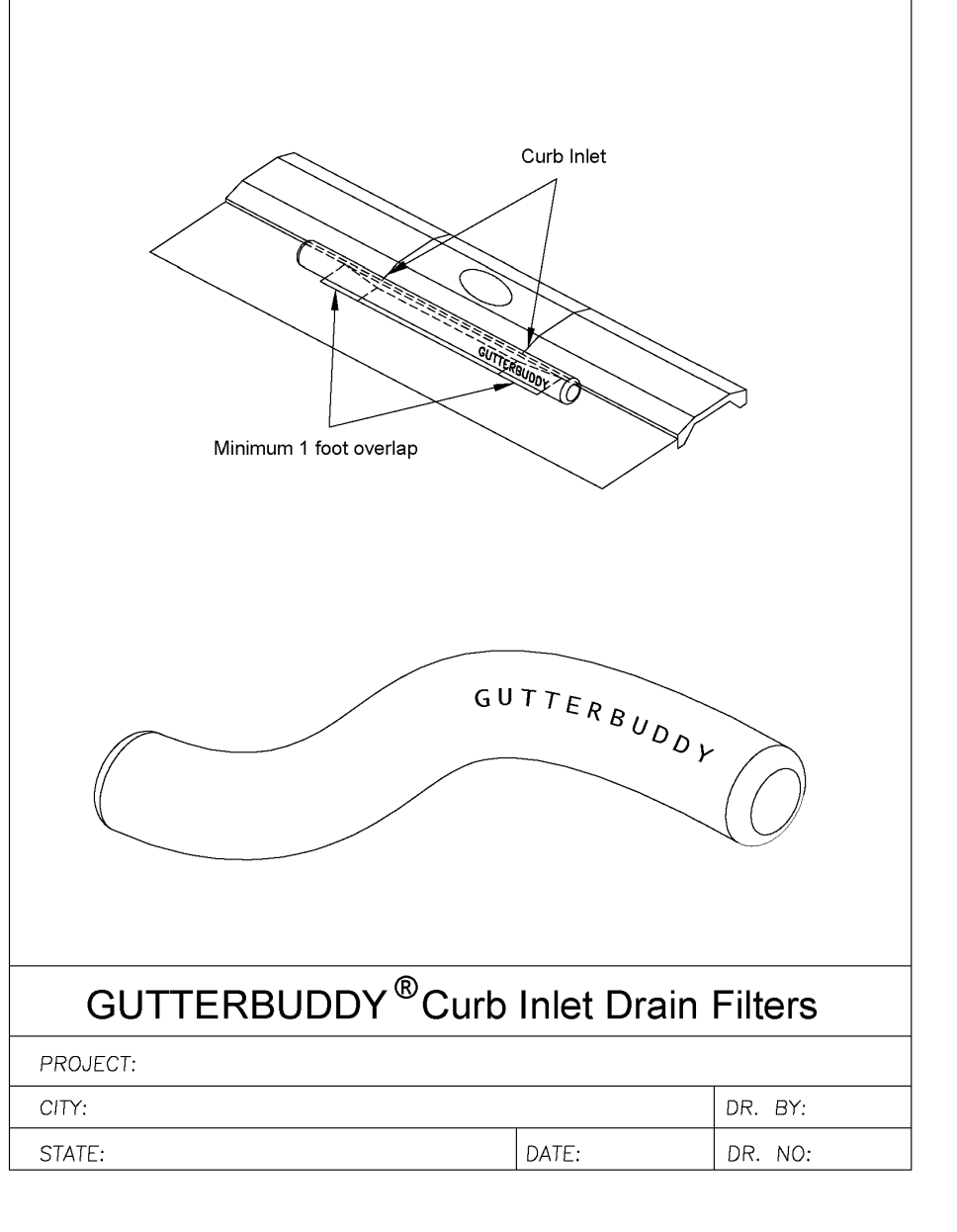
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REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS REPERMITS OTHERWISE.



3.32

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA

| Mixture | Total Lbs. Per Acre |
|---|--|
| Minimum Care Lawn - Commercial or Residential - Kentucky 31 or Turf-Type Tall Fescue - Common Bermudagrass ** | 175-200 lbs. 75 lbs. |
| High-Maintenance Lawn - Kentucky 31 or Turf-Type Tall Fescue - Hybrid Bermudagrass (seed) ** - Hybrid Bermudagrass (by other vegetative establishment method, see Soil. & Spec. 3.34) | 200-250 lbs. 40 lbs. (unballed) 30 lbs. (balled) |
| General Slope (3:1 or less) - Kentucky 31 Tall Fescue - Red Top Grass - Seasonal Nurse Crop * | 128 lbs. 2 lbs. 20 lbs. 150 lbs. |
| Low Maintenance Slope (Steeper than 3:1) - Kentucky 31 Tall Fescue - Common Bermudagrass ** - Red Top Grass - Seasonal Nurse Crop * - Sericea Lespedeza ** | 93-108 lbs. 0-15 lbs. 2 lbs. 20 lbs. 20 lbs. 150 lbs. |

* Use seasonal nurse crop in accordance with seeding dates as stated below:
February, March through April Annual Rye
May 1st through August Foxtail Millet
September, October through November 15th Annual Rye
November 16th through January Winter Rye

** May through October, use balled seed. All other seeding periods, use unballed seed. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

Source: VA DSWC

3.33

TABLE 3.33-A
TYPE OF SOIL AVAILABLE IN VIRGINIA AND RECOMMENDED USES

| Category | Soil Types | Recommended Kentucky Bluegrass Varieties |
|---|---|--|
| Category I - Recommended Kentucky Bluegrass Varieties | 65% - 100% A-34, Abbey, Aspen, Asset, Baron, Blacksburg, Bristol, Chert, Chateau, Classic, Coenony, Georgetown, Glade, Hags, Julla, Liberty, Let's 1757, Merit, Midnight, Monopoly, Plunk, Princeton 104, Rugby, Suffolk, Vicia | |
| Category II - Special use varieties. If used, must contain at least 65% Category I varieties | 10-35% Bristol, Columbia, Georgetown, Glade, Midnight | |
| Low-Maintenance Tolerant | 10-35% Columbia, Georgetown, Monopoly, Ram I, Touchdown, Vicia | |
| Category III - Promising Kentucky Bluegrass - Limited performance data or seed availability | 10-35% Dawn, Estate, Freedom, Kelly | |

Source: VA DSWC

3.35

TABLE 3.35-A
ORGANIC MULCH MATERIALS AND APPLICATION RATES

| MULCHES: | RATES: | | NOTES: |
|-----------------------------|--|------------------|---|
| | Per Acre | Per 1000 sq. ft. | |
| Straw or Hay | 1 1/2 - 2 tons (Minimum 2 tons for winter cover) | 70 - 90 lbs. | Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand. |
| Fiber Mulch | Minimum 1500 lbs. | 35 lbs. | Do not use as mulch for winter cover or during hot, dry periods. Apply as slurry. |
| Corn Stalks | 4 - 6 tons | 185 - 275 lbs. | Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand. |
| Wood Chips | 4 - 6 tons | 185 - 275 lbs. | Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand. |
| Bark Chips or Shredded Bark | 50 - 70 cu. yds. | 1-2 cu. yds. | Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand. |

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

Source: Va. DSWC

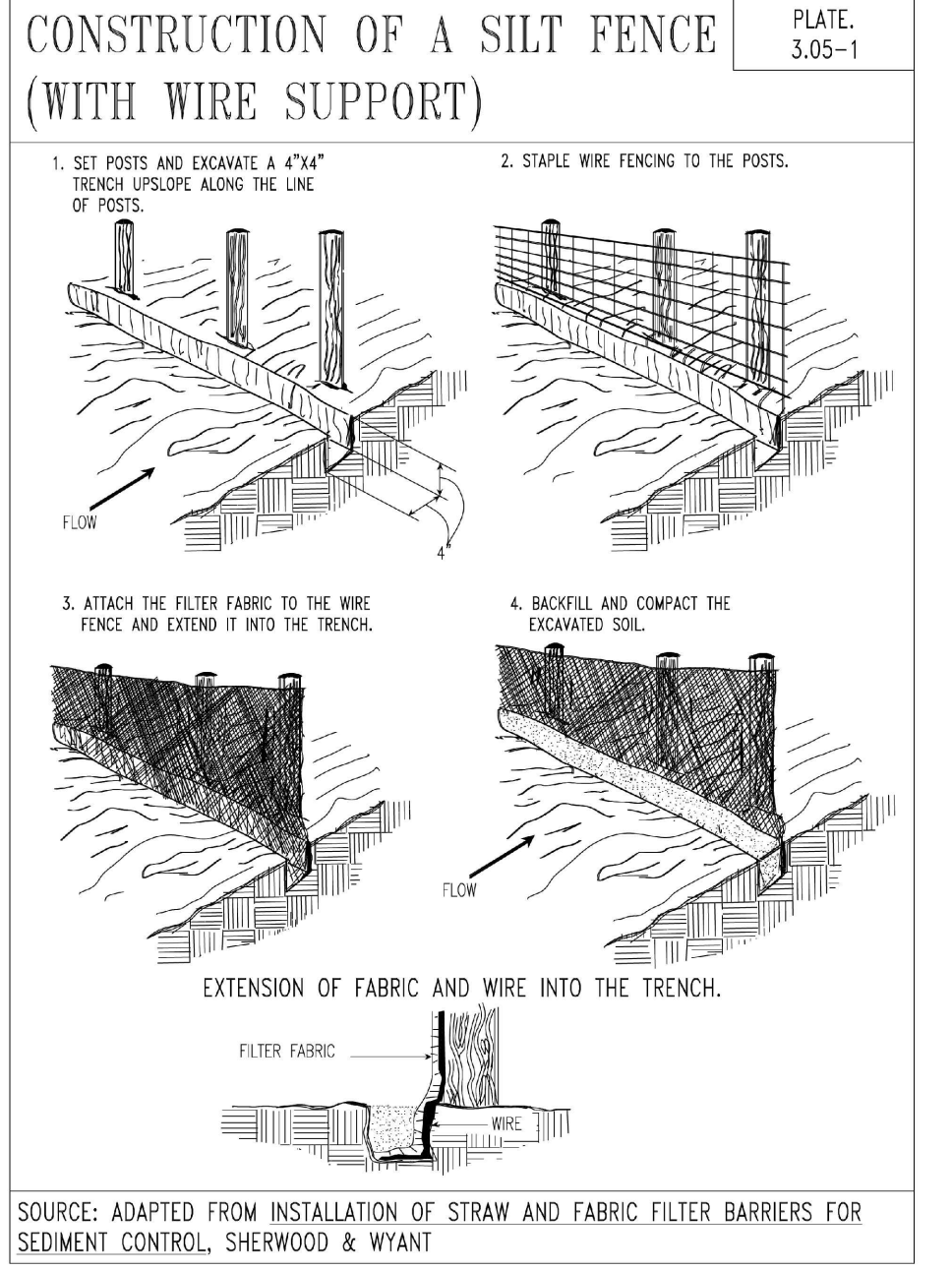
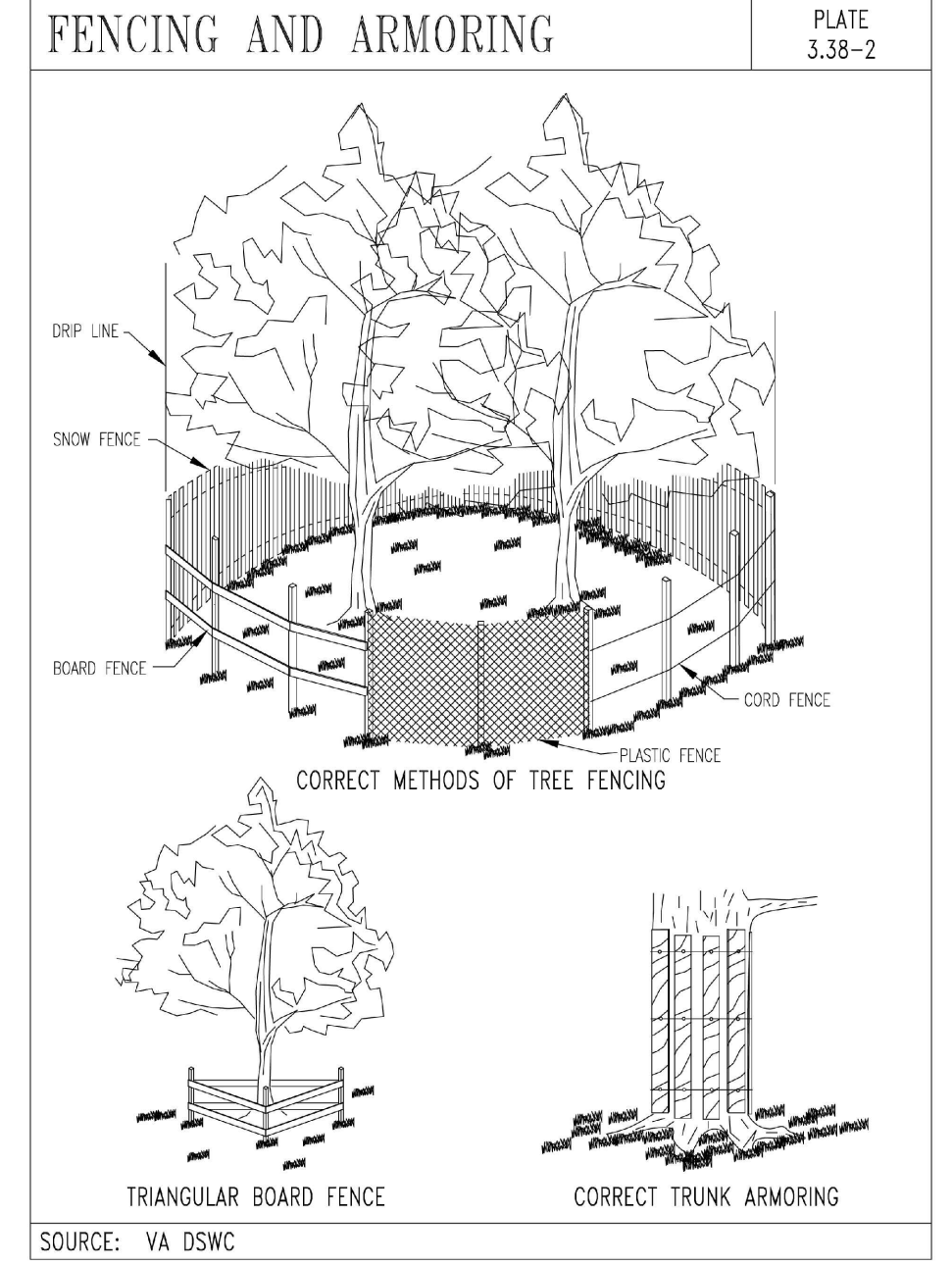
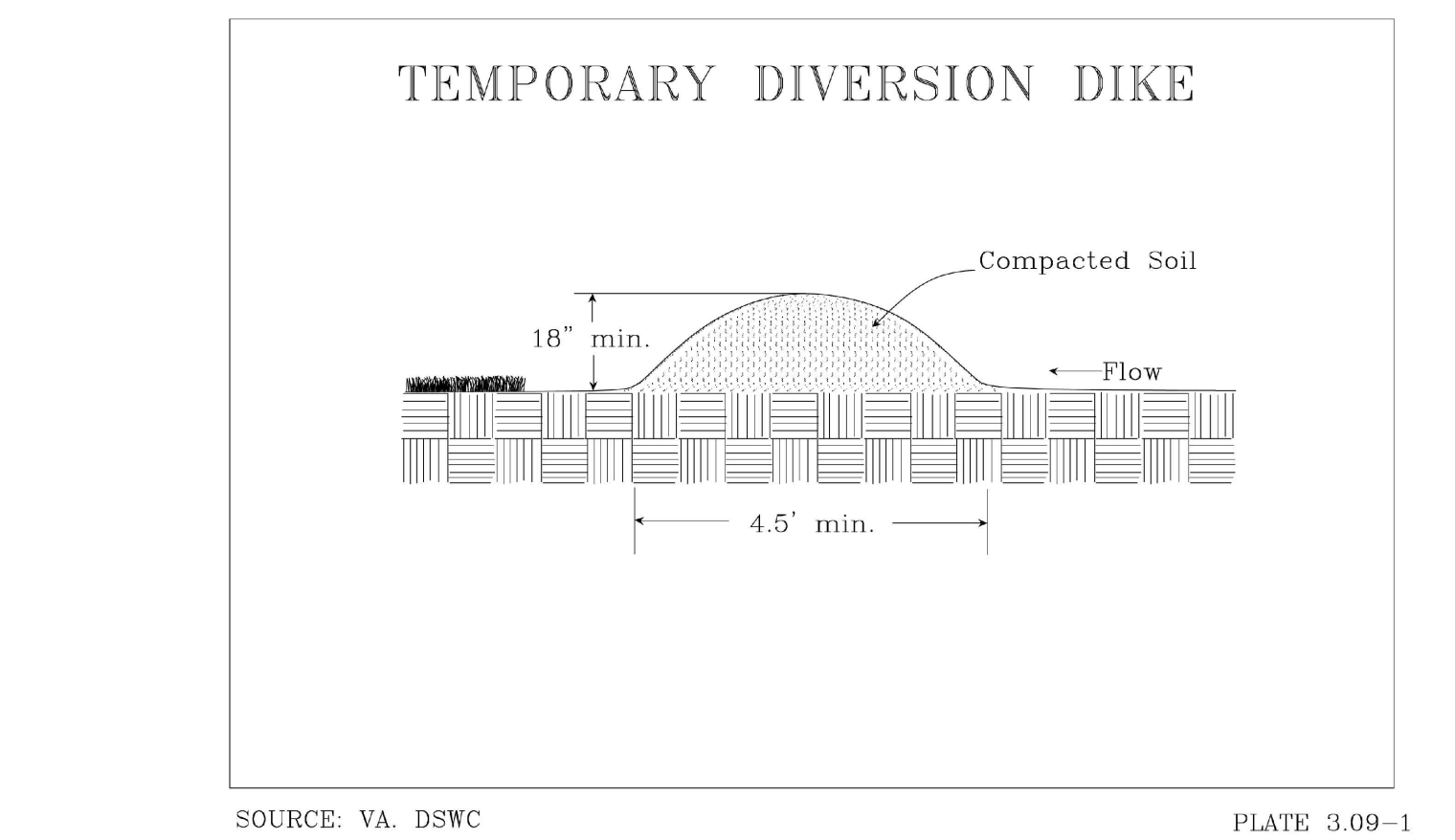


TABLE 3.33-B
ORGANIC MULCH MATERIALS AND APPLICATION RATES

| MULCHES: | RATES: | | NOTES: |
|-----------------------------|--|------------------|---|
| | Per Acre | Per 1000 sq. ft. | |
| Straw or Hay | 1 1/2 - 2 tons (Minimum 2 tons for winter cover) | 70 - 90 lbs. | Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand. |
| Fiber Mulch | Minimum 1500 lbs. | 35 lbs. | Do not use as mulch for winter cover or during hot, dry periods. Apply as slurry. |
| Corn Stalks | 4 - 6 tons | 185 - 275 lbs. | Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand. |
| Wood Chips | 4 - 6 tons | 185 - 275 lbs. | Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand. |
| Bark Chips or Shredded Bark | 50 - 70 cu. yds. | 1-2 cu. yds. | Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand. |

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

Source: Va. DSWC

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PROJECT NO.: V192055
DRAWN BY: MEG
CHECKED BY: JQR
DATE: 11/08/2019
CAD I.D.: ODS - 1

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

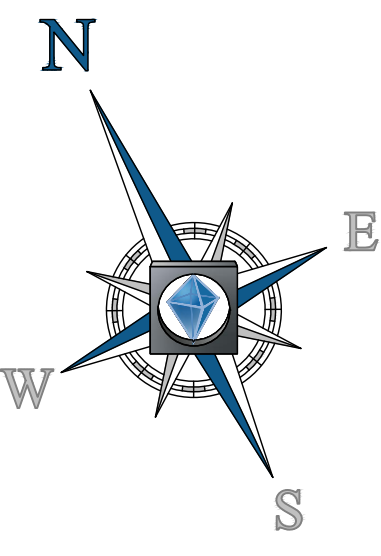
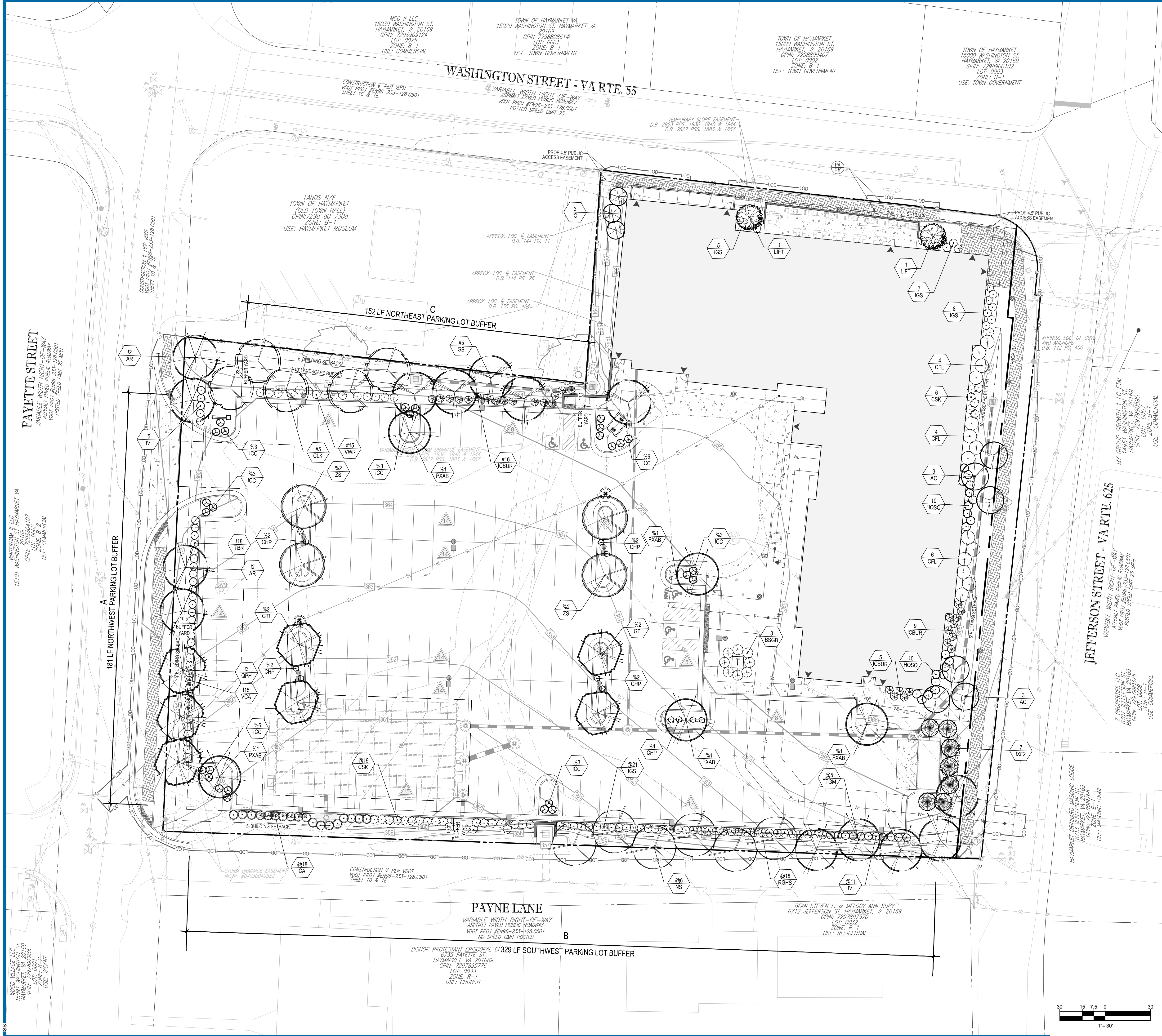
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COMMONWEALTH OF VIRGINIA

KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE: EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER: C-604



LANDSCAPE SCHEDULE

| KEY | QTY. | BOTANICAL NAME | COMMON NAME | CAL. | CONT. |
|-------------------------|------|---|--------------------------------|----------------------|--------|
| SHADE TREES | | | | | |
| AR | 4 | ACER RUBRUM | RED MAPLE | 210'-7" CAL./10'-12" | B+B |
| CLX | 5 | CLADOSTIS HENTZEA | YELLOWWOOD | 210'-7" CAL./10'-12" | B+B |
| GB | 5 | GMINGO BILBOA | MADEIRA TREE GINGO | 210'-7" CAL./10'-12" | B+B |
| GTI | 4 | GLEHNSIA TRICANTHOS NERMIS | THORLESS HONEYLOCUST | 210'-7" CAL./10'-12" | B+B |
| NS | 6 | NYSSA SYLVATICA | SOURGUM OR TUPELO | 210'-7" CAL./10'-12" | B+B |
| PXAB | 5 | PLATANUS X ACERFOIA 'BLOODGOOD' | BLOODGOOD LONDON PLANETREE | 210'-7" CAL./10'-12" | B+B |
| QPH | 3 | QUERCUS PHAELOS | WILLOW OAK | 210'-7" CAL./10'-12" | B+B |
| TTGM | 5 | TILIA TOMENTOSA GREEN MOUNTAIN | GREEN MOUNTAIN SILVER LINEN | 210'-7" CAL./10'-12" | B+B |
| ZS | 4 | ZELKOVA BERRATA | JAPANESE ZELKOVA | 210'-7" CAL./10'-12" | B+B |
| SUBTOTAL: 41 | | | | | |
| ORNAMENTAL TREES | | | | | |
| AC | 6 | AMELANCHER CANADENSIS | MULTISTEM SHADLOW SERVICEBERRY | 54" HT. | B+B |
| LIFT | 2 | LAGERSTROEMIA INDIKA X FARBERI 'TUSKEGEE' | TUSKEGEE CHAPE WYRTLE | 54" HT. | B+B |
| SUBTOTAL: 8 | | | | | |
| EVERGREEN TREES | | | | | |
| ID | 3 | ILEX OPACA | AMERICAN HOLLY | 64" HT. | B+B |
| IXF2 | 7 | ILEX X FOSTERI | FOSTER'S HOLLY | 64" HT. | B+B |
| SUBTOTAL: 10 | | | | | |
| DECIDUOUS SHRUBS | | | | | |
| CA | 18 | CLETHRA ALNFOLIA | SUMMERSWEET CLETHRA | 18-24" | A1 CAN |
| CFL | 14 | CALYCANTHUS FLORIDUS | COMMON SWEET SHRUB | 18-24" | A1 CAN |
| CHP | 12 | COTONEASTER HORCONTALIS 'FERPUSILLA' | ROCK COTONEASTER | 18-24" | A1 CAN |
| CSK | 25 | CORNUS SERICEA 'KELSEY' | KELSEY DOGWOOD | 18-24" | A1 CAN |
| HSGD | 20 | HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' | SNOW QUEEN OXLEY HYDRANGEA | 18-24" | A1 CAN |
| IV | 16 | ILEX VIRGINICA 'HENRY'S GARNET' | GARNET SWEETSPRE | 18-24" | A1 CAN |
| IWR | 15 | ILEX VERTICILLATA 'WINTER RED' | WINTER RED WINTERBERRY HOLLY | 18-24" | A1 CAN |
| VCA | 15 | VEURNUM CARLESII | KOREAN SPICE VEURNUM | 18-24" | A1 CAN |
| SUBTOTAL: 136 | | | | | |
| EVERGREEN SHRUBS | | | | | |
| BSGB | 8 | BUXUS SEMPERVIRENS 'GRAHAM BLANDY' | GRAHAM BLANDY BOXWOOD | 18-24" | A1 CAN |
| ICBUR | 30 | ILEX CORNUTA 'BURFORD' | BURFORD HOLLY | 18-24" | A1 CAN |
| ICC | 27 | ILEX CRENATA 'COMPACTA' | COMPACT JAPANESE HOLLY | 18-24" | A1 CAN |
| IGS | 41 | ILEX GLABRA 'SHARROCK' | SHARROCK INBERRY HOLLY | 18-24" | A1 CAN |
| RGHS | 18 | RHOXODENDRON X GRABARD 'GRABARD HOT SHOT' | GRABARD HOT SHOT AZALEA | 18-24" | A1 CAN |
| TBR | 13 | TAXUS SACCATTA 'REPAKONDS' | SPREADING ENGLISH YEW | 18-24" | A1 CAN |
| SUBTOTAL: 142 | | | | | |

TOWN OF HAYMARKET - LANDSCAPING REQUIREMENTS

| SECTION | REQUIREMENTS | CALCULATIONS/PROPOSED | COMPLIANCE |
|---|---|--|------------|
| PARKING LOTS ADJACENT TO PUBLIC STREETS | 1. LANDSCAPE AREA REQUIREMENTS: A CONTINUOUS LANDSCAPE STRIP TEN FEET IN WIDTH INCLUDING THE SIDEWALK SHALL BE LOCATED BETWEEN THE PROPERTY LINE AND THE PARKING LOT | A) NORTHWEST PROPERTY LINE FAYETTE STREET 1. LANDSCAPE BUFFER: ±10' WIDE 2. BUFFER LENGTH: 181 LF 3. TREES: (11/30) X 181 SF = 7 TREES REQUIRED 7 TREES PROPOSED 7 TOTAL PROVIDED | COMPLIES |
| | 2. NUMBER OF TREES: THERE WILL BE ONE TREE FOR EACH 30 FEET OF FRONTAGE AND SHALL BE PLANTED IN THE LANDSCAPE STRIP | B) SOUTHWEST PROPERTY LINE PAYNE LANE 1. LANDSCAPE BUFFER: ±10' WIDE 2. BUFFER LENGTH: 329 LF 3. TREES: (11/30) X 329 SF = 11 TREES REQUIRED 11 TREES PROVIDED | |
| | 3. SCREENING ADJACENT TO THE PUBLIC STREET: A SCREEN THROUGH THE USE OF THE PLANTING OF SHRUBS, HEDGES OR THE CREATION OF BERMS OF A COMBINATION OF SUCH SHRUBS SHALL BE USED TO SCREEN THE PARKING LOTS TO ANY PUBLIC STREET FOR THE FULL LENGTH OF THE STREET FRONTAGE | C) NORTHEAST PROPERTY LINE OLD TOWN HALL 1. LANDSCAPE BUFFER: ±11' WIDE 2. BUFFER LENGTH: 152 LF 3. TREES: (2/30) X 152 SF = 11 TREES REQUIRED 10 PROPOSED 11 TREES PROVIDED | |
| | 4. CONTINUOUS ROW OF SHRUBS PROVIDED "B" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT | D) INTERIOR PARKING LOT LANDSCAPING 1. PARKING LOT AREA: 44,739 SF 2. REQUIREMENT: 5% 3. AREA: 44,739 SF X 5% = 2,237 SF REQUIRED 2,303 SF (5.28%) PROVIDED | |
| PARKING LOTS ADJACENT TO OTHER PARKING LOTS | 1. LANDSCAPE AREA REQUIREMENTS: A CONTINUOUS LANDSCAPE STRIP AT LEAST FIVE FEET IN WIDTH SHALL BE LOCATED BETWEEN THE PROPERTY OWNER'S PARKING LOT AND THE PROPERTY LINE | 1. PARKING SPACES: 129 SPACES 2. TREES: (1/10) X 129 SF = 13 TREES REQUIRED 14 TREES PROVIDED | COMPLIES |
| | 2. MINIMUM LANDSCAPE AREA: THE TOTAL MINIMUM LANDSCAPE AREA FOR INTERIOR PARKING LOTS SHALL BE 25 SQUARE FEET. EACH LANDSCAPE AREA SHALL HAVE AT LEAST ONE CANOPY TREE | 3. SHRUBS: (3/10) X 129 SF = 39 SHRUBS REQUIRED 39 SHRUBS PROVIDED | |
| | 3. SPECIES OF VEGETATION: ALL TREES AND SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE IDENTIFIED IN SECTIONS 58-17-12 | 4. ALL LANDSCAPE ISLANDS ARE GREATER THAN 25 SF AND ARE PLANTED WITH AT LEAST ONE CANOPY TREE "B" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT | |
| | 4. SPECIES OF VEGETATION: ALL TREES AND SHRUBS PLANTED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE IDENTIFIED IN SECTIONS 58-17-12 | | |

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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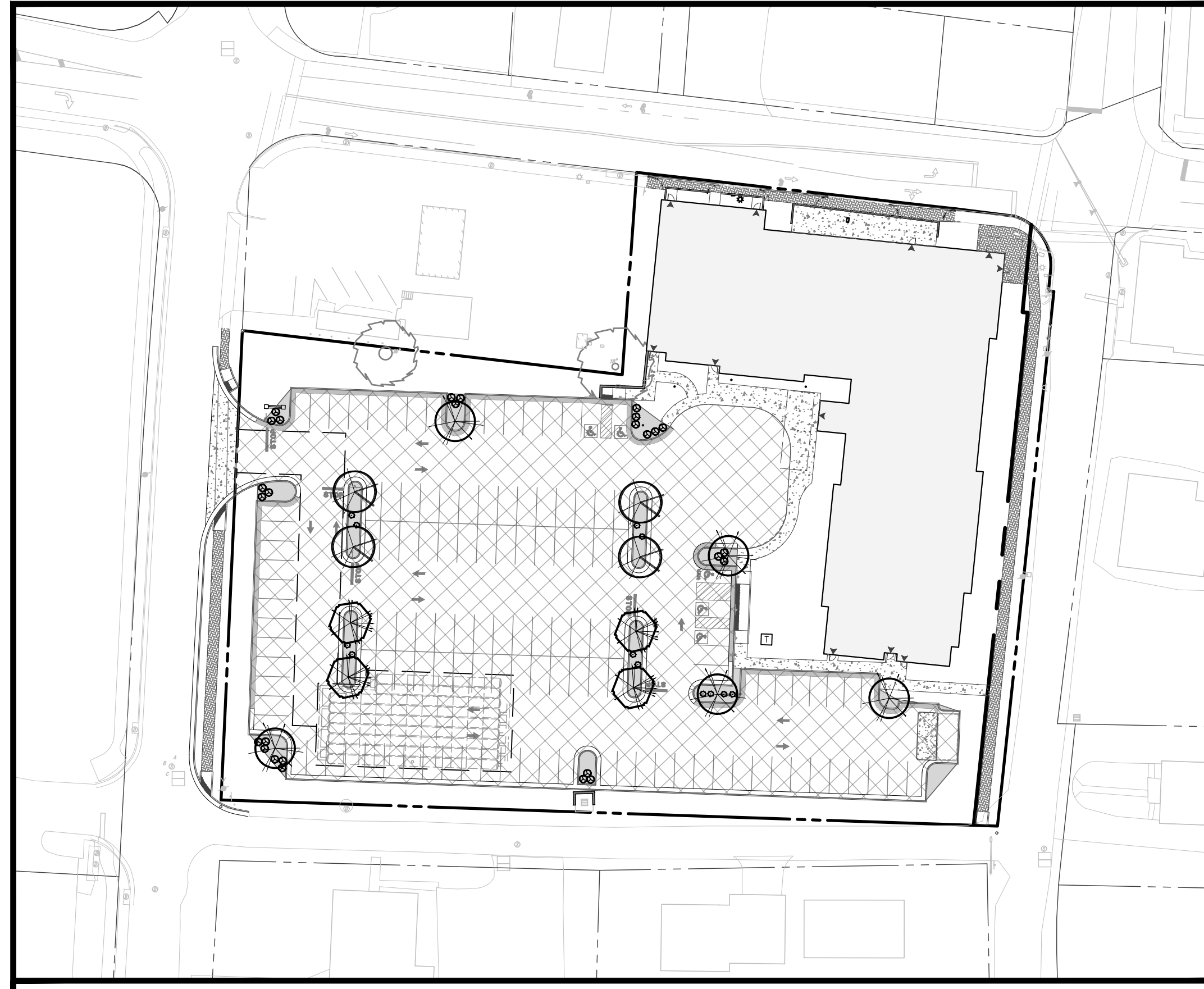
PROJECT No.: V192055
 DRAWN BY: MEG
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 DATE: 11/08/2019
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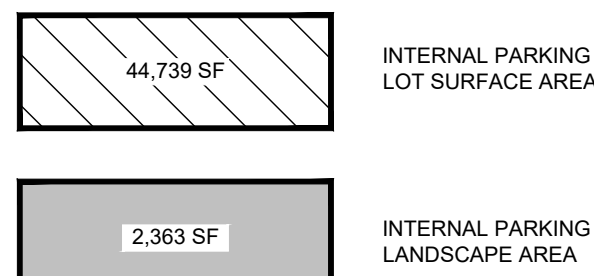
LANDSCAPE PLAN
 SHEET NUMBER: **C-701**
 REVISION 1 - 11/27/19

LANDSCAPE SPECIFICATIONS



INTERNAL PARKING LOT LANDSCAPE COMPLIANCE

HATCH LEGEND



1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- A. GENERAL - ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOUDS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER

- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL

- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NATURAL VEGETATION" (ANSI Z90.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

- A. CONTRACTOR TO FOLLOW WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

5. TREE PROTECTION

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE TRUNK OR 16 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
1.1. TO INCREASE SANDY SOILS ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1.5").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING

- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FINAL PLANTING SEASON:
ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELREUTERIA QUERCUS VARIETIES
LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

- 1 PART PEAT MOSS
1 PART COMPOSTED COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

- K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

- A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP

- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

SEEDING SPECIFICATIONS

1. MATERIAL:

- 1.1. SEED MIXTURE MUST BE COMPRISED OF THE FOLLOWING VARIETIES AND AT THE SPECIFIED COMPOSITION:
1.1.1. 80% - TURF TYPE TALL FESCUE SEED
1.1.2. 10% - KENTUCKY BLUEGRASS SEED
1.1.3. 10% - ANNUAL RYE GRASS SEED
1.2. INSTALLATION RATES:
1.2.1. SEED: LAWN SEED SHOULD BE APPLIED AT A RATE OF 7 LBS/1,000 SF
1.2.2. LIME: AGRICULTURAL OR PELLETED LIME SHOULD BE APPLIED AT SPECIFIED RATE ACCORDING TO SOIL ANALYSIS OR 2,000 LBS PER ACRE (46 LBS/1,000 SF) IF NO SOIL ANALYSIS IS PERFORMED.
1.2.3. FERTILIZER: COMMERCIAL GRADE 12-20-12 SHOULD BE APPLIED AT A RATE OF 250 LBS PER ACRE (5.8 LBS/1,000 SF)
1.2.4. LIQUID OR DRY LIME: LIQUID LIME SHOULD BE APPLIED AT A RATE OF 2.5 GALLONS PER ACRE OR NEUTRA LIME DRY APPLIED AT A RATE OF 80 LBS PER ACRE IN AREAS OF ACIDIC SOILS TO ASSURE GERMINATION AND INITIAL ESTABLISHMENT.
1.2.5. MULCH: WHEAT, OAT, OR BARLEY STRAW MULCH SHALL BE APPLIED AT A RATE OF 80 LBS PER 1,000 SF. DO NOT INSTALL MULCH SO THICK THAT IT COMPLETELY COVERS THE GROUND. TOPSOIL SHOULD BE VISIBLE THROUGH THE STRAW LAYER.

2. EXECUTION AND PREPARATION:

- 2.1. A SOIL ANALYSIS SHOULD BE PERFORMED TO ASSESS THE FERTILITY NEEDS AND PH OF THE SOIL. ALL INSTALLATION AREAS SHOULD BE PREPARED TO AGRICULTURAL STANDARD RECOMMENDED BY THE DEPARTMENT OF AGRICULTURE WITHIN THE STATE WHERE THE WORK IS BEING PERFORMED. AGRICULTURAL LIME OR PELLETED LIME SHOULD BE ADDED DURING THE GROUND PREPARATION STAGE AT THE RATE RECOMMENDED ACCORDING TO SOIL ANALYSIS.
2.2. ALL WEEDS AND UNDESIRABLE PLANTS SHOULD BE REMOVED BEFORE PLANTING BY METHOD OF SPRAYING OR TILLAGE. A NON-SELECTIVE HERBICIDE CAN BE SPRAYED ONE MONTH PRIOR TO PLANTING TO KILL ALL WEEDS AND UNDESIRABLE PLANTS THAT MAY COMPETE WITH THE NEW SEEDINGS. TILLAGE CAN BE PERFORMED AT LEAST 4 WEEKS PRIOR TO PLANTING AND AGAIN 2 WEEKS AFTER THE INITIAL TILLAGE. THE TILLAGE PROCEDURE CAN BE ADVANTAGEOUS IF LARGE AMOUNTS OF ORGANIC DEBRIS ARE PRESENT ON THE INSTALLATION AREAS.
2.3. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2.4. AREAS TO BE PLANTED SHOULD BE ROLLED WITH A CULTI-PACKER, TURF ROLLER, OR SIMILAR DEVICE TO FIRM THE SEEDBED. THIS PROCESS HELPS ACHIEVE THE DESIRED FIRMNESS. SOIL SHOULD BE SET TO 85% OF COMPACTION.

3. INSTALLATION:

- 3.1. STRICTLY COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
3.2. EQUIPMENT USED TO SPREAD SEED SHOULD HAVE SUFFICIENT CAPACITY TO HOLD AND AGITATE SEED EVENLY IN A CYCLONE OR DROPP PATTERN. HYDROSEEDING MAY ALSO BE PERFORMED WITH THE ENGINEER/ARCHITECT'S APPROVAL.
3.3. SEED MAY NEED TO BE APPLIED AT A HALF RATE IN ALTERNATING DIRECTIONS TO ENSURE AN EVEN COVERAGE OF SEED.
3.4. LIQUID LIME OR NEUTRA LIME DRY SHOULD BE TOPICALLY APPLIED TO AREAS WITH ACIDIC SOILS TO ASSIST THE SEED GERMINATION AND VEGETATION GROWTH DURING THE FIRST 90 DAYS. LIQUID LIME SHOULD BE APPLIED AT A RATE OF 2.5 GALLONS PER ACRE OR NEUTRA LIME DRY AT A RATE OF 80 LBS PER ACRE.
3.5. FERTILIZER SHOULD BE SPREAD EVENLY OVER THE SEEDED AREAS AT THE RECOMMENDED RATE DETERMINED BY THE INITIAL SOIL ANALYSIS. IF NO SOIL ANALYSIS IS AVAILABLE EVENLY APPLY 12-20-12 STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE (5.8 LBS/1000 SQUARE FEET).
3.6. A ROLLED EROSION CONTROL PRODUCT CAN BE APPLIED OVER THE TOP OF SEED IN STEEP SLOPE SITUATIONS TO HELP PREVENT SEED FROM WASHING AND REINFORCE VEGETATION THROUGH ESTABLISHMENT. (FOLLOW REC PRODUCT MANUFACTURER RECOMMENDATIONS.)

4. MAINTENANCE

- 4.1. FREQUENT LIGHT IRRIGATION WILL NEED TO BE APPLIED TO SEEDER AREAS IF NO NATURAL RAIN EVENTS HAVE OCCURRED WITHIN 2 WEEKS OF SEEDING. AFTER SEED GERMINATION HAS OCCURRED AND PLANTS ARE VISIBLE THE FREQUENCY OF IRRIGATION CAN BE CUT BACK WITH HEAVIER APPLICATION RATES.
4.2. REPAIR ALL SEED WASHINGS AND EROSION.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPGRADE, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPE AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
• TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
• VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
• FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

BOHLER ENGINEERING logo and contact information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS table with columns: REV, DATE, COMMENT, DRAWN BY, CHECKED BY. Includes revision 1 on 11/27/19 by MEG and JQR.

811 logo with text: Know what's Below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

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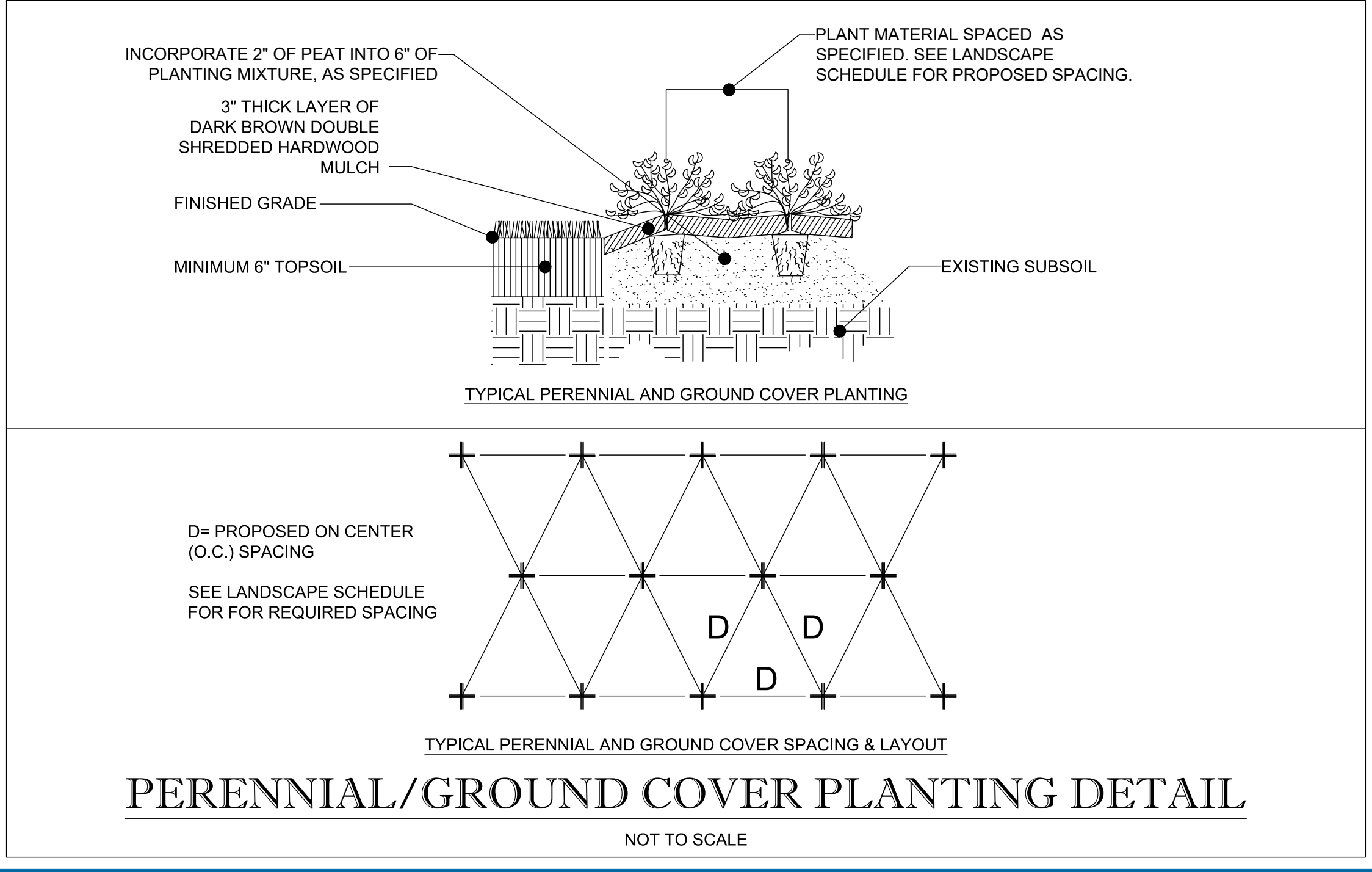
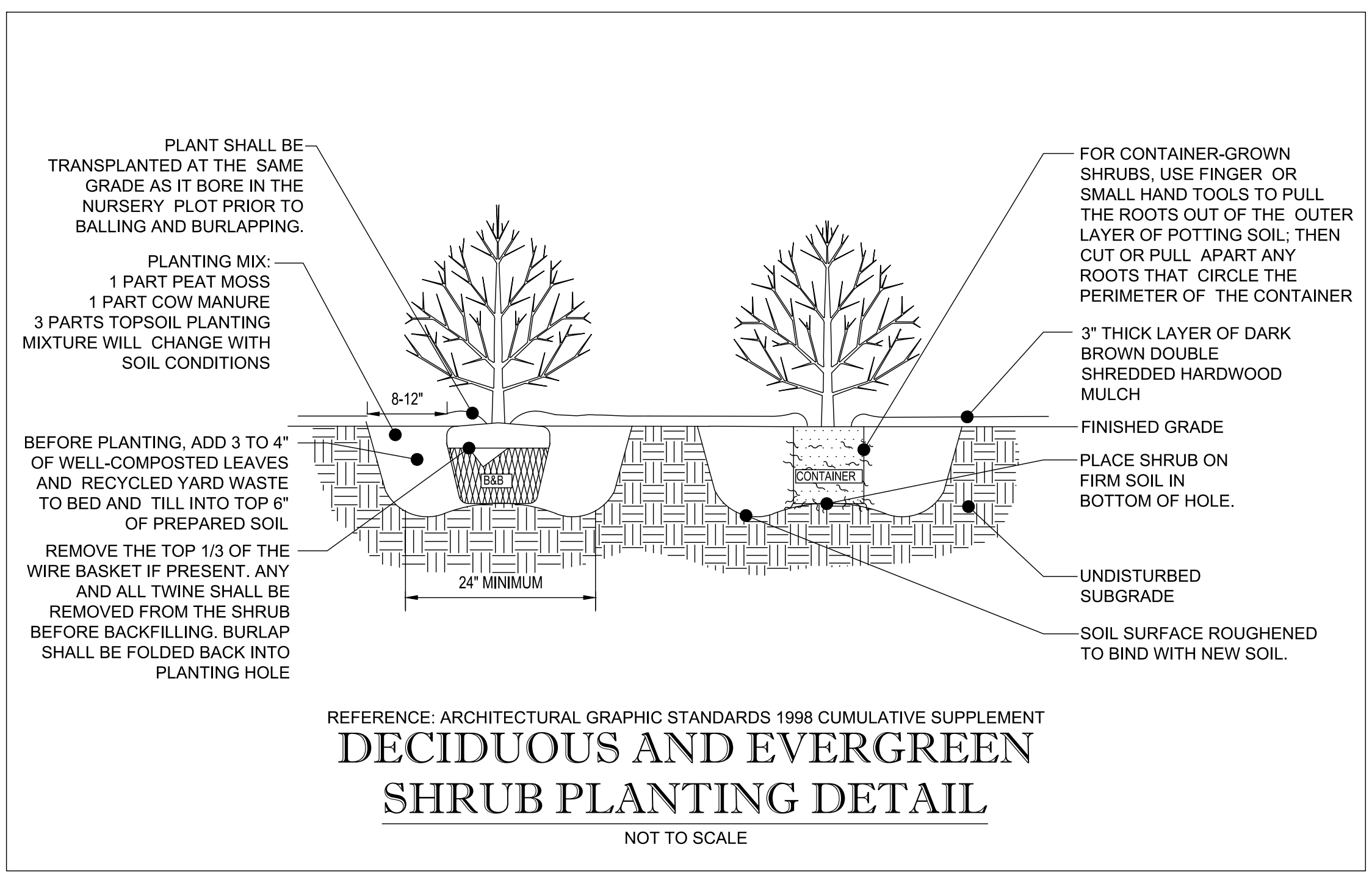
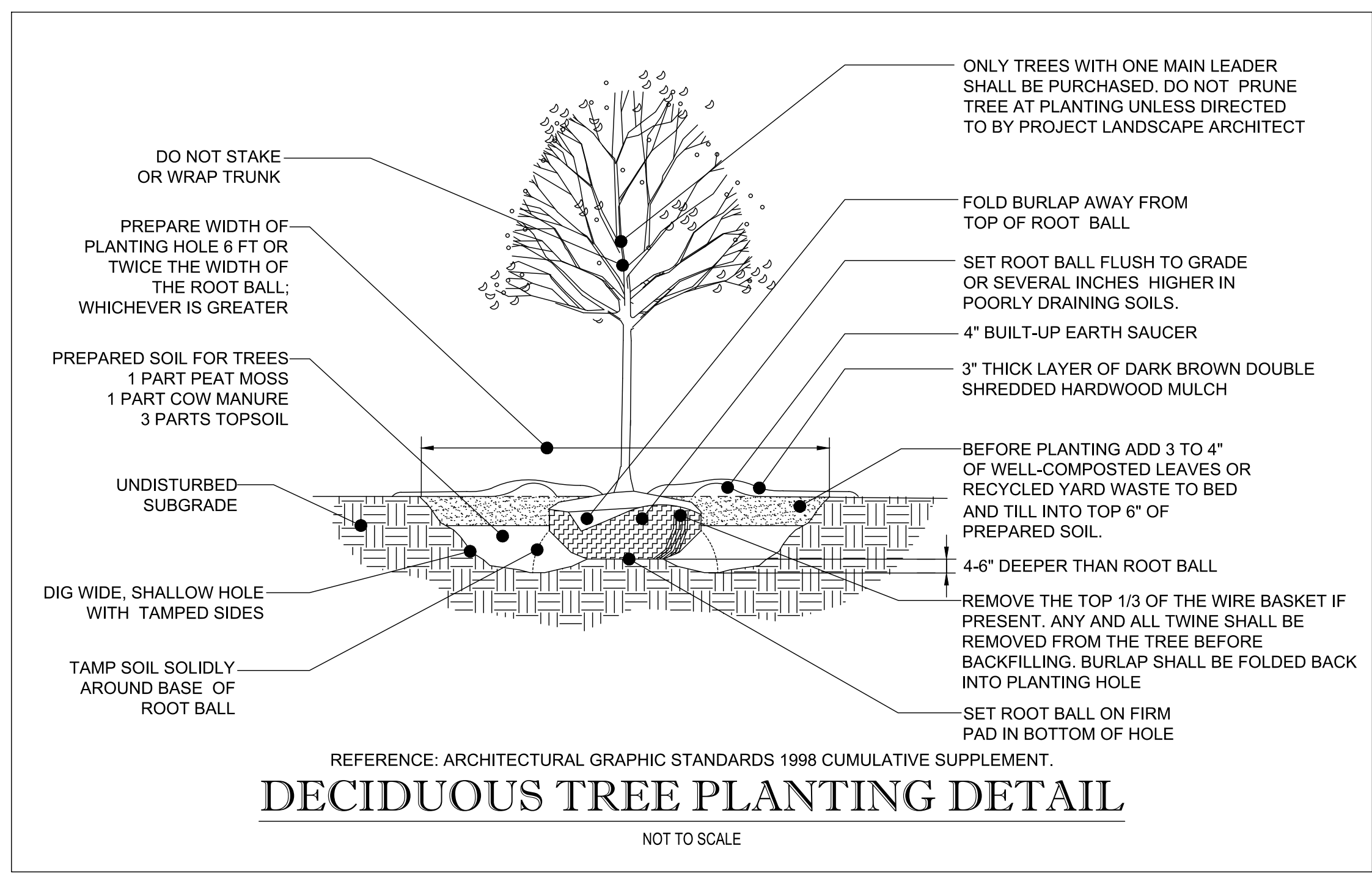
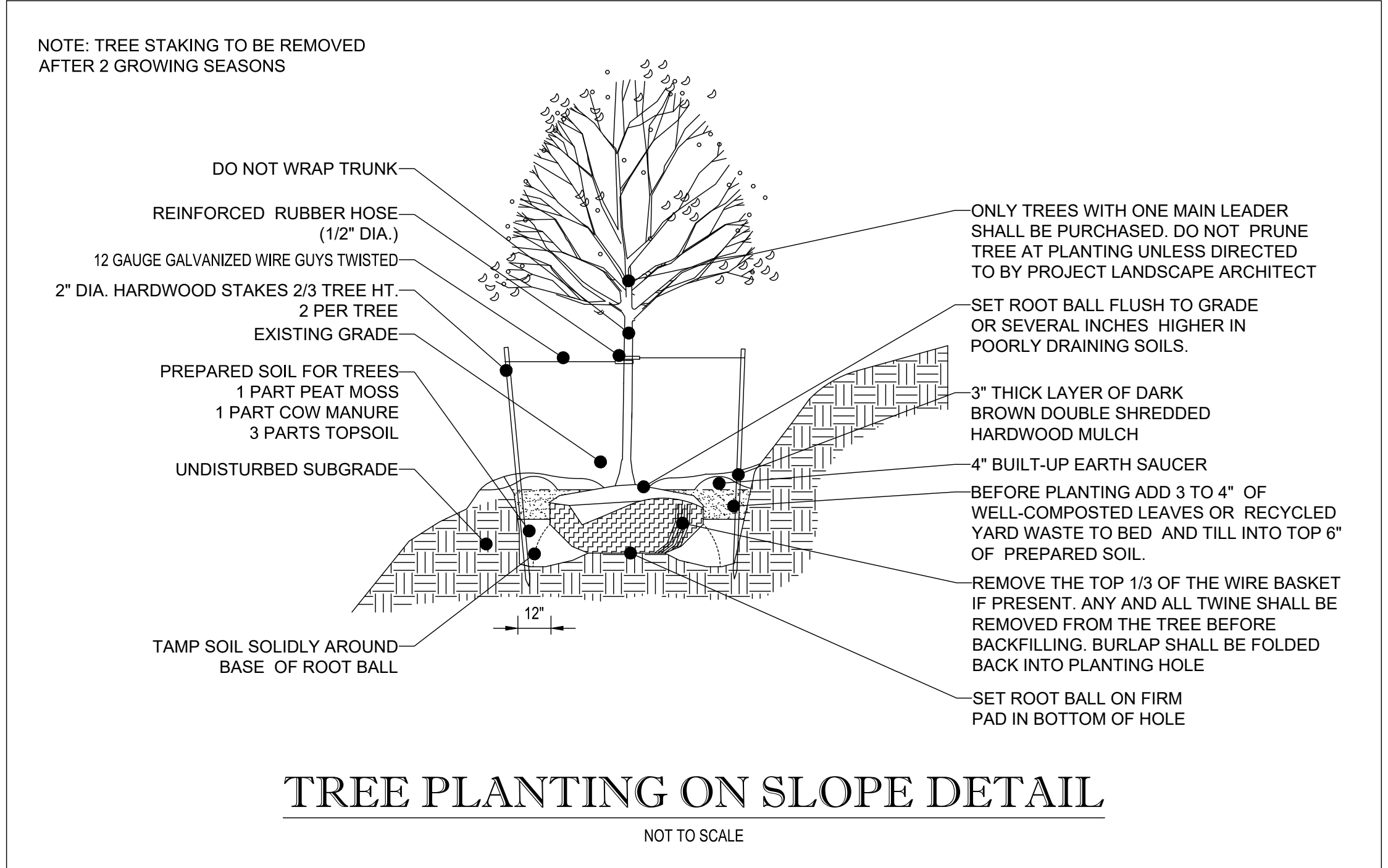
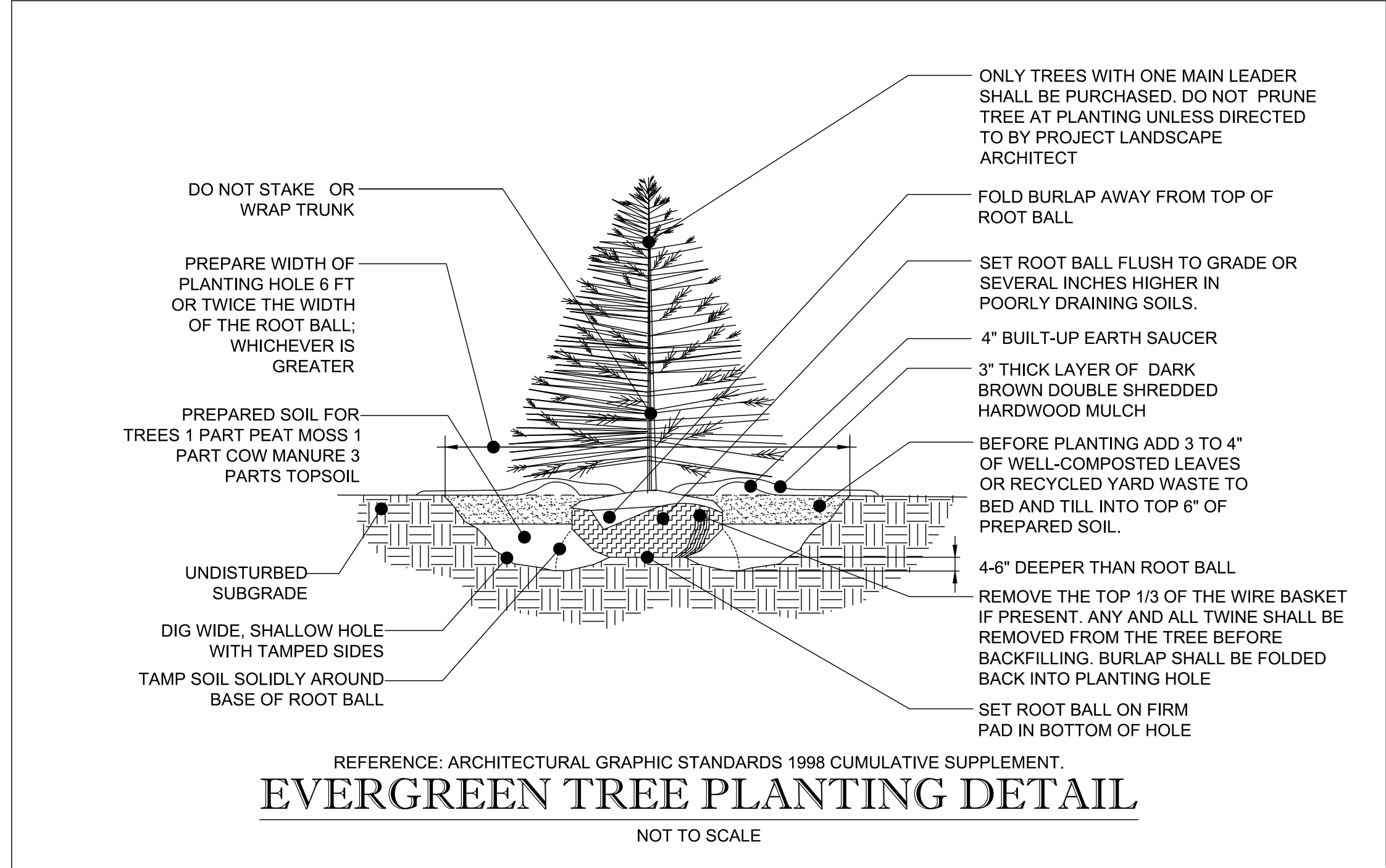
PROJECT info table: PROJECT No. V192055, DRAWN BY: MEG, CHECKED BY: JQR, DATE: 11/08/2019, CAD I.D.: LSP.

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC. PROPOSED SITE at 15001 WASHINGTON STREET, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA.

BOHLER ENGINEERING logo and address: 28 BLACKWELL PARK LANE, SUITE 201, WARRENTON, VIRGINIA 20186. Phone: (540) 349-4500, Fax: (540) 349-0321, VA@BohlerEng.com

Professional seal for NICHOLAS T. GEORGAS, Cert. No. 001653, LANDSCAPE ARCHITECT.

SHEET TITLE: LANDSCAPE NOTES. SHEET NUMBER: C-702. REVISION 1 - 11/27/19.



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WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

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PROJECT No.: V192055
DRAWN BY: MEG
CHECKED BY: JQR
DATE: 11/08/2019
CAD I.D.: LSP-1

PROJECT:

SITE PLAN DOCUMENTS

FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

NICHOLAS T. GEORGAS
Cert. No. 001653
LANDSCAPE ARCHITECT

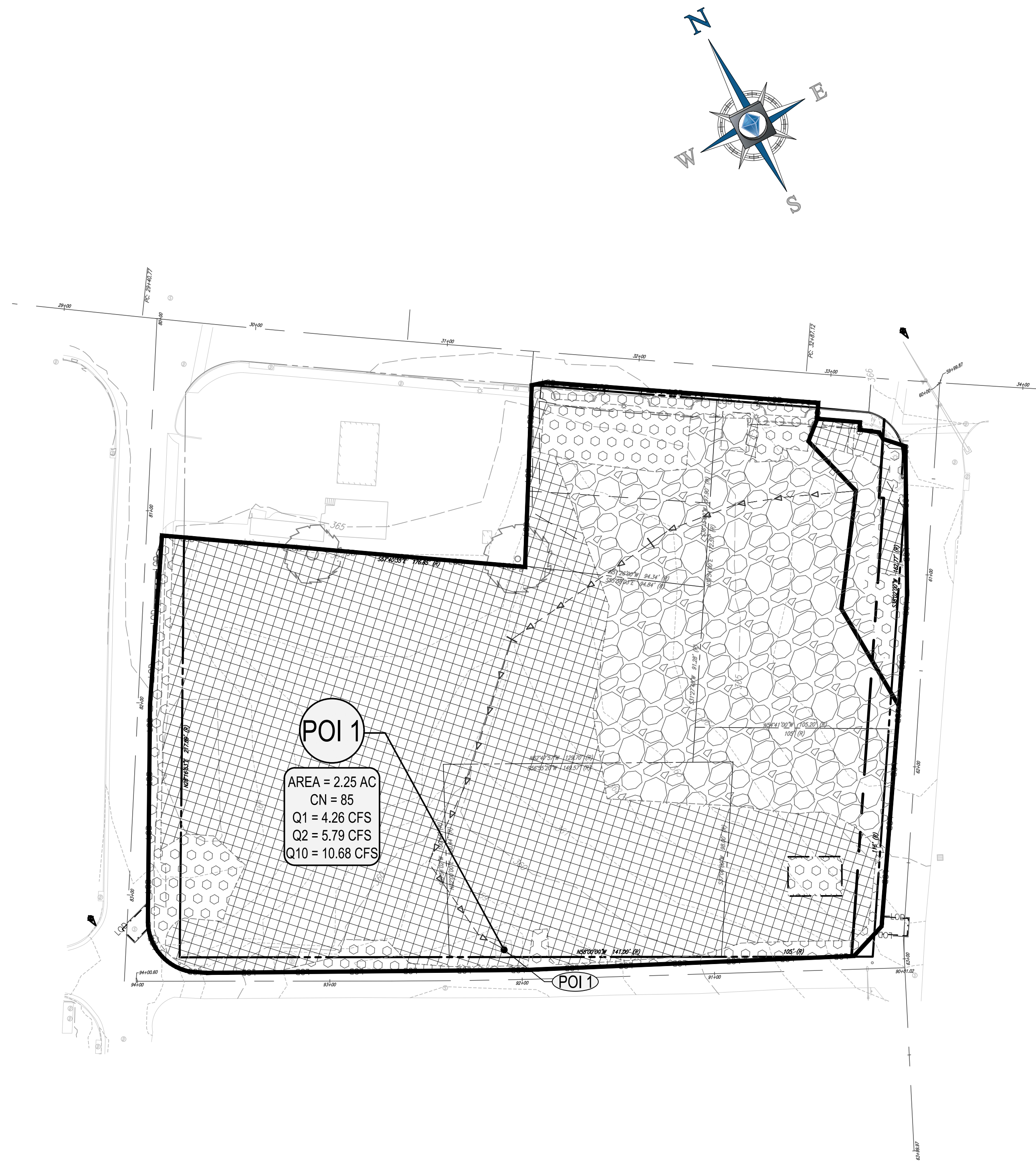
SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
C-703

REVISION 1 - 11/27/19


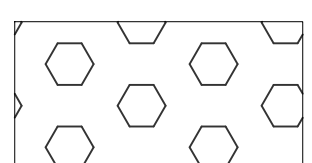
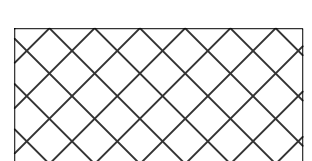
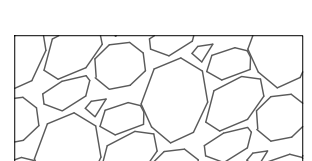
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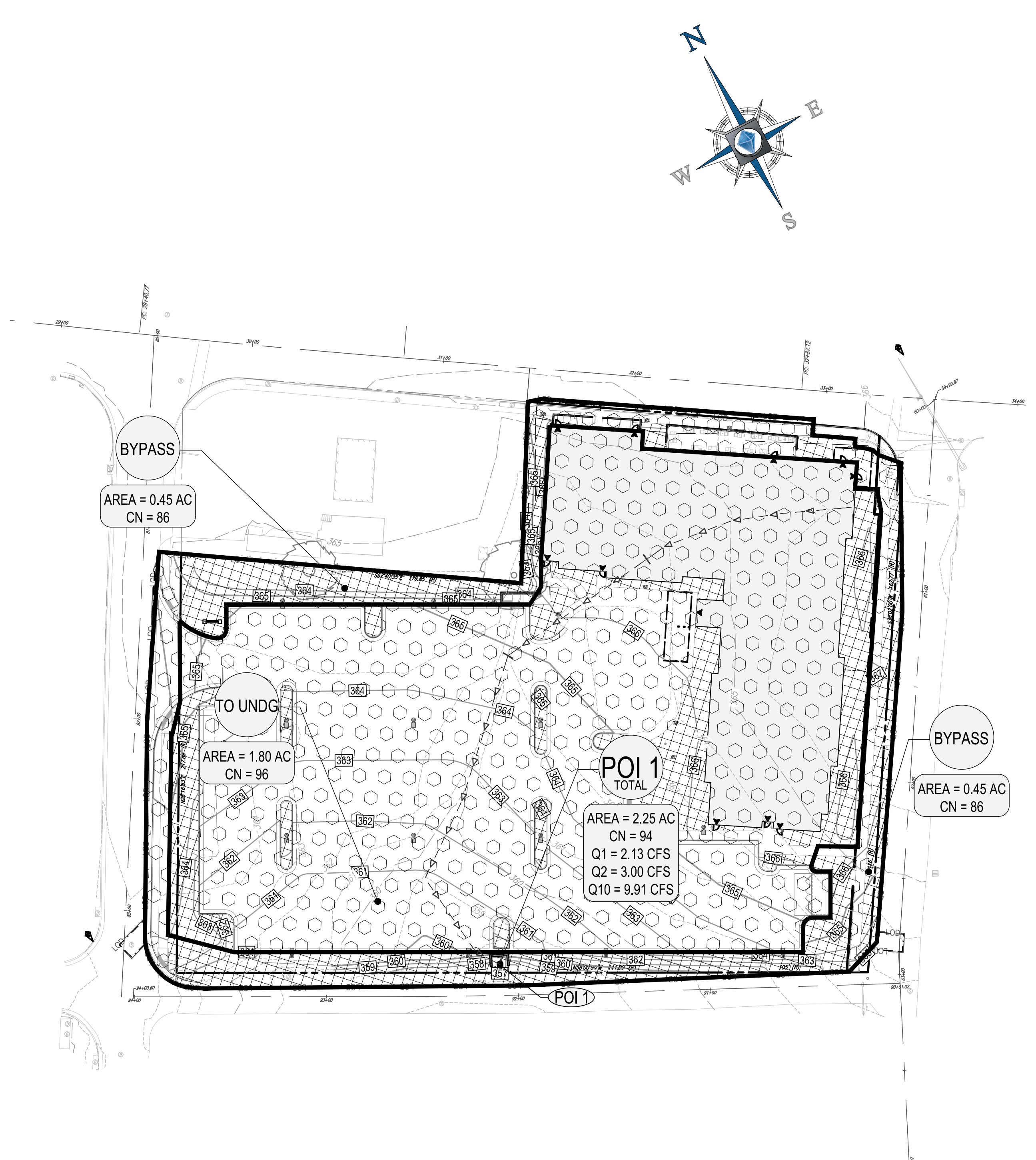
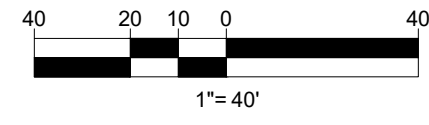
Attachment: 191127 Haymarket Hotel Site Plan Rev 1 (4296 - Haymarket Hotel Venture, LLC Final Site Plan)



PRE DEVELOPMENT DRAINAGE MAP


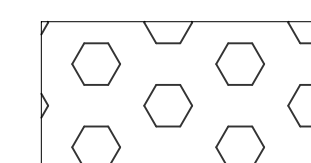
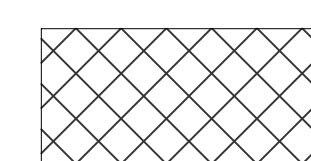
LEGEND

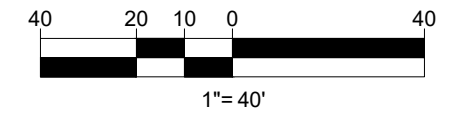
-  STORMWATER POINT OF INTEREST
-  EXISTING IMPERVIOUS AREA
-  EXISTING PERVIOUS AREA
-  EXISTING GRAVEL



POST DEVELOPMENT DRAINAGE MAP

LEGEND

-  STORMWATER POINT OF INTEREST
-  PROPOSED IMPERVIOUS AREA
-  PROPOSED PERVIOUS AREA



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REVISIONS

| REV | DATE | COMMENT | DRAWN BY |
|-----|----------|------------------------|----------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG JOR |

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS RECALLED OTHERWISE.

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| | |
|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JOR |
| DATE: | 11/08/2019 |
| CAD I.D.: | HDP-9 |

PROJECT:
SITE PLAN DOCUMENTS
 FOR
HAYMARKET HOTEL VENTURE, LLC
 PROPOSED SITE
 15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
 28 BLACKWELL PARK LANE, SUITE 201
 WARRENTON, VIRGINIA 20186
 Phone: (540) 349-4500
 Fax: (540) 349-0321
 VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
 JONATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SHEET TITLE:
SWM/BMP PLAN
 SHEET NUMBER:
C-801
 REVISION 1 - 11/27/19

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

Site Summary table with columns for Total Rainfall (in) and Total Disturbed Acreage.

Site Land Cover Summary

Pre-Development Land Cover (acres) table with columns for A soils, B soils, C soils, D soils, Totals, and % of Total.

Post-Development Land Cover (acres) table with columns for A soils, B soils, C soils, D soils, Totals, and % of Total.

Site TN and Land Cover Nutrient Loads table with columns for Site TN, Treatment Volume (ft³), and TP Load (lb/yr).

Total TP Load Reduction Required (lb/yr) table with columns for Final Post-Development Load and Pre-Development Load.

TN Load (lb/yr) table with columns for Final Post-Development Load and Pre-Development Load.

Site Compliance Summary

Maximum % Reduction Required Below Pre-Development Load table.

Runoff Volume Reduction table with columns for Total Runoff Volume Reduction (ft³), Total TP Load Reduction Achieved (lb/yr), Total TN Load Reduction Achieved (lb/yr), Remaining Post Development TP Load (lb/yr), and Remaining TP Load Reduction (lb/yr) Required.

Drainage Area Summary

Drainage Area Summary table with columns for D.A. A, D.A. B, D.A. C, D.A. D, D.A. E, and Total.

Drainage Area Compliance Summary

Drainage Area Compliance Summary table with columns for D.A. A, D.A. B, D.A. C, D.A. D, D.A. E, and Total.

Runoff Volume and CN Calculations

Runoff Volume and CN Calculations table with columns for Drainage Area, RV & CN, RR (ft³), and 1-year, 2-year, and 10-year storm events.

VRRM REDEVELOPMENT SUMMARY SHEETS



Date: November 6, 2019
To: Stuart Sheffield, EIT Sr. Design Engineer
From: Amy Staley, Office Coordinator
Subject: Potomac Watershed - Nutrient Credit Availability

This letter is to confirm the availability of 1.50 authorized nutrient credits ("Nutrient Credits") from one or more of Resource Environmental Solutions ("RES") Potomac nutrient bank facilities for use by permit applicants within the Potomac watershed...

Please feel free to contact me if you have any questions.
Sincerely, Amy Staley, Resource Environmental Solutions

NUTRIENT CREDIT AVAILABILITY LETTER

ENERGY BALANCE

Site: Haymarket Hotel
Jurisdiction: Town of Haymarket
Storm Event: 1 Year
24-Hour Rainfall Depth: 2.52"

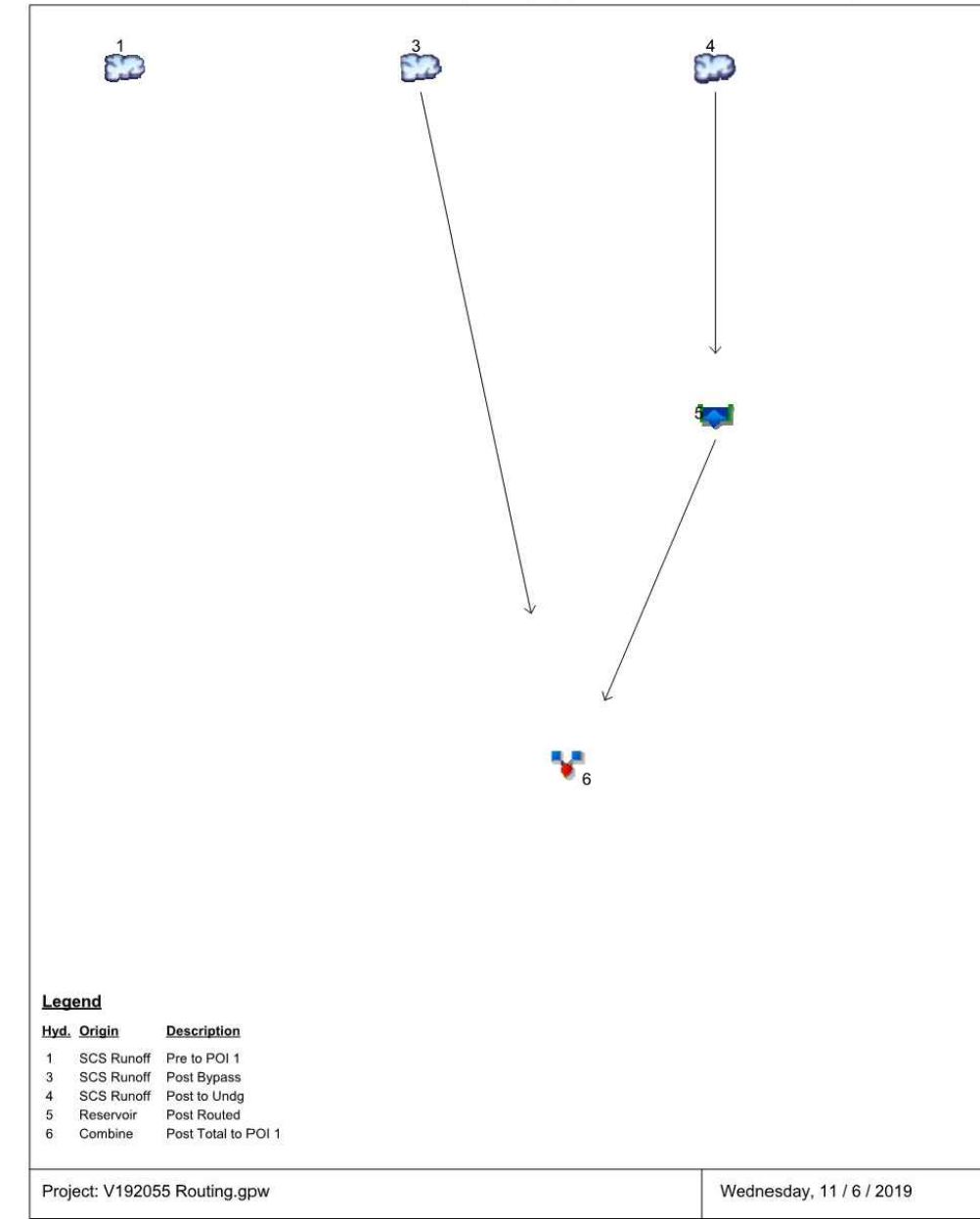
Energy Balance (EB) table with columns for Point of Interest ID, Pre-Development, Post-Development, and Energy Balance (EB) parameters like Q, Flow (cfs), I.F., and EB Achieved.

- Notes:
1. Q Post-Dev must always be less than or equal to Q Pre-Dev
2. Q Post-Dev is not required to be less than that calculated in the equation (Q forest x RV forest) / RV Post-Dev

ENERGY BALANCE CALCULATION

BMP SUMMARY TABLE with columns for Facility Type, Location, Geographic Coordinates, Acres Treated, and Impervious Area Treated.

Watershed Model Schematic

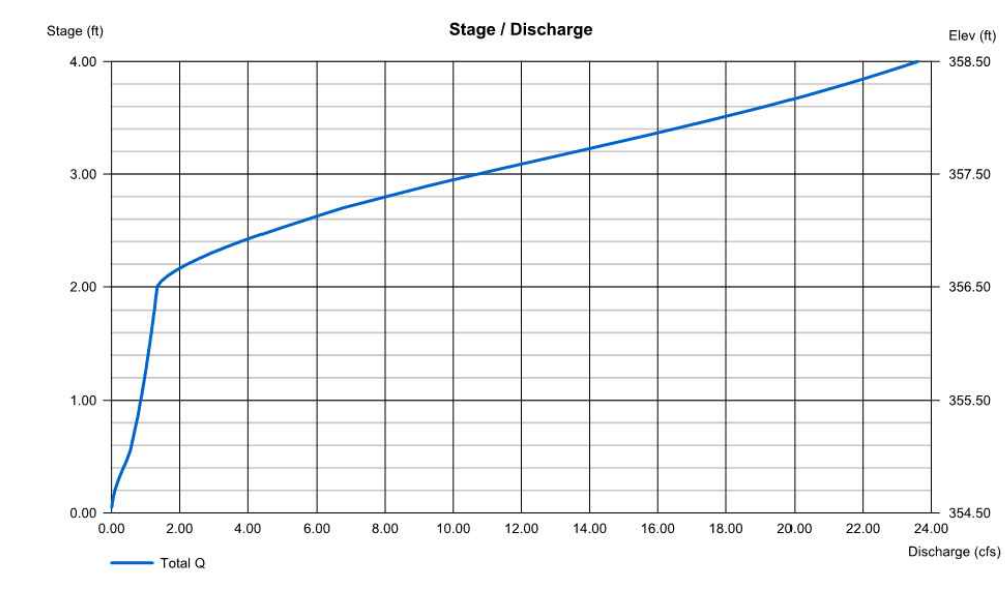


WATERSHED SCHEMATIC (SWM ROUTING)

Pond Report

Pond Data table with columns for Stage (ft), Inlet Storage (cuft), and Total Storage (cuft).

Culvert / Orifice Structures table with columns for [A], [B], [C], [PFR], [A], [B], [C], [D].



SWM DETENTION REPORT (SWM ROUTING)

STORMWATER NARRATIVE

EXISTING CONDITIONS
THE EXISTING SITE CONSISTS OF SEVERAL PARCELS THAT ARE PROPOSED TO BE COMBINED INTO ONE (1) PARCEL WITH A TOTAL AREA OF 2.05 ACRES. THERE IS AN ABANDONED HOUSE TO THE SOUTHEAST AND A GRAVEL PARKING LOT THAT USED TO SERVE SEVERAL BUILDINGS THAT WERE DEMOLISHED RECENTLY...

TR55 Tc Worksheet

TR55 Tc Worksheet table with columns for Hyd. No. 1, Description, A, B, C, Totals, Sheet Flow, Travel Time (min), and Channel Flow.

BEST MANAGEMENT PRACTICES NARRATIVE

SINCE THE SUBJECT SITE IS AN EXISTING DEVELOPED SITE, WATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT OF THIS SITE WERE CALCULATED USING THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT SPREADSHEET...

CONCLUSION

SINCE THE 1-YEAR FLOW RATE IN THE POST DEVELOPED CONDITION MEETS ENERGY BALANCE REQUIREMENTS, AND THE 10-YEAR FLOW RATE IN POST DEVELOPED CONDITION IS SLOWER THAN THE EXISTING FLOW RATE...

ADEQUATE OUTFALL NARRATIVE

THE EXISTING SITE DRAINS INTO EXISTING STORM CONVEYANCE SYSTEMS THAT OUTFALL TO THE SOUTH OF THE PROPERTY (IDENTIFIED AS POI#1). SINCE THE OVERALL FLOWS TO THE POI FOR THE 1-YEAR AND 10-YEAR STORM EVENTS ARE REDUCED WITH THE DEVELOPMENT OF THIS SITE...

PRE-DEVELOPED TIME OF CONCENTRATION

BOHLER ENGINEERING logo and contact information.

REVISIONS table with columns for REV, DATE, COMMENT, and DRAWN BY.

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PROJECT INFORMATION table with columns for PROJECT No., DRAWN BY, CHECKED BY, DATE, CAD I.D., and V192055.

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC. PROPOSED SITE. 15001 WASHINGTON STREET, TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY, VIRGINIA.

BOHLER ENGINEERING logo and address: 28 BLACKWELL PARK LANE, SUITE 201, WARRENTON, VIRGINIA 20186.

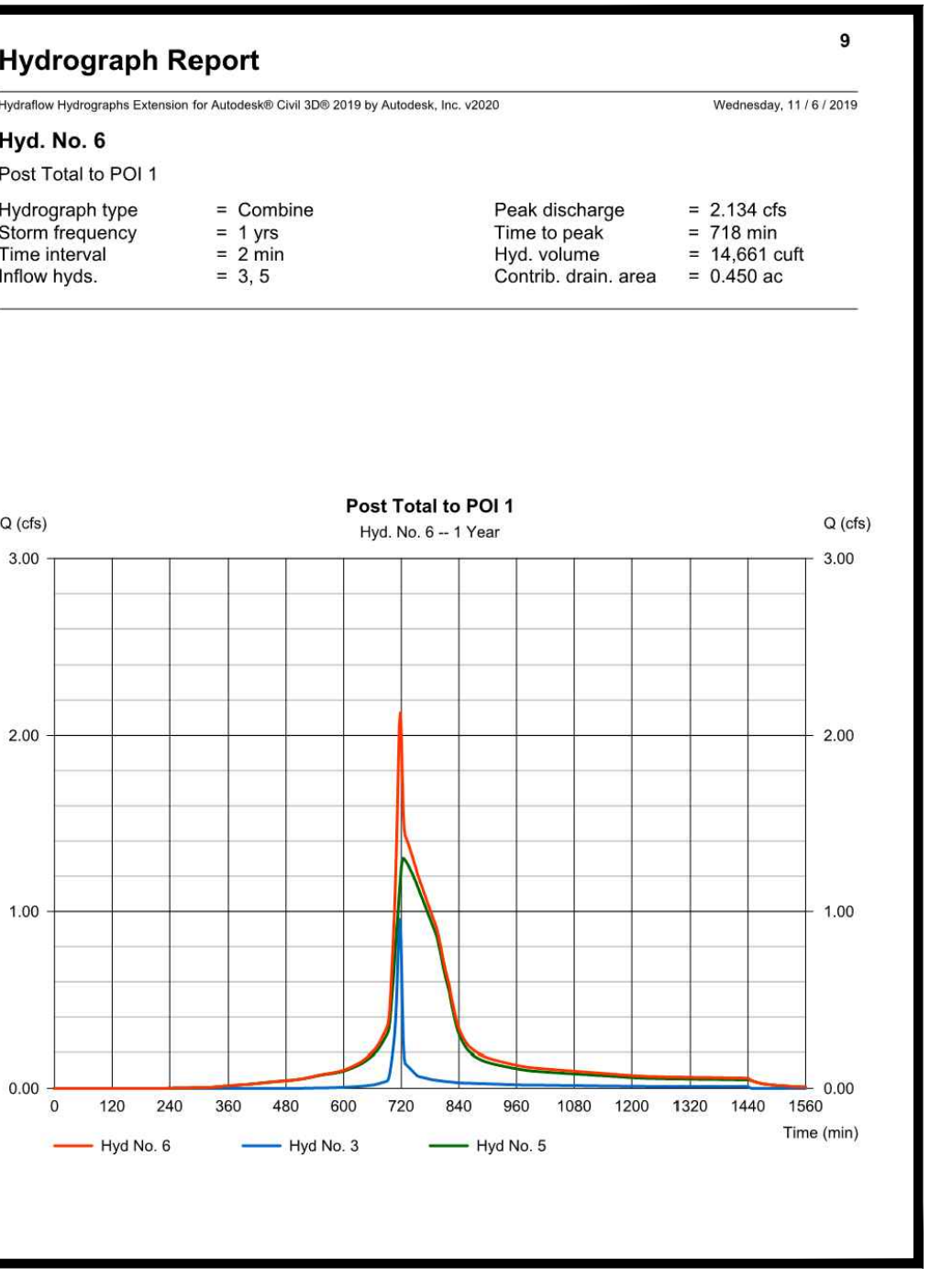
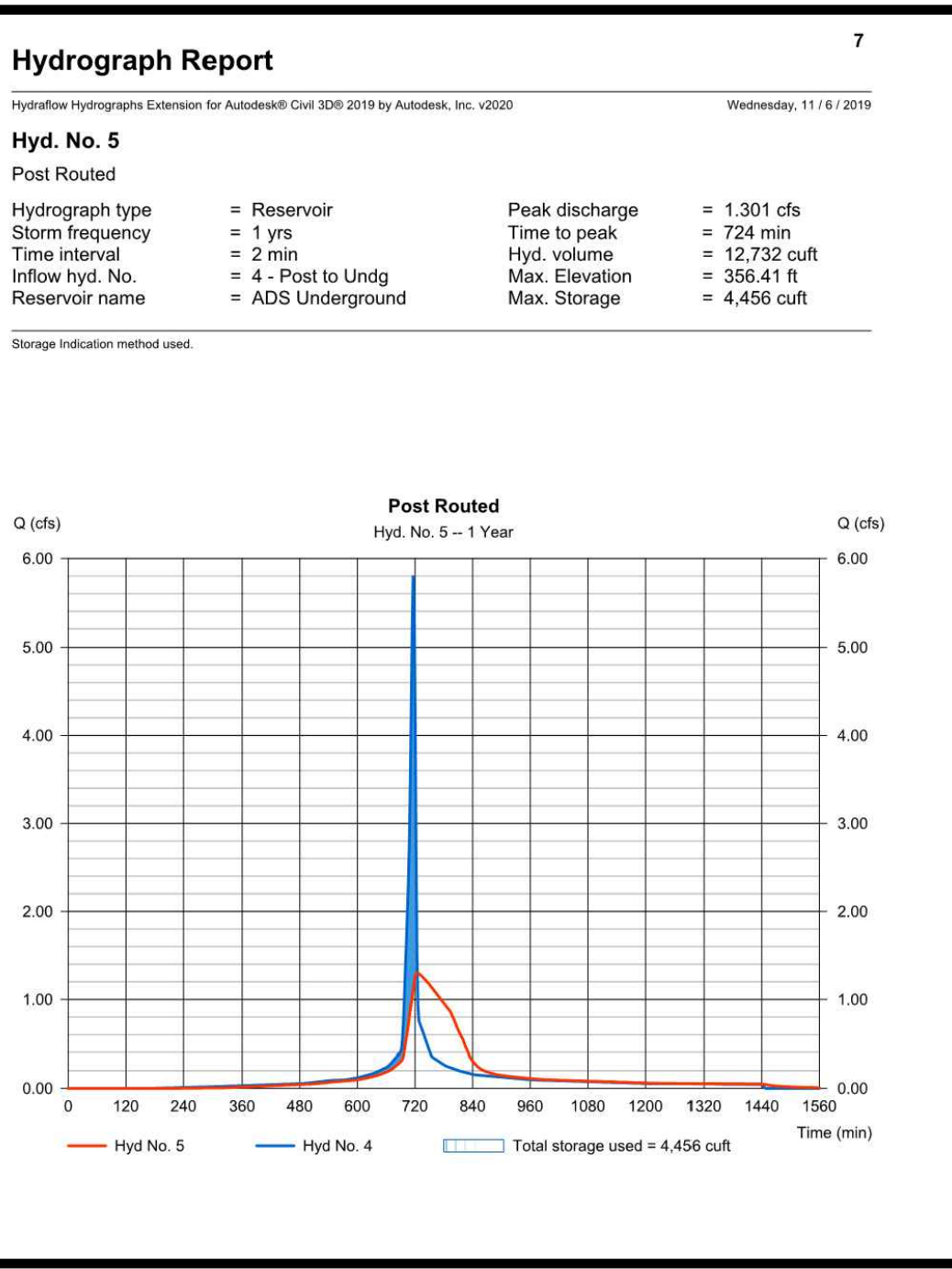
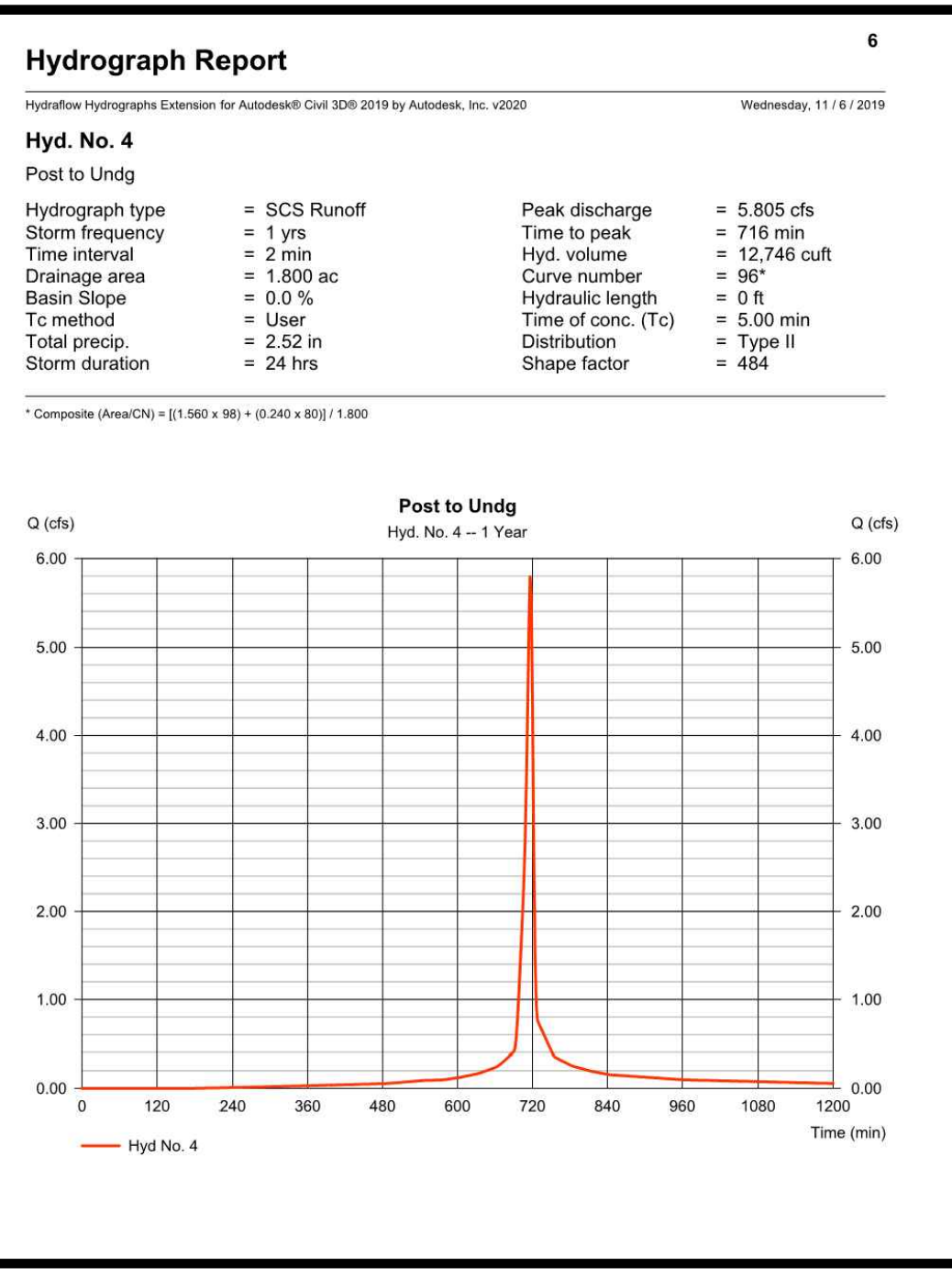
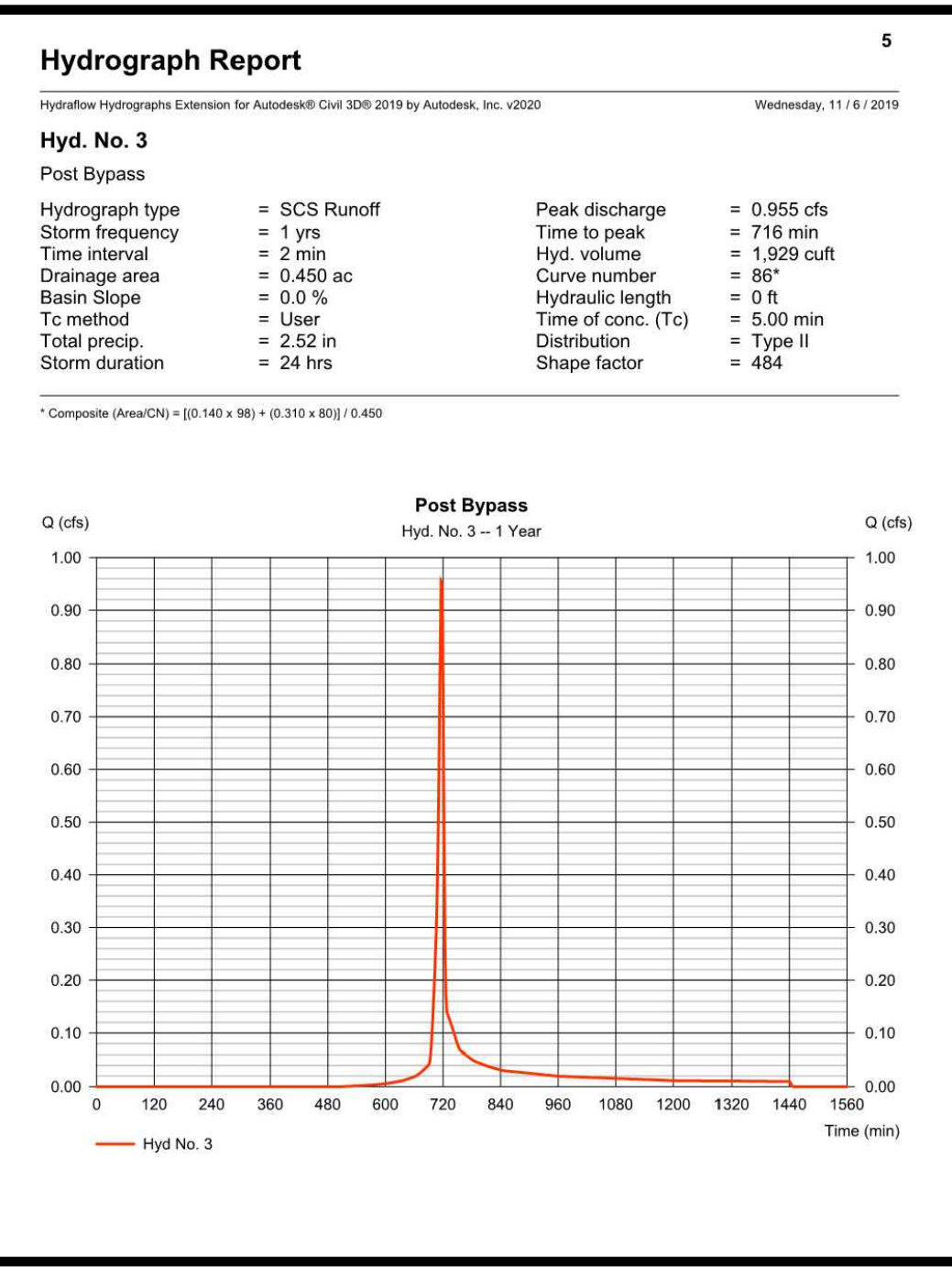
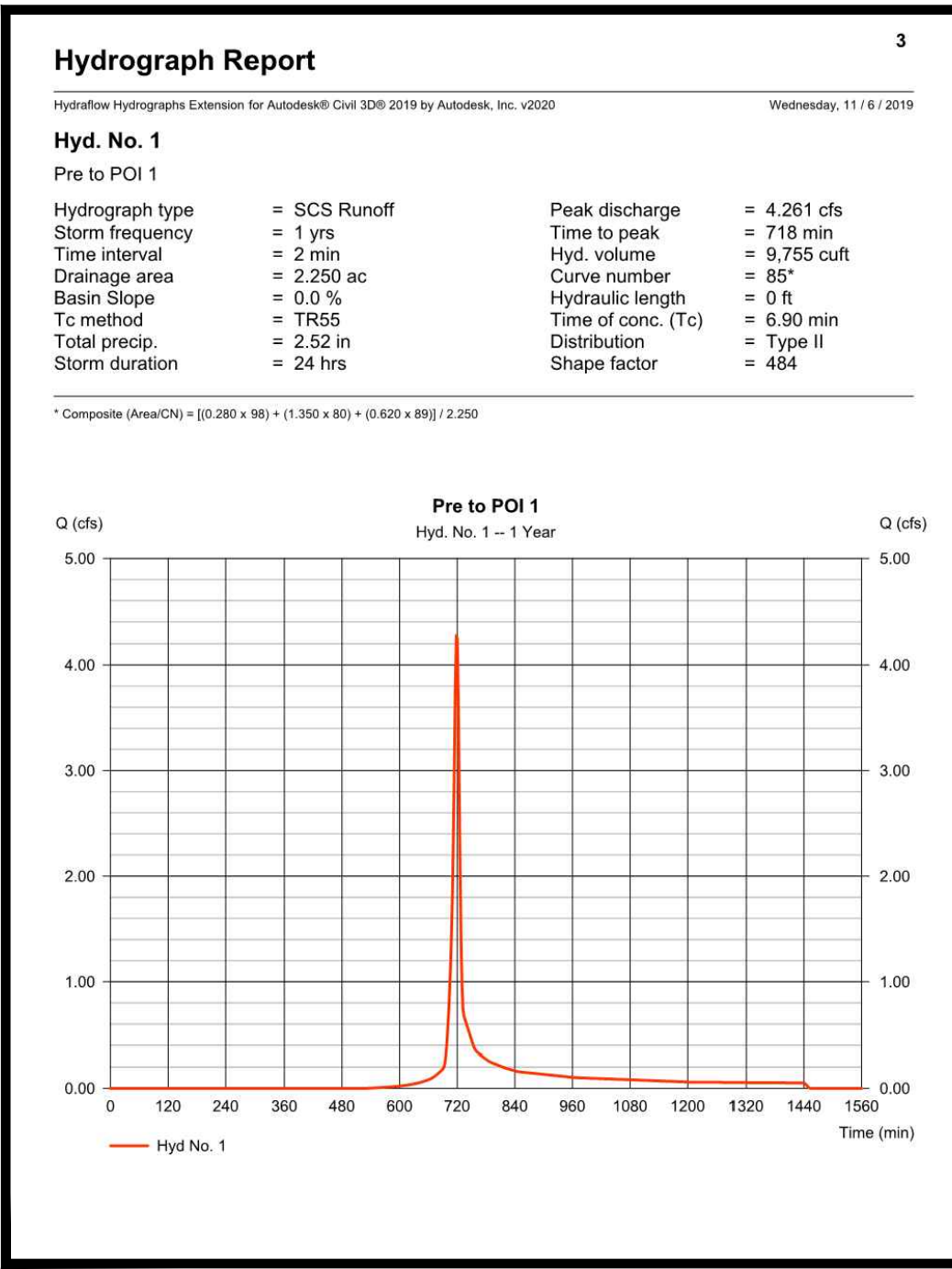
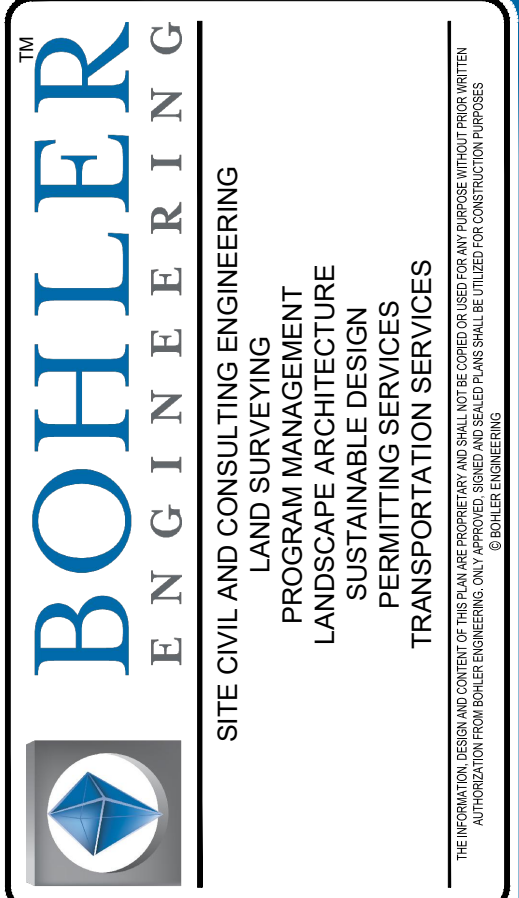
Professional Engineer seal for KATHAN RITCHIE, Lic. No. 052544, dated 11/27/2019.

SWM/BMP DETAILS SHEET NUMBER: C-802. REVISION 1 - 11/27/19.

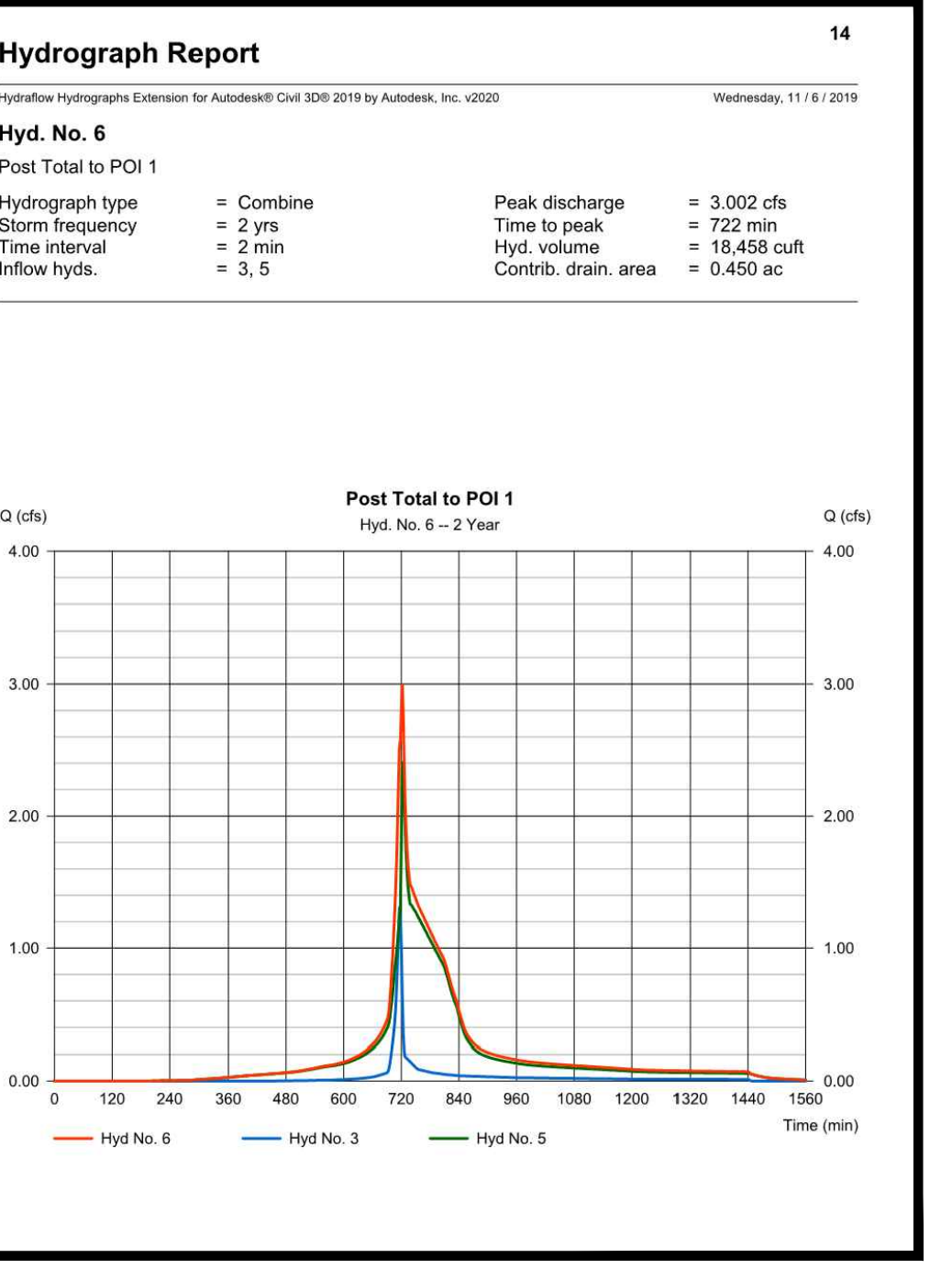
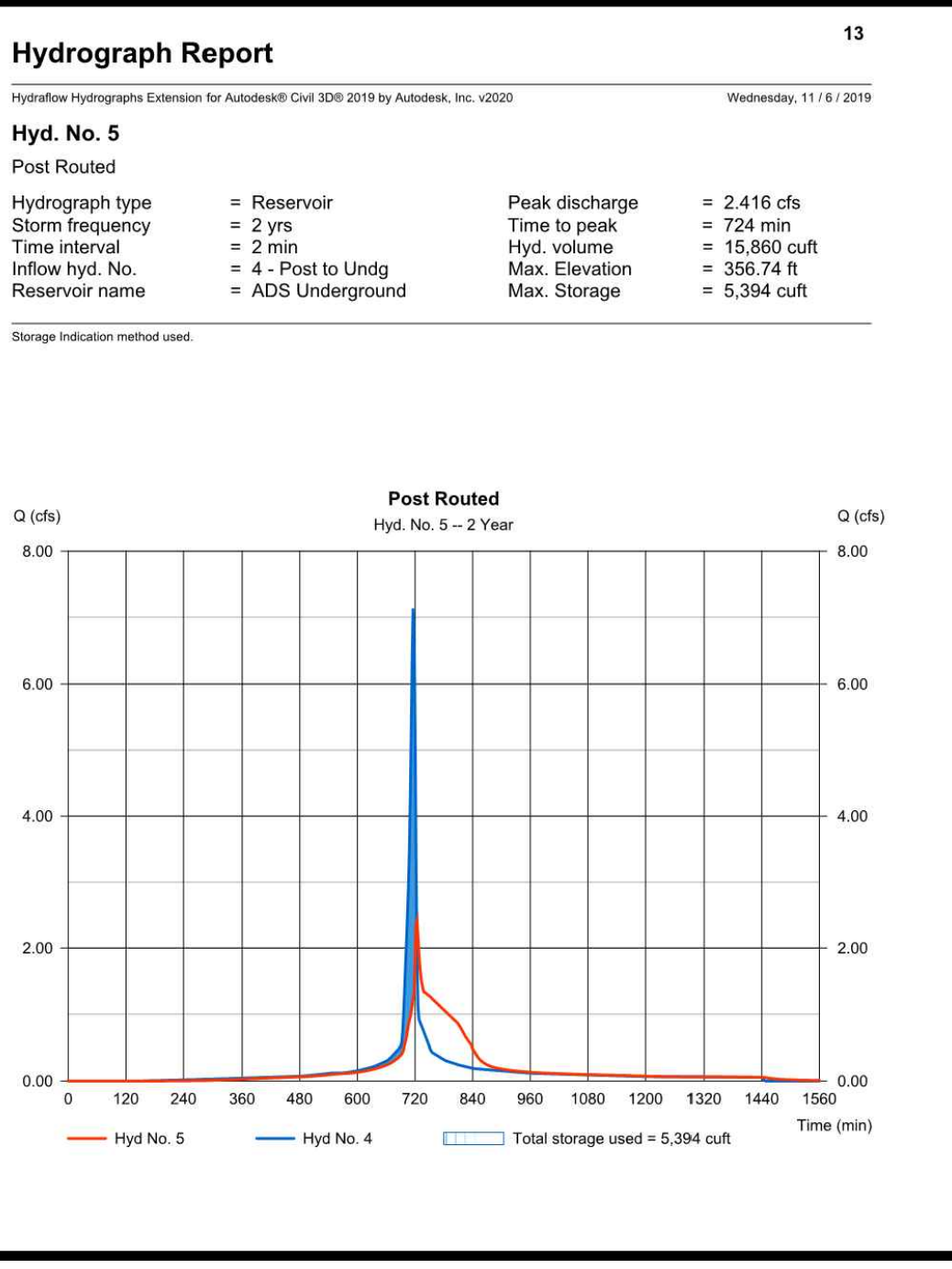
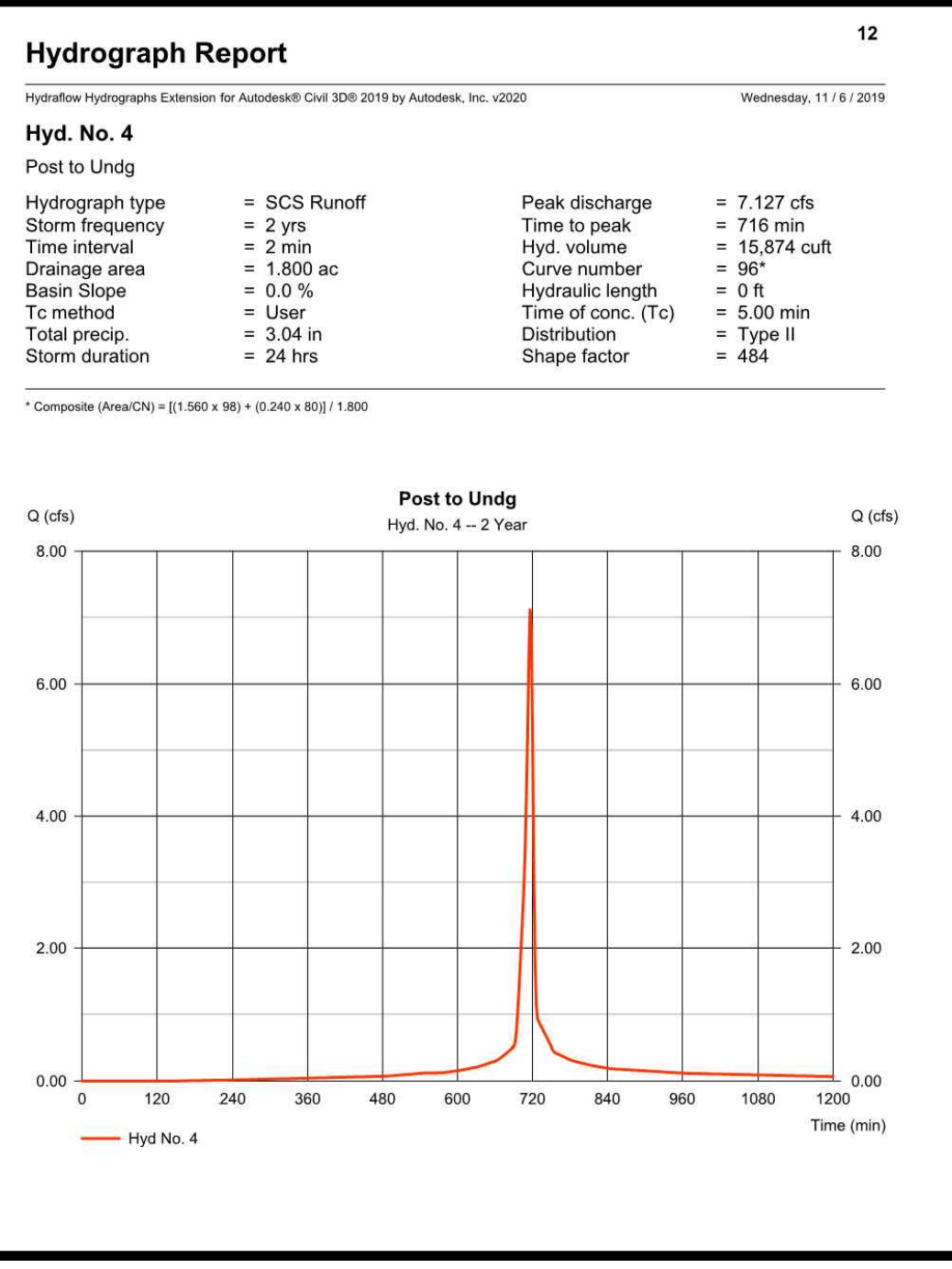
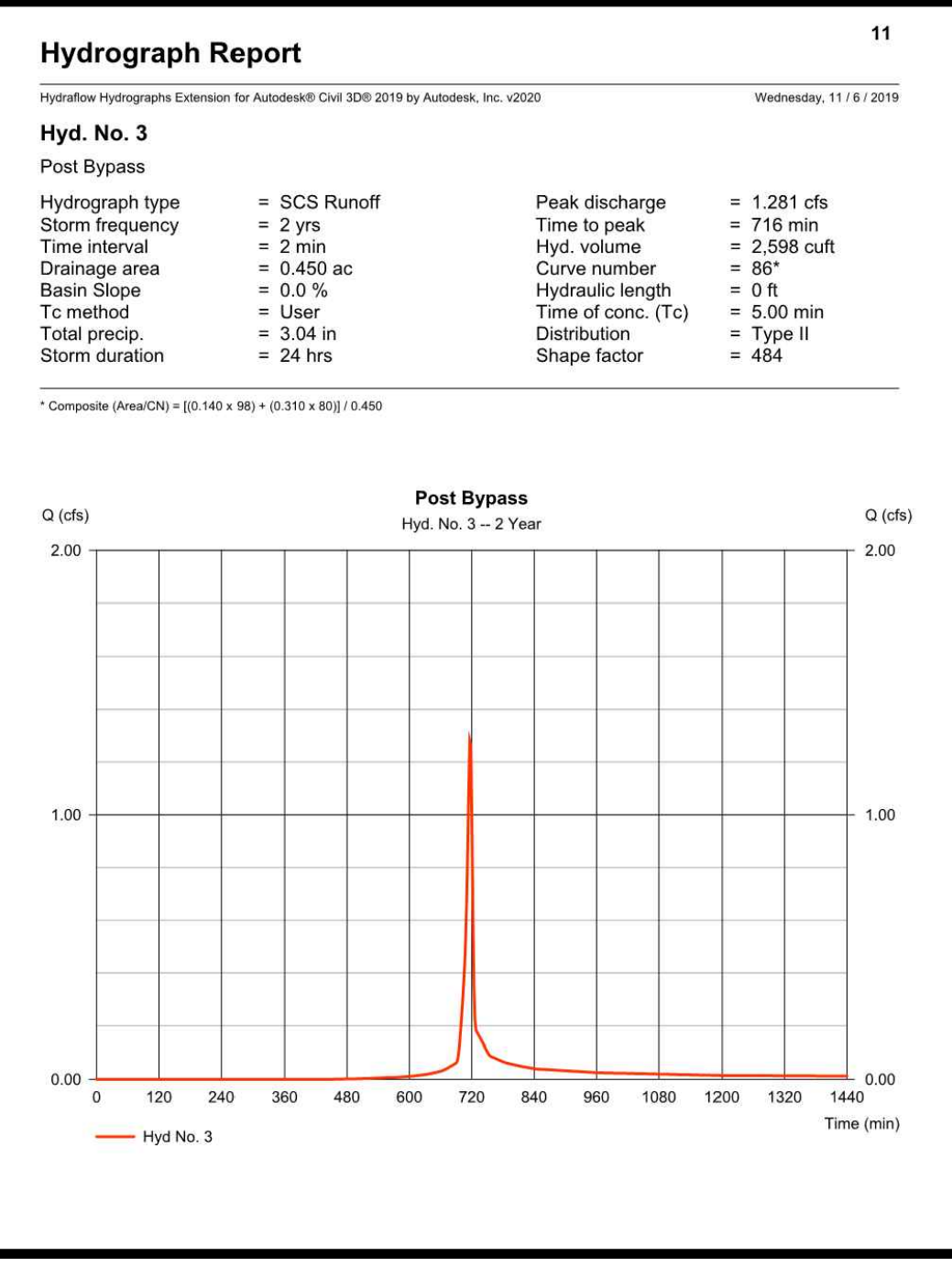
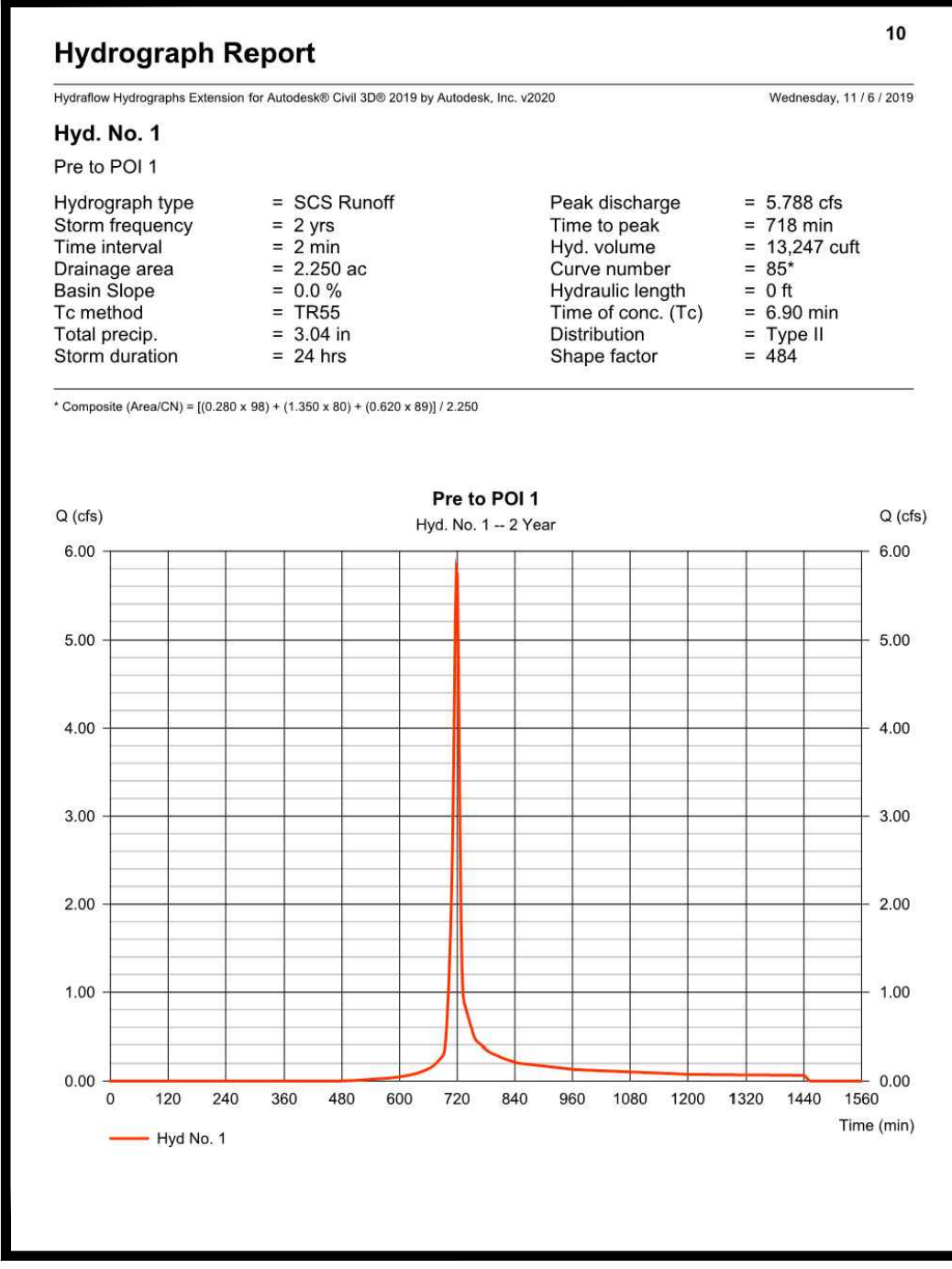
Attachment: 191127 Haymarket Hotel Site Plan Rev 1 (4296 - Haymarket Hotel Venture, LLC Final Site Plan)

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|--|---|--|
| D | FINAL FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE C-1 LAYER TO THE BOTTOM OF SUBGRADE. PAVEMENT OR UNDERPAVEMENT SUBGRADE REQUIREMENTS CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | ANY SOLID MATERIALS, NATURAL SOILS, OR PER ENGINEER'S PLAN. | PREPARE PER SITE DESIGN ENGINEER'S PLAN. PAVED INSTALLATIONS MAY HAVE STRONG MATERIAL AND PREPARATION REQUIREMENTS. |
| C | FINAL FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBANKMENT STONE TO THE TOP OF THE C-1 LAYER TO THE BOTTOM OF SUBGRADE. PAVEMENT OR UNDERPAVEMENT SUBGRADE REQUIREMENTS CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | GRAVELLAR WELLS-SORTED SUBGRADE MATERIALS - 10% FINE OR MORE PROCESSED AGGREGATE. OR MOST PAVEMENT SUBGRADE MATERIALS CAN BE USED IN LAYER C. | SEED COMPACTIONS AFTER 1" (25.4 mm) OF MATERIAL OVER THE CHAMBER IS REACHED. COMPACT ADDITIONAL LAYERS IN 1" (25.4 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELLS-SORTED MATERIALS AND MIN. 95% DENSITY FOR WELLS-SORTED MATERIALS WITH A MAXIMUM PARTICLE SIZE OF 1.18" (30 mm). OR 3.92, 4.47, 5.46, 6.43, 7.42, 8.41, 9.38, 10.35, 11.32, 12.30, 13.27, 14.24, 15.21, 16.18, 17.15, 18.12, 19.09, 20.06, 21.03, 22.00, 22.97, 23.94, 24.91, 25.88, 26.85, 27.82, 28.79, 29.76, 30.73, 31.70, 32.67, 33.64, 34.61, 35.58, 36.55, 37.52, 38.49, 39.46, 40.43, 41.40, 42.37, 43.34, 44.31, 45.28, 46.25, 47.22, 48.19, 49.16, 50.13, 51.10, 52.07, 53.04, 54.01, 54.98, 55.95, 56.92, 57.89, 58.86, 59.83, 60.80, 61.77, 62.74, 63.71, 64.68, 65.65, 66.62, 67.59, 68.56, 69.53, 70.50, 71.47, 72.44, 73.41, 74.38, 75.35, 76.32, 77.29, 78.26, 79.23, 80.20, 81.17, 82.14, 83.11, 84.08, 85.05, 86.02, 87.00, 87.97, 88.94, 89.91, 90.88, 91.85, 92.82, 93.79, 94.76, 95.73, 96.70, 97.67, 98.64, 99.61, 100.58, 101.55, 102.52, 103.49, 104.46, 105.43, 106.40, 107.37, 108.34, 109.31, 110.28, 111.25, 112.22, 113.19, 114.16, 115.13, 116.10, 117.07, 118.04, 119.01, 120.00, 120.97, 121.94, 122.91, 123.88, 124.85, 125.82, 126.79, 127.76, 128.73, 129.70, 130.67, 131.64, 132.61, 133.58, 134.55, 135.52, 136.49, 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1-YEAR STORM HYDROGRAPHS



2-YEAR STORM HYDROGRAPHS

REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|----------|------------------------|----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JOR |

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS RECALLED OTHERWISE.

NOT APPROVED FOR CONSTRUCTION

| | |
|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JOR |
| DATE: | 11/02/2019 |
| CAD I.D.: | HDP-9 |

PROJECT:

SITE PLAN DOCUMENTS

FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

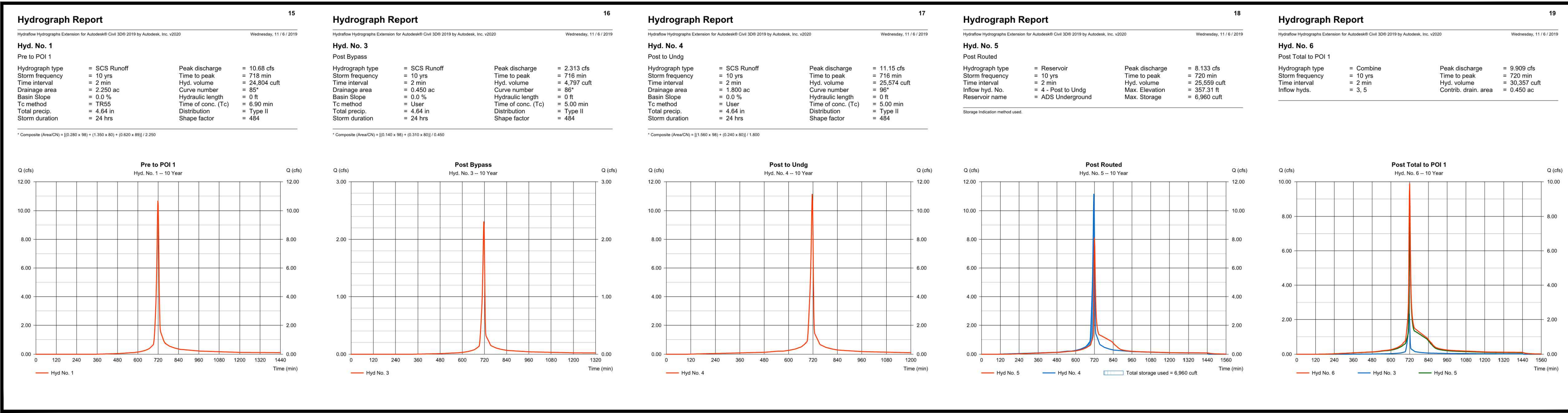
SHEET TITLE:

HYDROGRAPHS

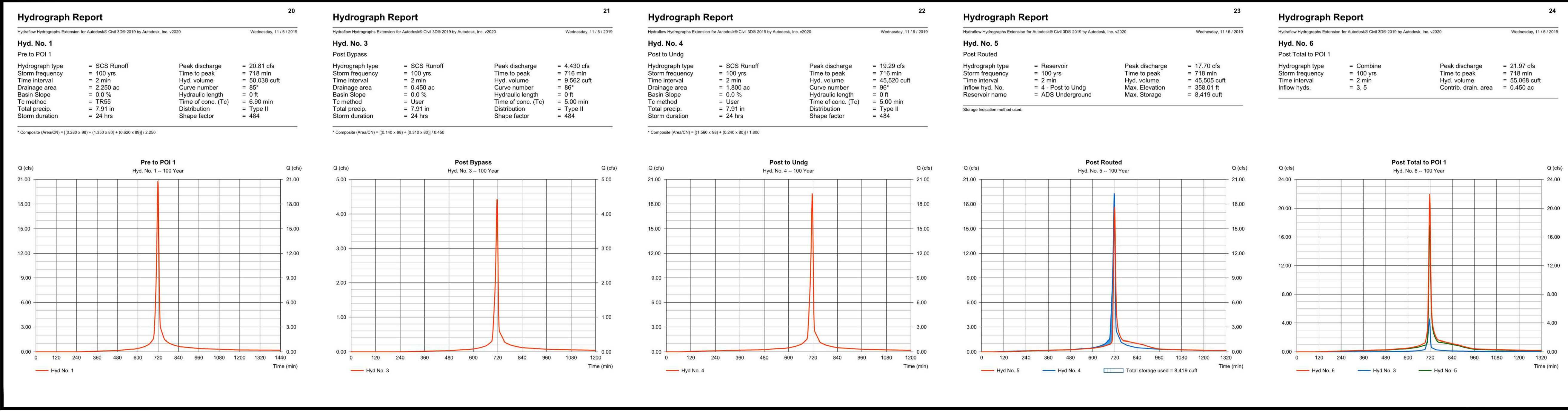
SHEET NUMBER:

C-804

REVISION 1 - 11/27/19



10-YEAR STORM HYDROGRAPHS



100-YEAR STORM HYDROGRAPHS

| REVISIONS | | | |
|-----------|----------|------------------------|----------|
| REV | DATE | COMMENT | DRAWN BY |
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG JOR |

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS SPECIFICALLY NOTED OTHERWISE.

NOT APPROVED FOR CONSTRUCTION

| | |
|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JOR |
| DATE: | 11/02/2019 |
| CAD I.D.: | HDP-9 |

PROJECT: SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC

FOR HAYMARKET HOTEL VENTURE, LLC

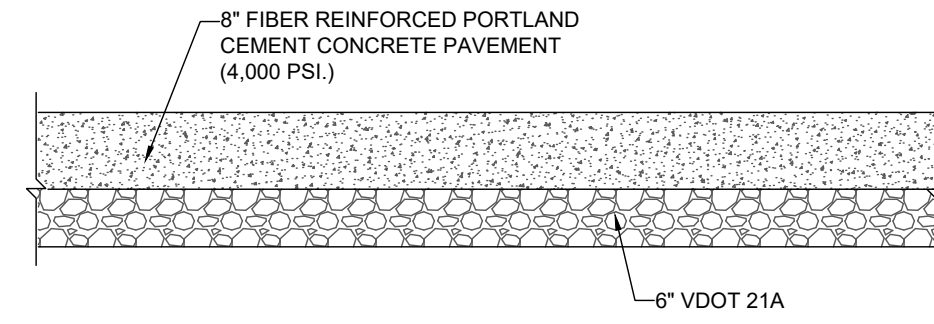
PROPOSED SITE

15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

SHEET TITLE: HYDROGRAPHS

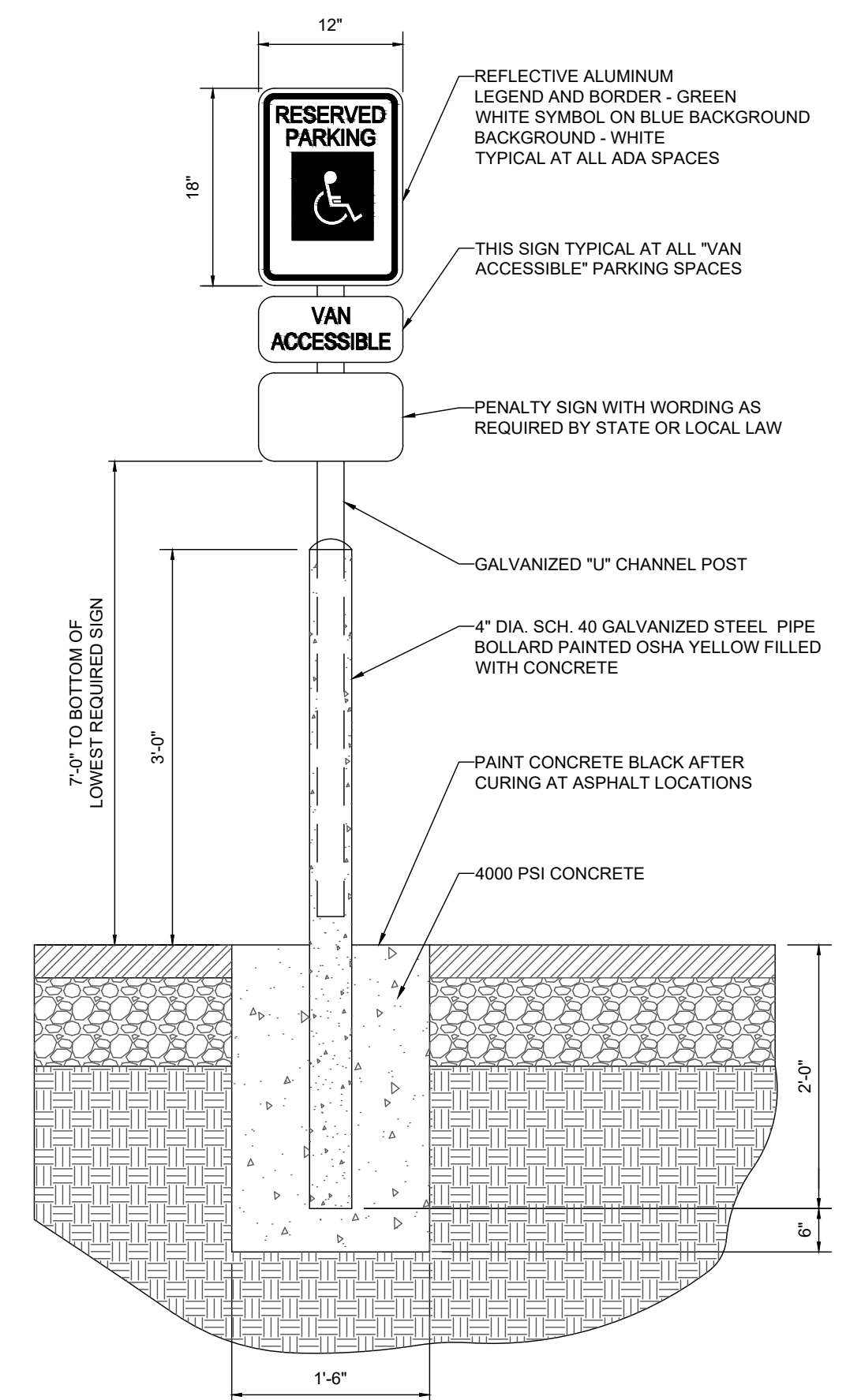
SHEET NUMBER: C-805

REVISION 1 - 11/27/19



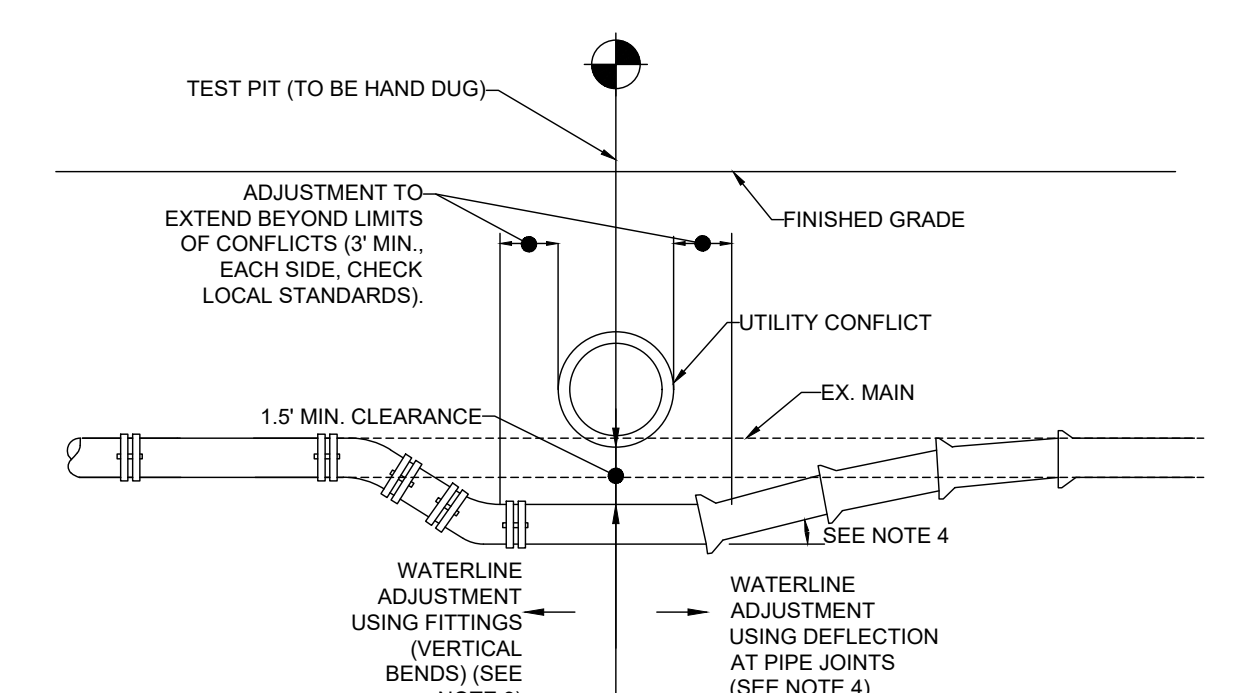
NOTE: PAVEMENT SECTIONS ARE FOR BID PURPOSES ONLY. CBR TEST REQUIRED ON COMPACTED SUBGRADE MATERIALS TO DETERMINE FINAL PAVEMENT DESIGN (PRELIMINARY CBR OF 5). BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF PAVEMENT FAILURE.

SEE GEOTECH REFERENCED FOR SUBBASE PLACEMENT
TYPICAL CONCRETE PAVEMENT
NOT TO SCALE



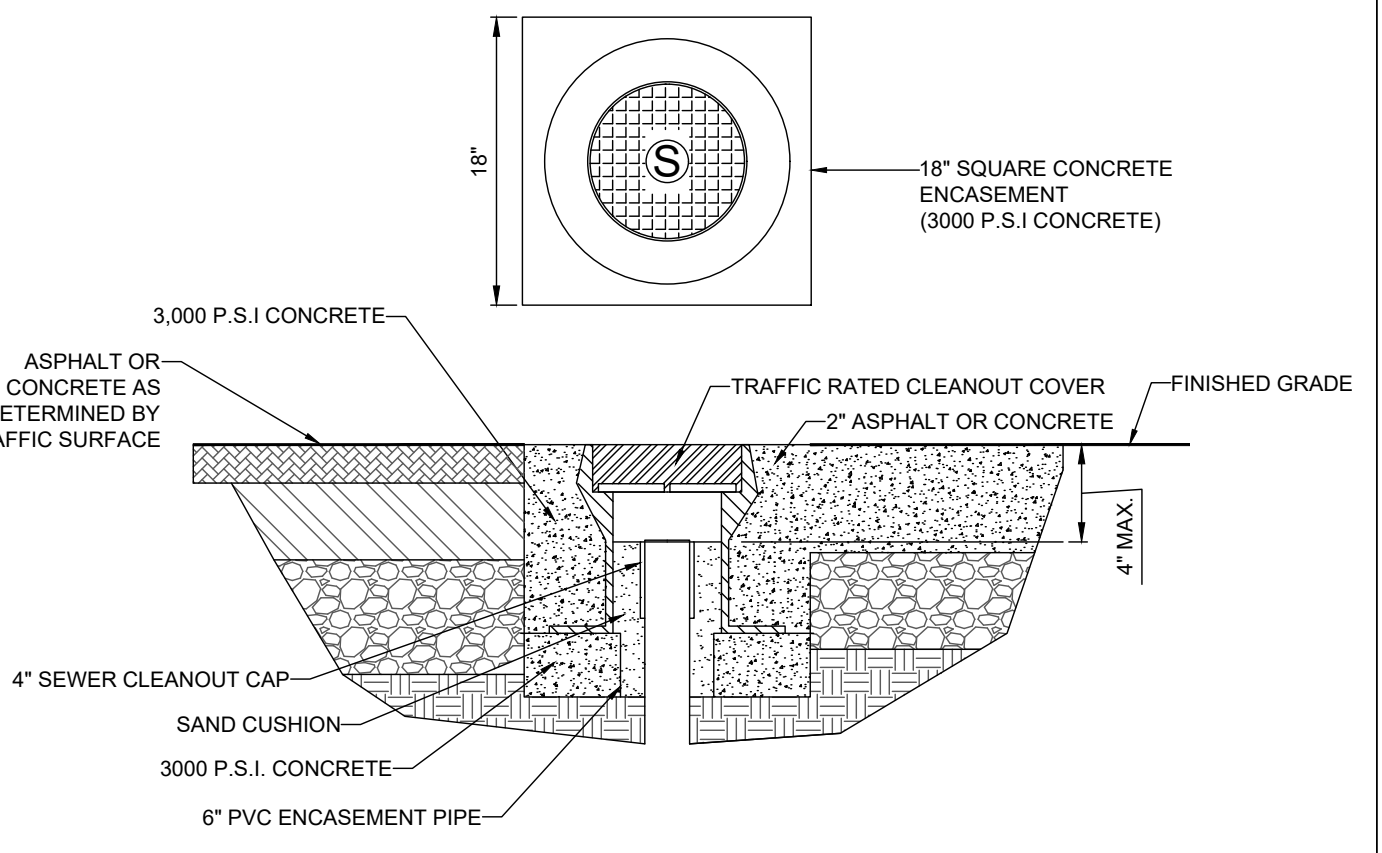
NOTE: ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

BOLLARD MOUNTED ADA PARKING SIGN DETAIL
NOT TO SCALE

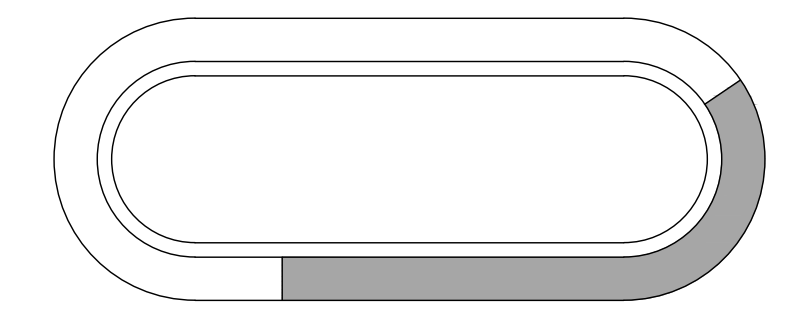


NOTES:
1. CONTRACTOR TO COORDINATE WATERLINE ADJUSTMENT WITH APPROPRIATE INSPECTOR, BASED UPON LOCAL JURISDICTIONAL REQUIREMENTS AND FIELD CONDITIONS.
2. CONTRACTOR TO HAND DIG TEST PIT AT ANTICIPATED CROSSING LOCATION TO DETERMINE EXISTING WATERLINE DEPTH, TOTAL WATERLINE DEFLECTION REQUIRED, AND BEST METHOD FOR WATERLINE ADJUSTMENT.
3. VERTICAL BENDS (INSTALLED PER LOCAL STANDARDS) AS REQUIRED.
4. PIPE DEFLECTION AT JOINTS (PER LOCAL STANDARDS)

WATERLINE ADJUSTMENT DETAIL
NOT TO SCALE

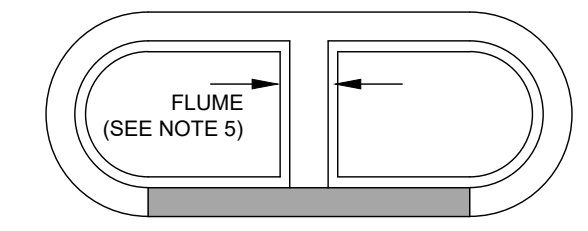


TRAFFIC RATED CLEANOUT DETAIL
NOT TO SCALE

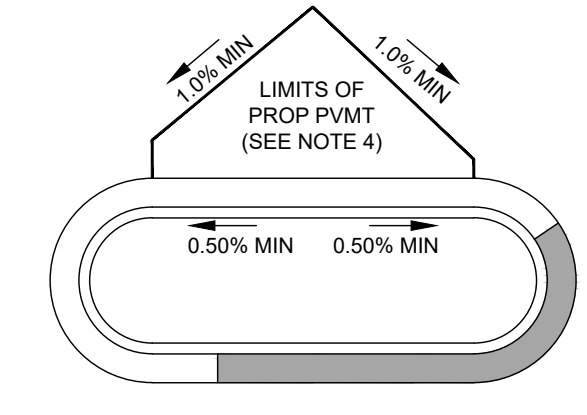


EXAMPLE ONE
NOT TO SCALE

EXAMPLE 3



EXAMPLE THREE
NOT TO SCALE



EXAMPLE TWO
NOT TO SCALE

NOTES:
1. CONTRACTOR TO INSTALL CURB AND GUTTER AT ELEVATION OF EXISTING PAVEMENT (ELEVATION AT EDGE OF GUTTER PAN MATCHES ELEVATION AT EXISTING PAVEMENT, UNLESS PLANS AND/OR SCHEMATICS INDICATE DIFFERENTLY).
2. CONTRACTOR TO PROVIDE GUTTER PANS (COLLECTOR/SPILL) PER GRADING PLAN. SHADED GUTTER PAN REPRESENTS FULL SPILL SECTION, NON-SHADED IS COLLECTOR. CONTRACTOR TO PROVIDE 3 FOOT TRANSITIONS BETWEEN SPILL AND COLLECTOR SECTIONS.
3. PLAN INTENT IS TO PROVIDE A MINIMUM SLOPE OF 0.50% ALONG COLLECTOR CURB. IF FIELD CONDITIONS AND/OR PLAN REPRESENTATION DOES NOT PROVIDE MINIMUM SLOPE REQUIREMENTS, CONTRACTOR IS TO CONTACT ENGINEER PRIOR TO POURING CURB AND GUTTER. BOHLER ENGINEERING SHALL BE HELD HARMLESS FOR ANY CURB AND GUTTER POURED THAT DOES NOT MEET MINIMUM REQUIREMENTS.
4. IN THOSE SITUATIONS WHERE RE-GRADING OF PARKING AND PAVEMENT REMOVAL IS NECESSARY (SEE EXAMPLE 2), THE CONTRACTOR IS TO VERIFY THAT THE RESULTANT GRADIENT AT THE HIGH SIDE OF THE ISLAND PROVIDES 1% PAVEMENT SLOPE, PER PLAN INTENT.
5. IN ISLANDS WHERE FLUMES ARE INDICATED, THE CONTRACTOR SHALL PROVIDE A FLAT BOTTOMED FLUME AT THE SPECIFIED WIDTH. MINIMUM FLUME SLOPE SHALL BE 0.50%.

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REVISIONS

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| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JOR |
| DATE: | 11/28/2019 |
| CAD I.D.: | SDP-1 |

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NUMBER:
C-901

REVISION 1 - 11/27/19

CG-12 DETECTABLE WARNING SURFACE (GENERAL NOTES)

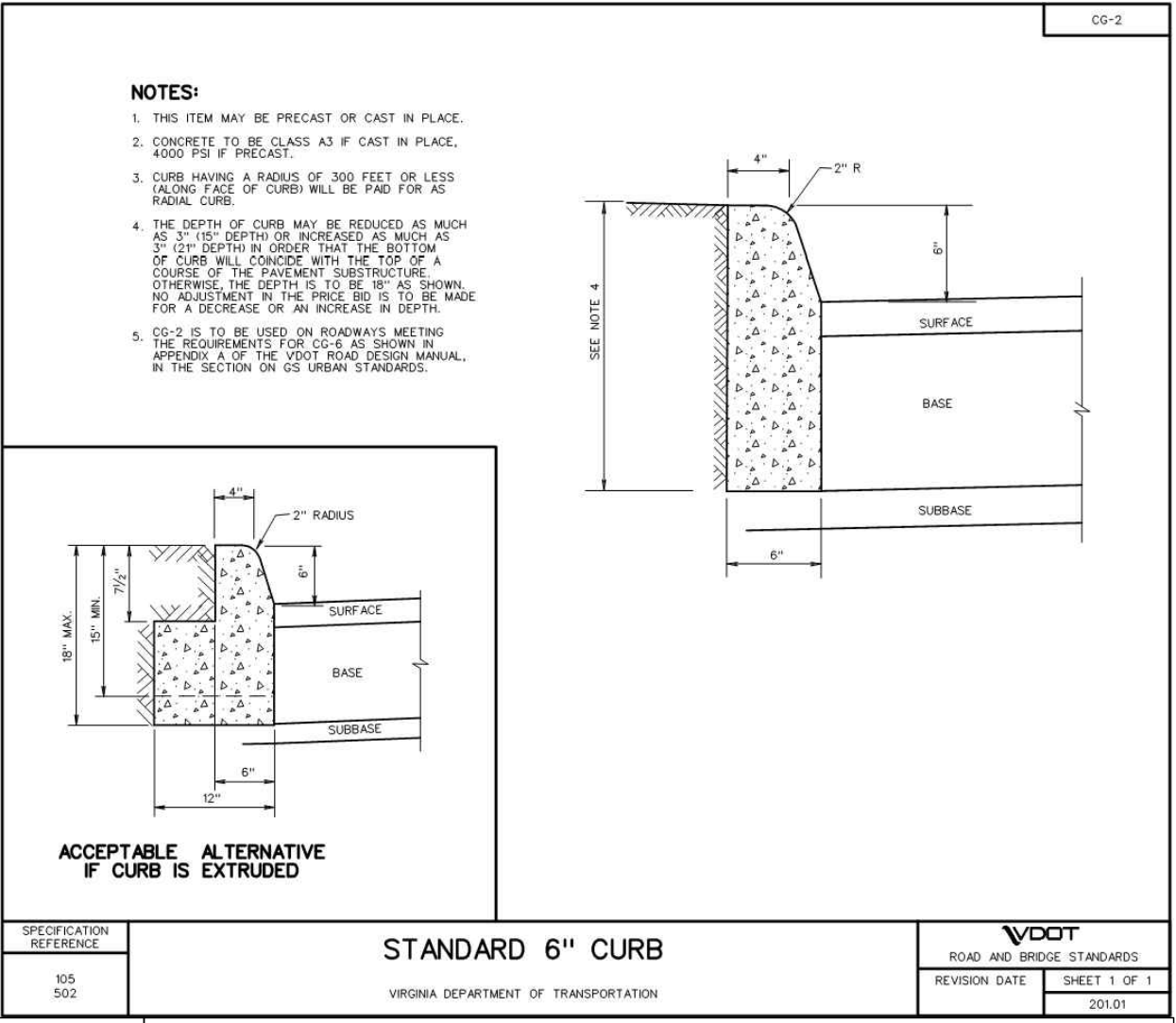
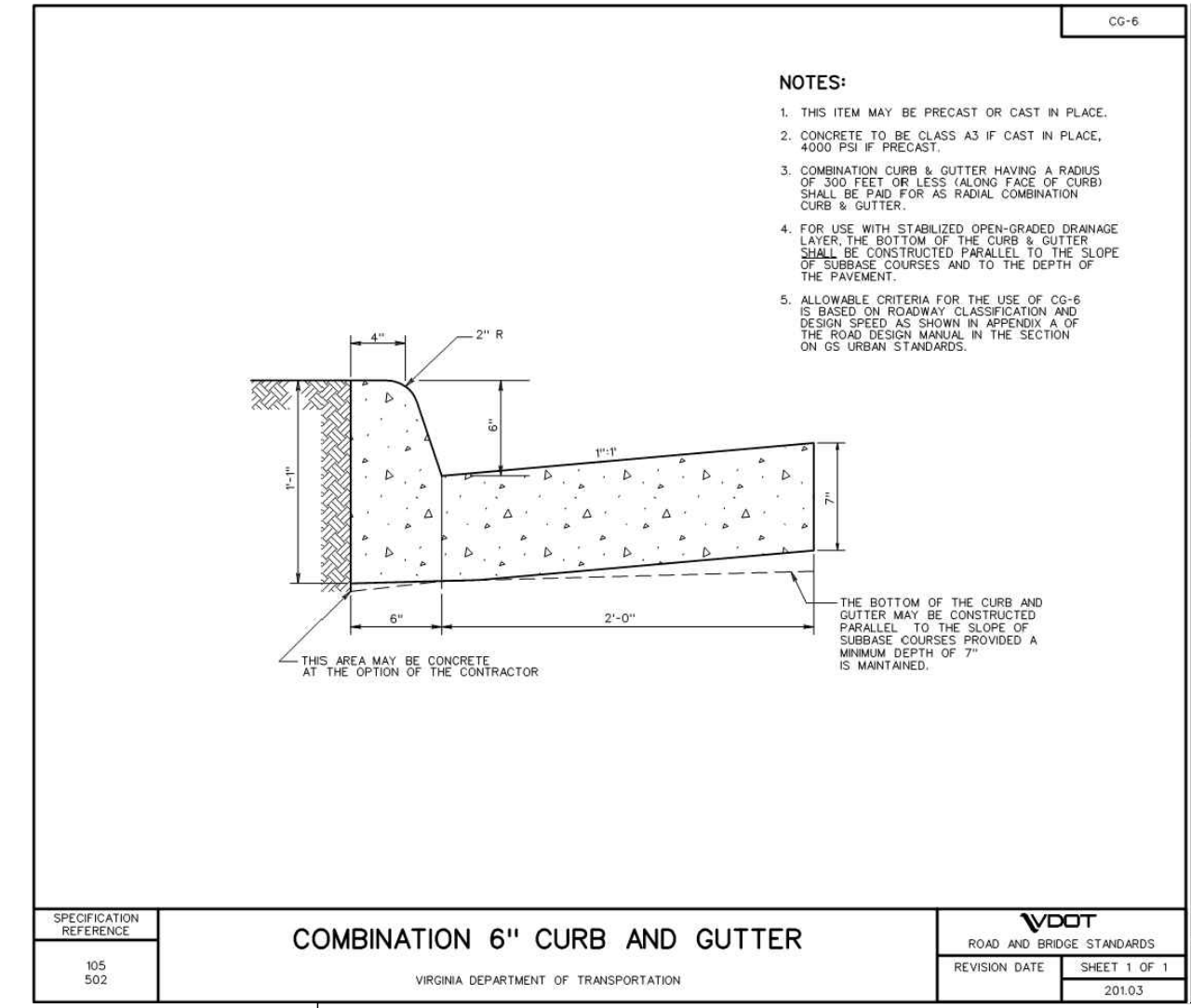
GENERAL NOTES:
1. THE DETECTABLE WARNING SHALL BE PROVIDED BY TRUNCATED DOMES.
2. DETECTABLE WARNING SHALL BE FROM THE MATERIALS APPROVED LIST FOR DETECTABLE WARNING SURFACES. PRODUCTS NOT LISTED SHALL MEET THE REQUIREMENTS OF THE SPECIAL PROVISIONS FOR CG-12 DETECTABLE WARNING SURFACES AND SHALL BE SUBMITTED TO THE ENGINEER AND SPECIAL DESIGN SECTION FOR APPROVAL.
3. SLOPING SIDES OF CURB RAMP MAY BE POURED MONOLITHICALLY WITH RAMP FLOOR OR BY USING PERMISSIBLE CONSTRUCTION JOINT WITH REQUIRED BARS.
4. RAMP FLOOR IS PRECAST HOLES MUST BE PROVIDED FOR DOWEL BARS TO THE ADJACENT FLOOR. PRECAST CONCRETE SHALL BE CURED AFTER PLACEMENT OF PRECAST RAMP FLOOR.
5. REQUIRED BARS ARE TO BE NO. 2 X 6" PLACED 1" CENTER TO CENTER ALONG BOTH SIDES OF RAMP FLOOR. MINIMUM RAMP FLOOR MINIMUM CONCRETE COVER: 1 1/2".
6. CURB / CURB AND GUTTER SLOPE TRANSITIONS ADJACENT TO CURB RAMP ARE INCLUDED IN PAYMENT FOR CURB / CURB AND GUTTER.
7. CURB RAMP ARE TO BE LOCATED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. THEY ARE TO BE PROVIDED AT INTERSECTIONS WHEREVER AN ACCESSIBLE WALKWAY WITHIN THE CROSSWALK IS EITHER PERPENDICULAR OR PARALLEL TO THE CURB. THE CURB RAMP IS TO BE PROVIDED TO ACCOMMODATE THE TURNING REQUIREMENTS OF ANTICIPATED HEAVY TRUCK TRAFFIC. REFER TO STANDARD CG-12 COMMERCIAL ENTRANCE HEAVY TRUCK TRAFFIC FOR CONCRETE DEPTH.
8. WHEN CURB RAMP ARE USED IN CONNECTION WITH A SHARED USE PATH, THE MINIMUM WIDTH SHALL BE THE WIDTH OF THE SHARED USE PATH.
9. WHEN ONLY ONE CURB RAMP IS PROVIDED FOR TWO CROSSINGS (DIAGONAL), A 4' X 4' LANDING AREA SHALL BE PROVIDED TO MANEUVER A WHEELCHAIR INTO THE CROSSWALK WITHOUT CROSSING THE TRAVELWAY. THIS 4' X 4' LANDING AREA MAY INCLUDE THE GUTTER PAN.
10. ALL CURB RAMP INTERSECTIONS A MINOR SECTION OF CURB AT ENTRANCES OR STREET CONNECTIONS THE DETECTABLE WARNING SURFACE SHALL HAVE A FACTOR RADIUS OF BE FIELD MODIFIED AS RECOMMENDED BY THE MANUFACTURER TO MATCH THE BACK OF CURB.
11. DETECTABLE WARNING SHALL BE PROVIDED BY TRUNCATED DOMES.
12. THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

TYPE C PARALLEL & PERPENDICULAR APPLICATION

| ROADWAY GRADE IN PERCENT | MINIMUM RAMP LENGTH IN FEET |
|--------------------------|-----------------------------|
| 0 | 2 |
| 1 | 3 |
| 2 | 4 |
| 3 | 5 |
| 4 | 6 |
| 5 | 7 |
| 6 | 8 |
| 7 | 10 |
| 8 | 15 |
| 9 | 15 |

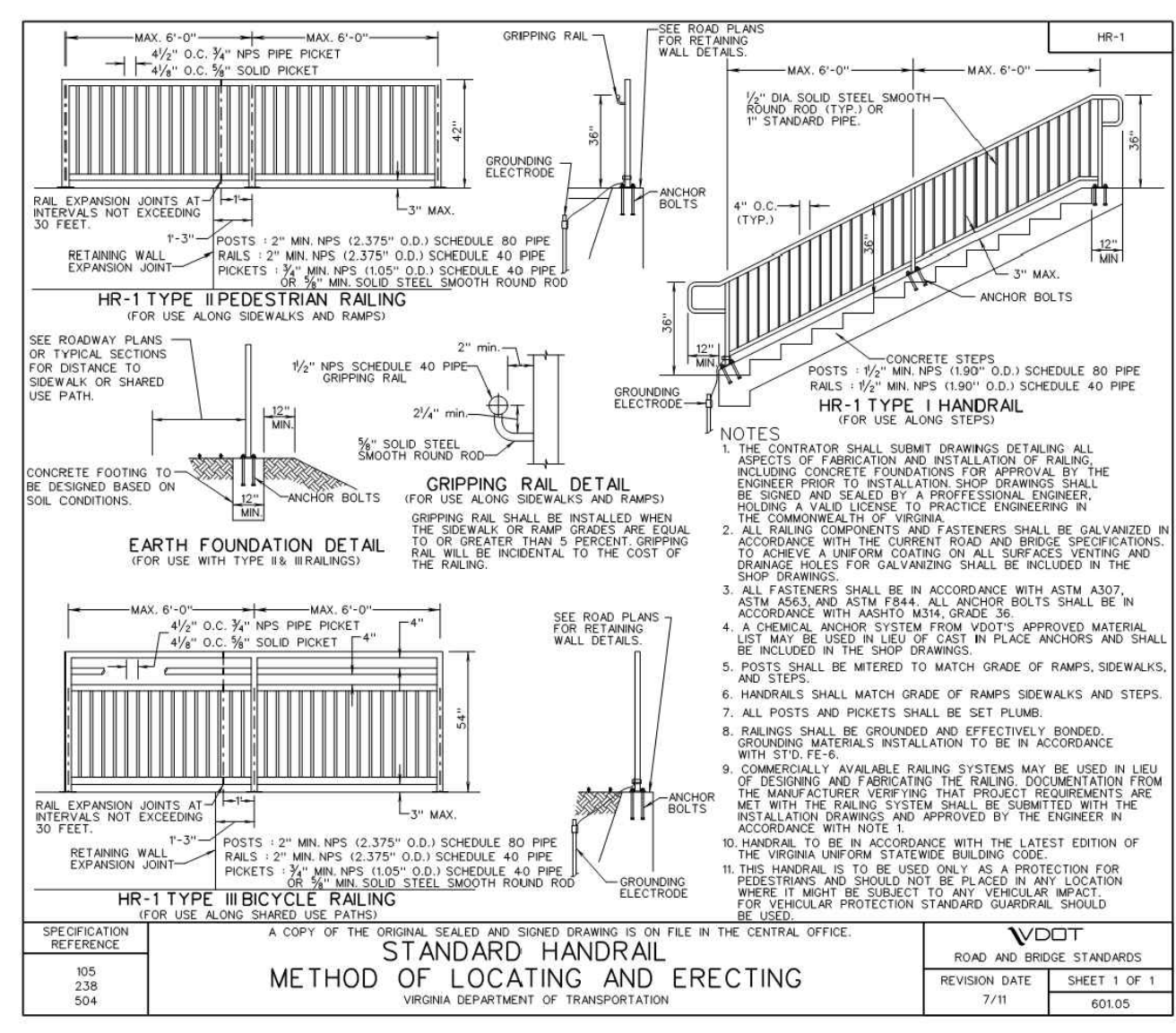
TYPE B PARALLEL APPLICATION

| ROADWAY GRADE IN PERCENT | MINIMUM RAMP LENGTH IN FEET |
|--------------------------|-----------------------------|
| 0 | 2 |
| 1 | 3 |
| 2 | 4 |
| 3 | 5 |
| 4 | 6 |
| 5 | 7 |
| 6 | 8 |
| 7 | 10 |
| 8 | 15 |
| 9 | 15 |

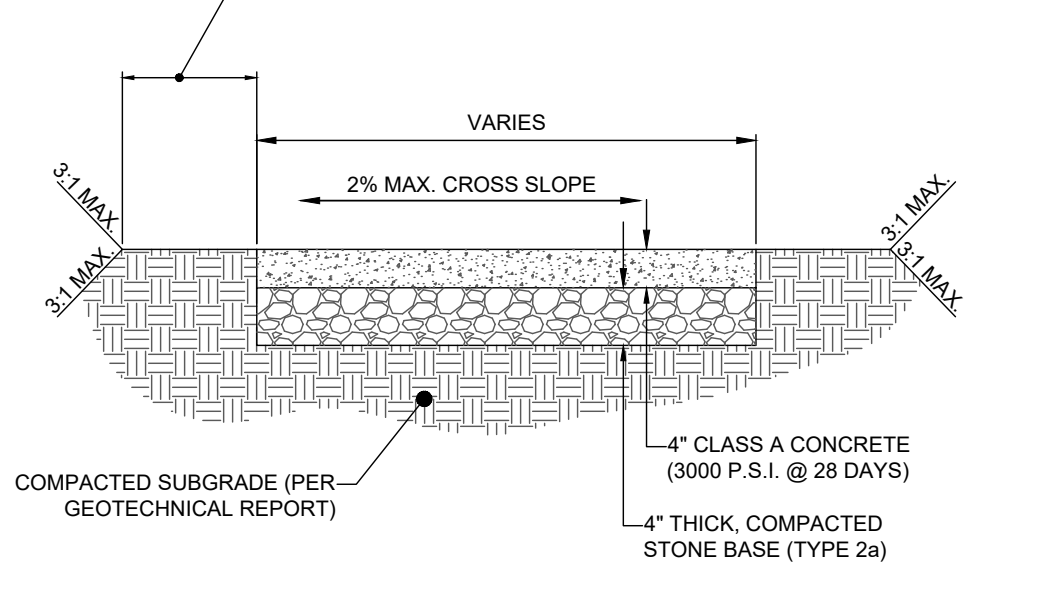


COMBINATION 6" CURB AND GUTTER
VIRGINIA DEPARTMENT OF TRANSPORTATION

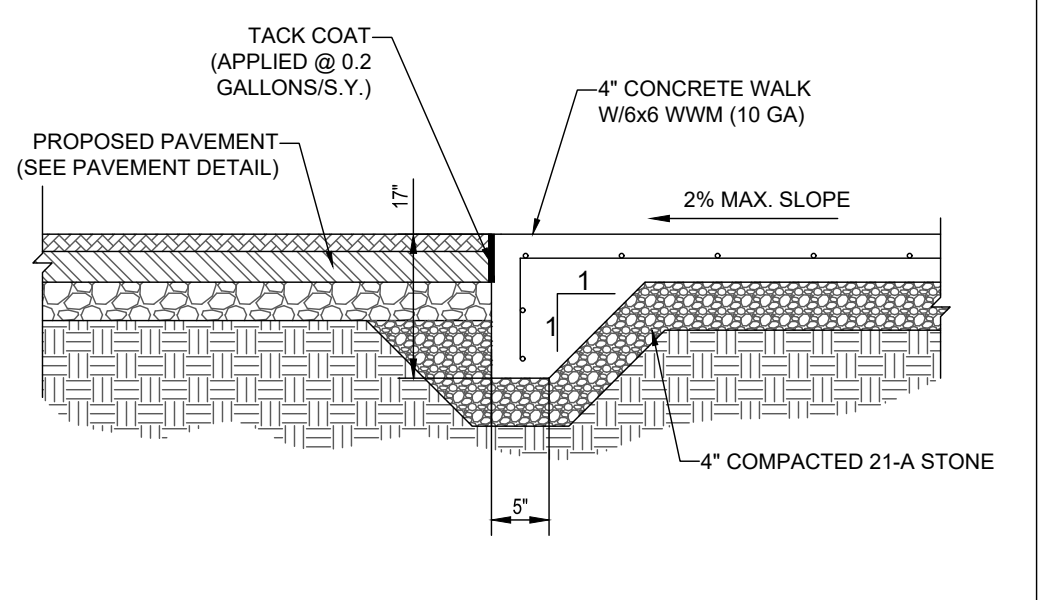
STANDARD 6" CURB
VIRGINIA DEPARTMENT OF TRANSPORTATION



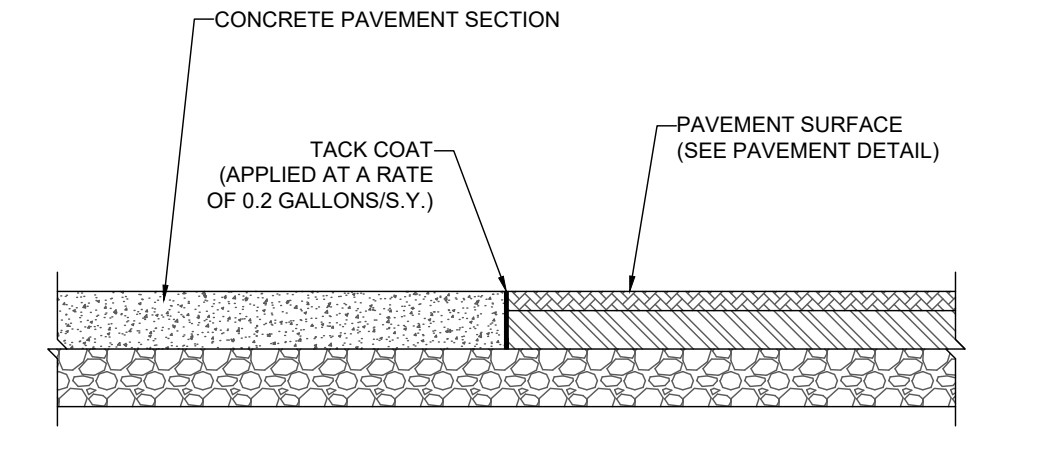
STANDARD HANDRAIL METHOD OF LOCATING AND ERECTING
VIRGINIA DEPARTMENT OF TRANSPORTATION



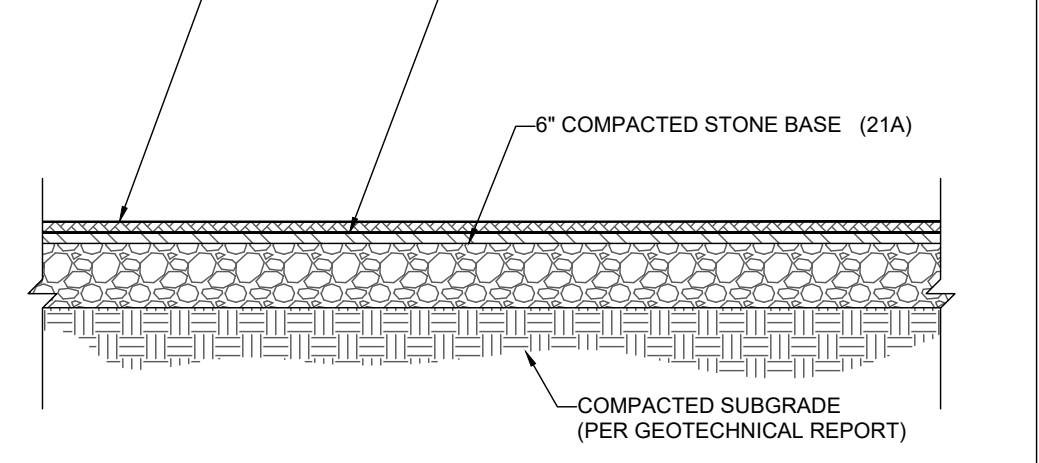
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



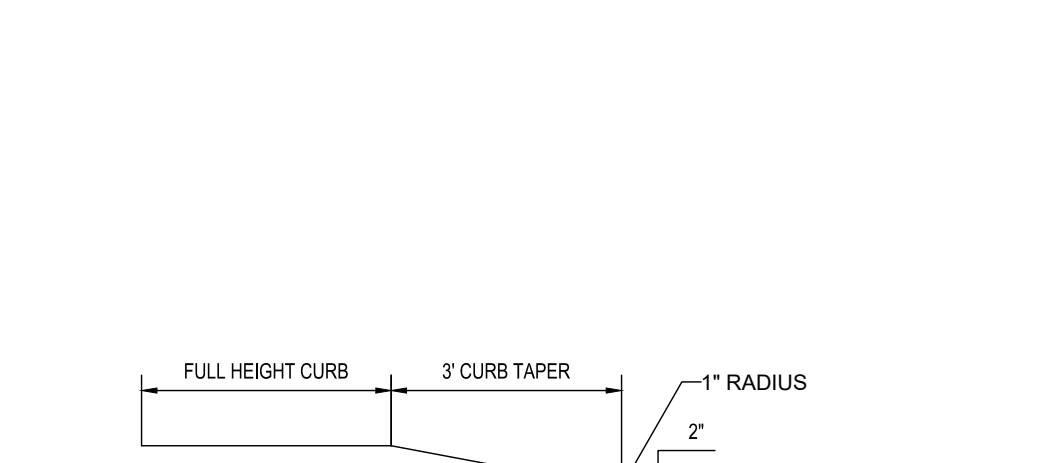
MONOLITHIC CURB & FLUSH SIDEWALK DETAIL
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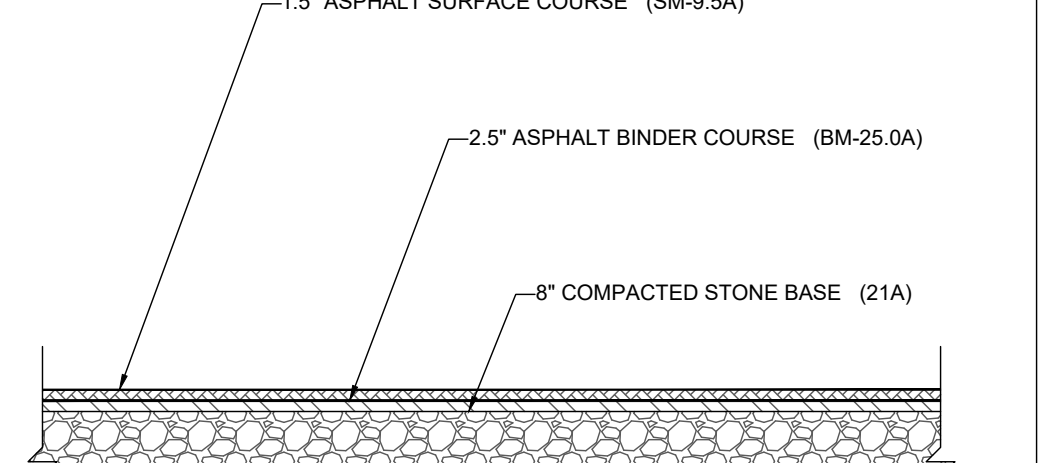
CONCRETE-TO-ASPHALT DETAIL
NOT TO SCALE



STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



CURB TAPER DETAIL
NOT TO SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

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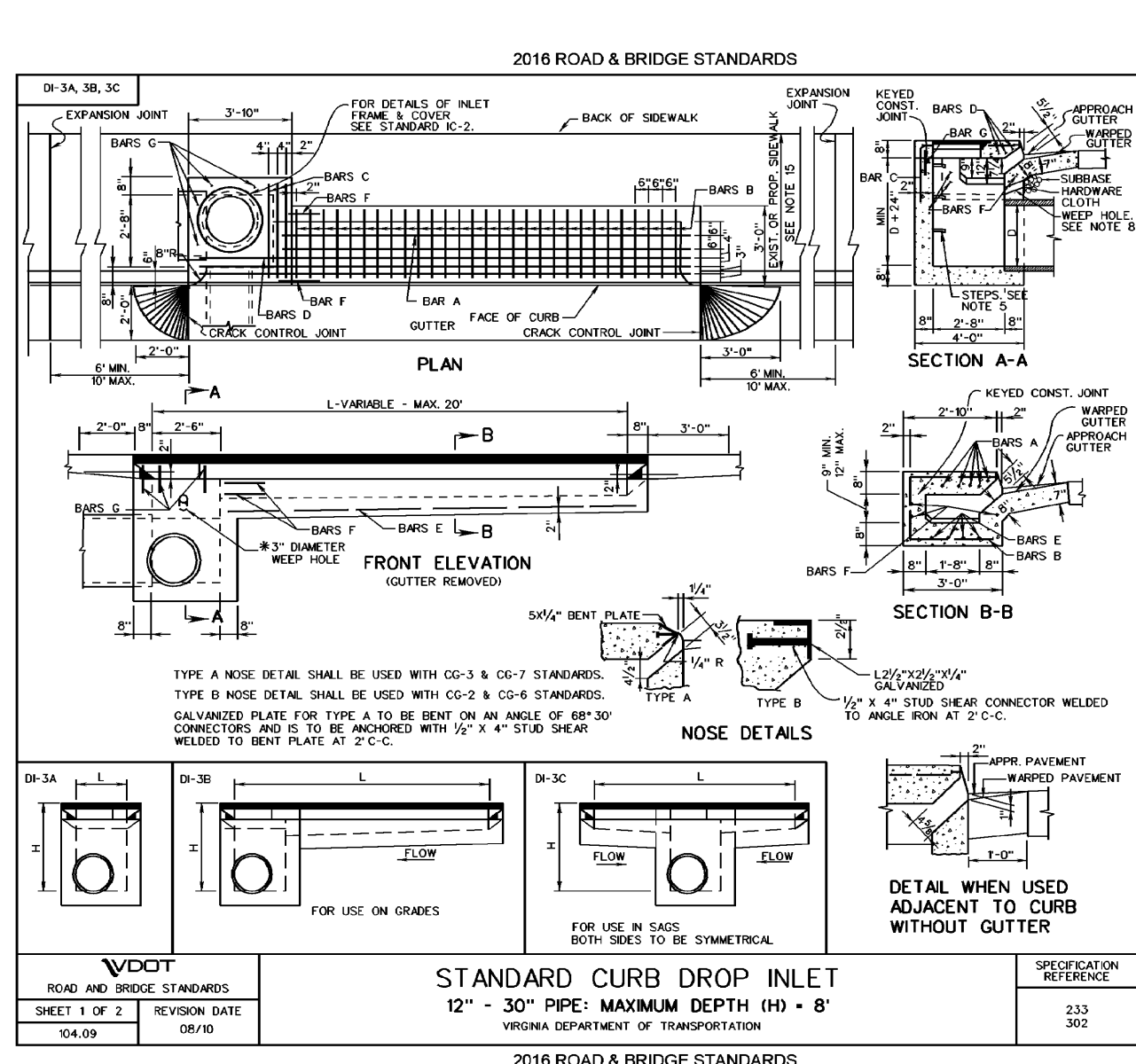
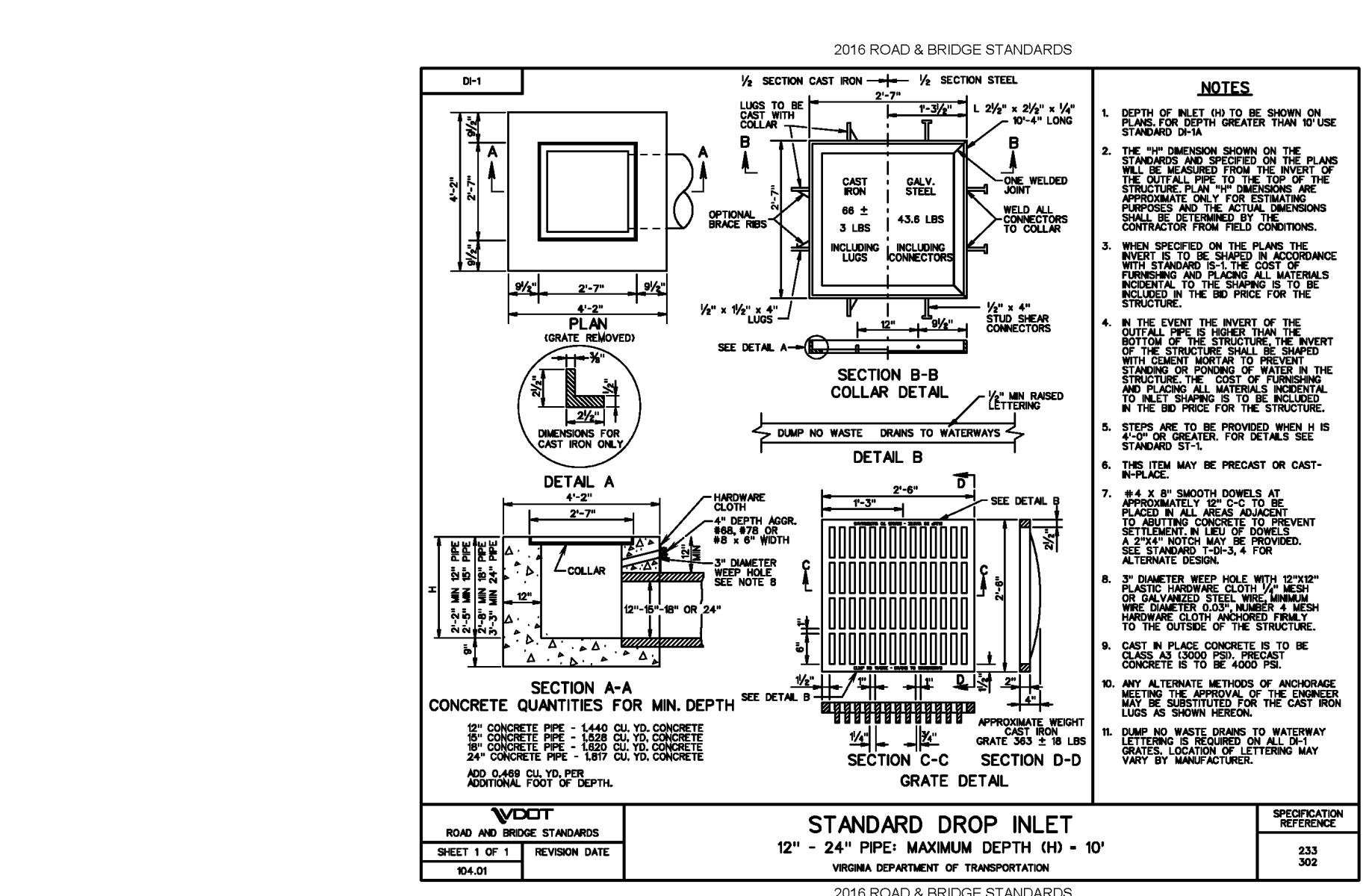
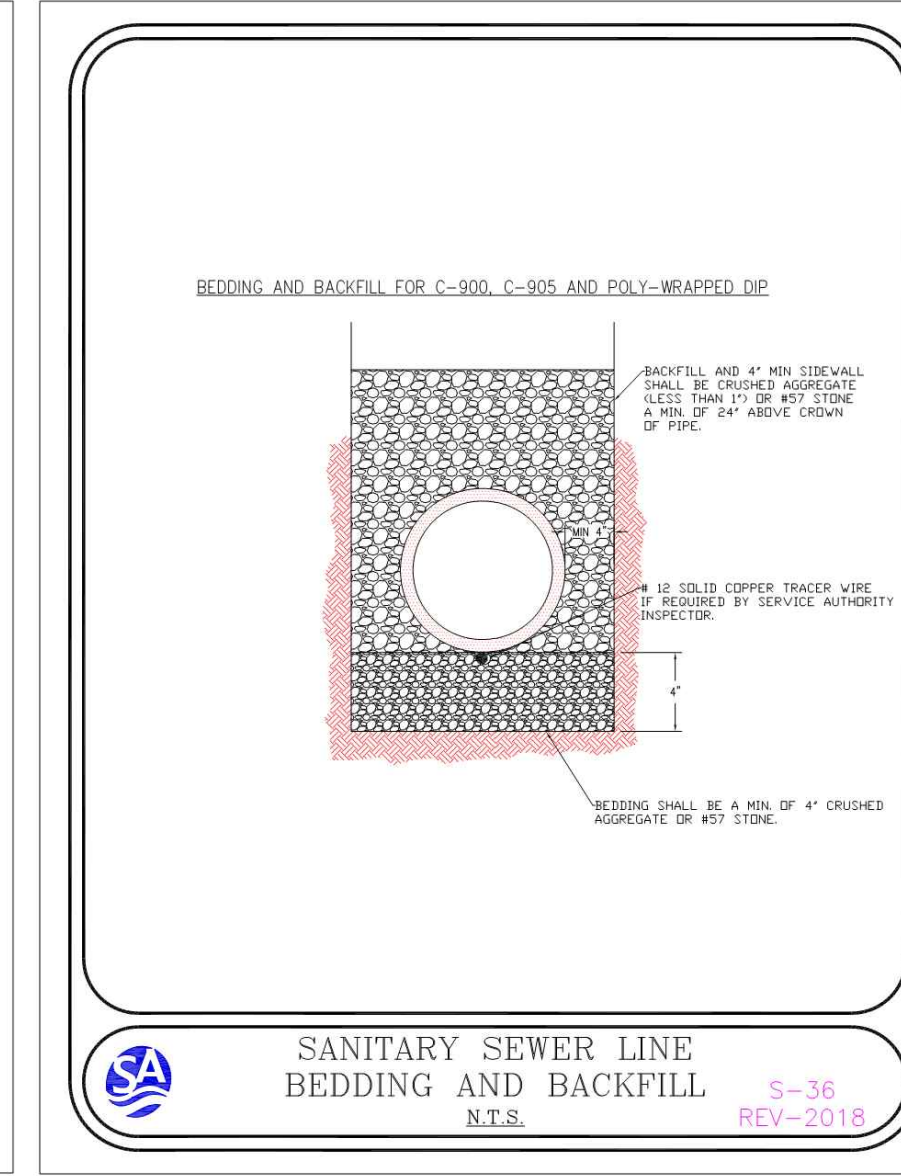
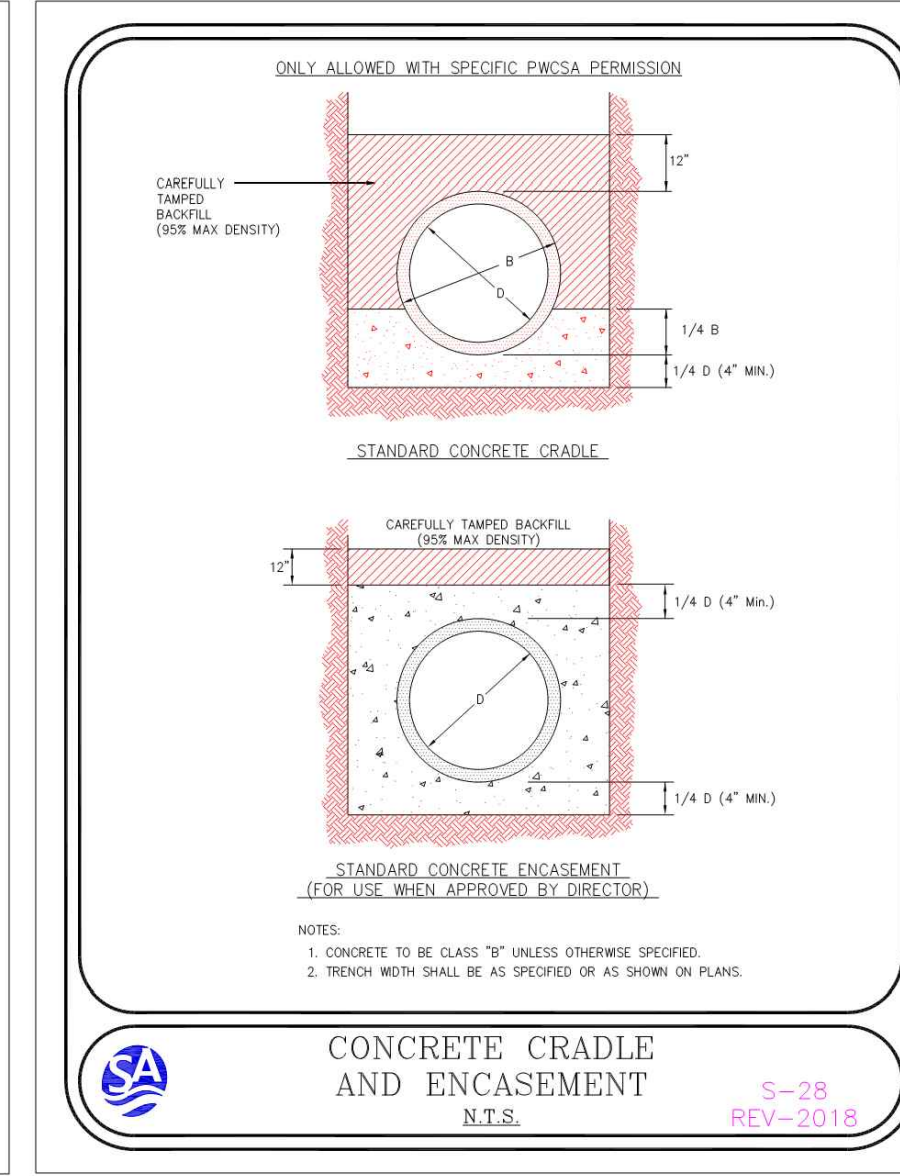
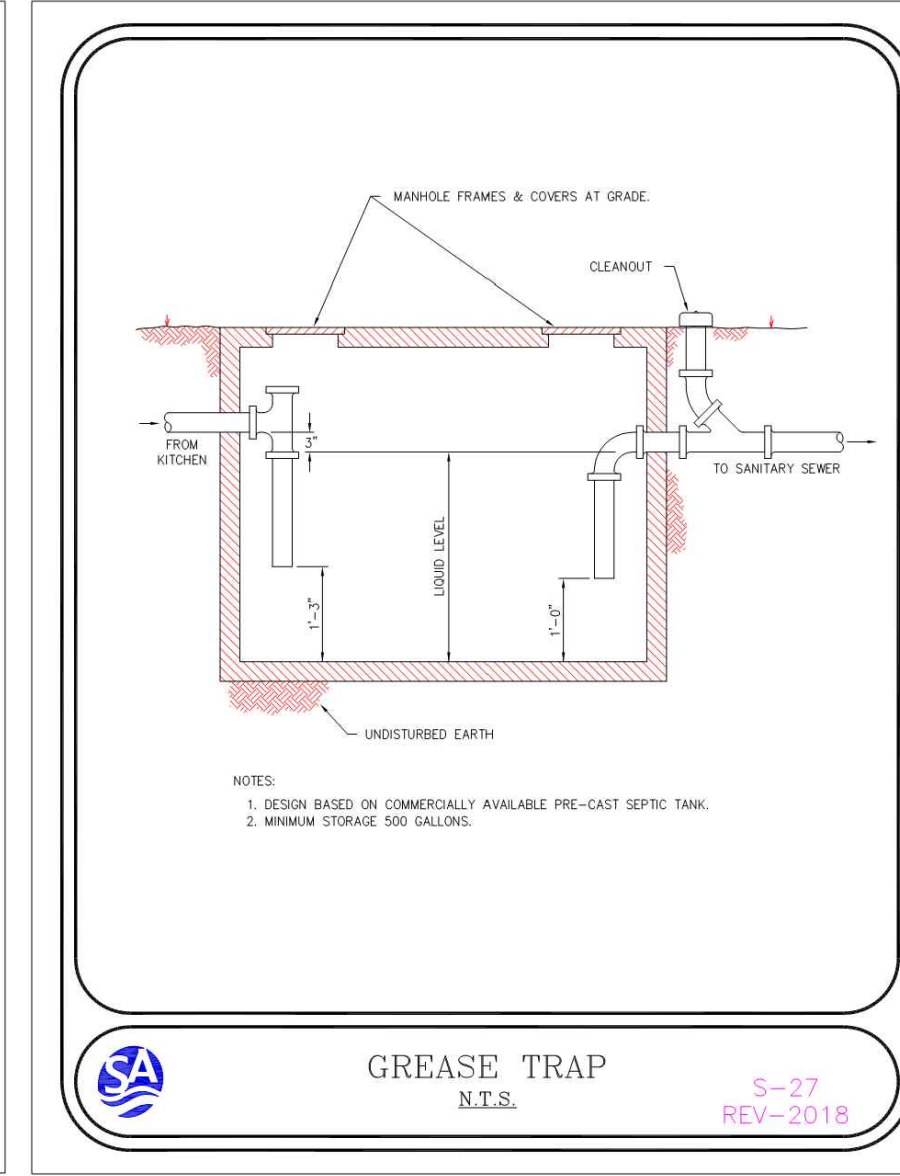
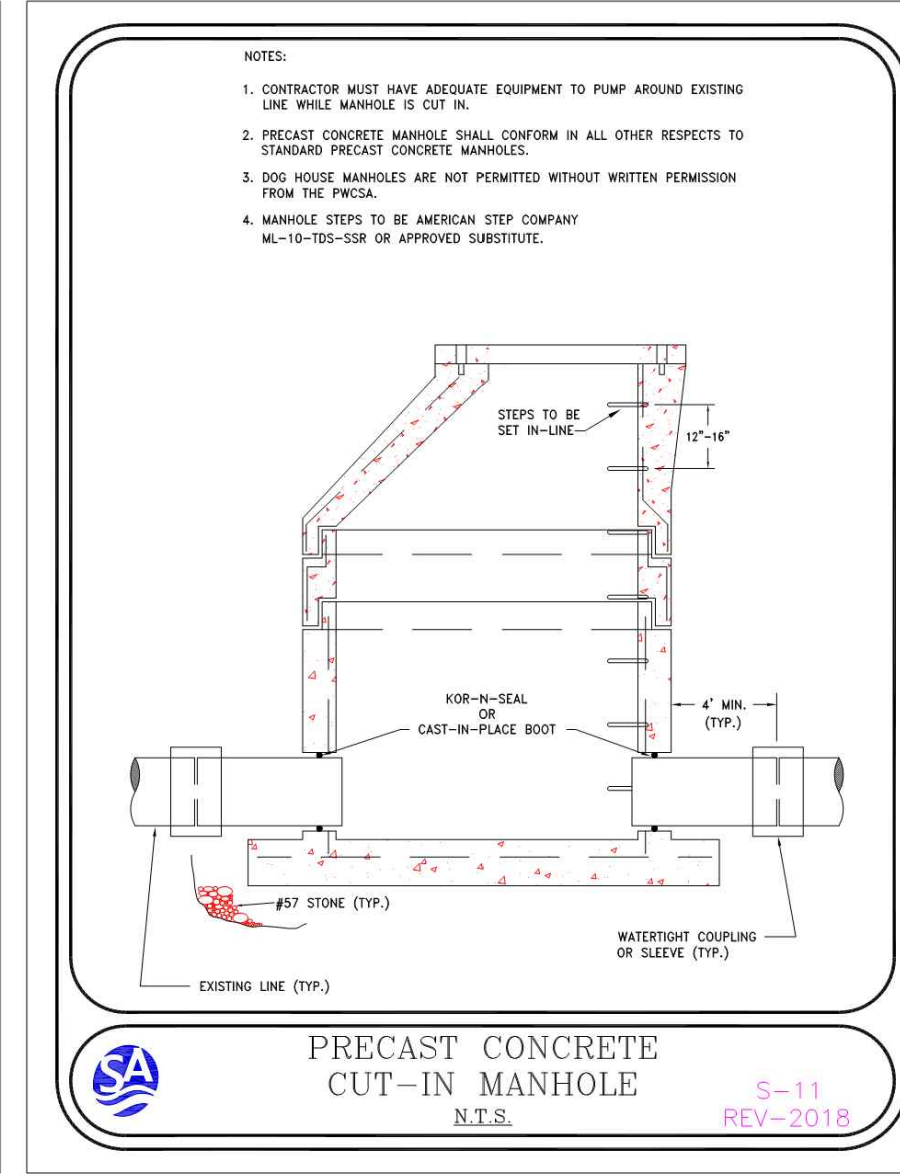
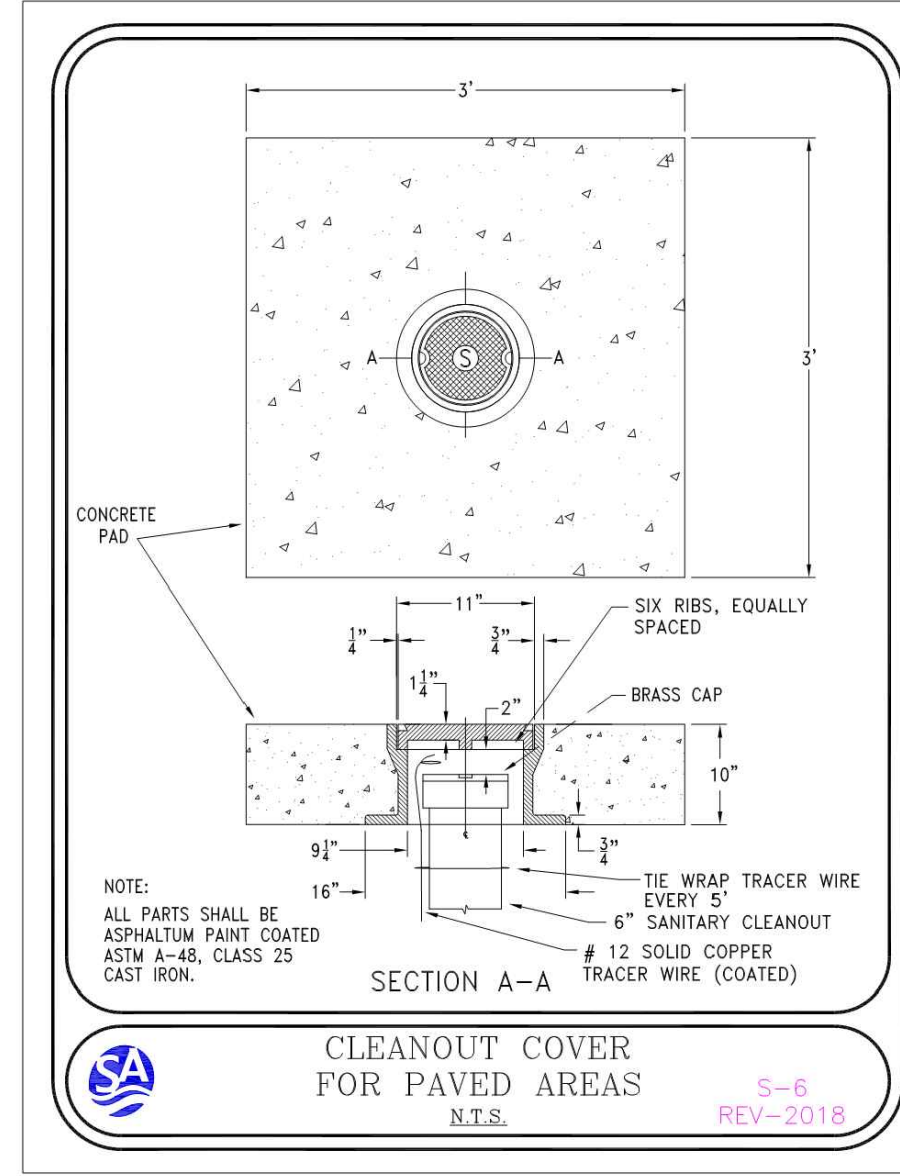
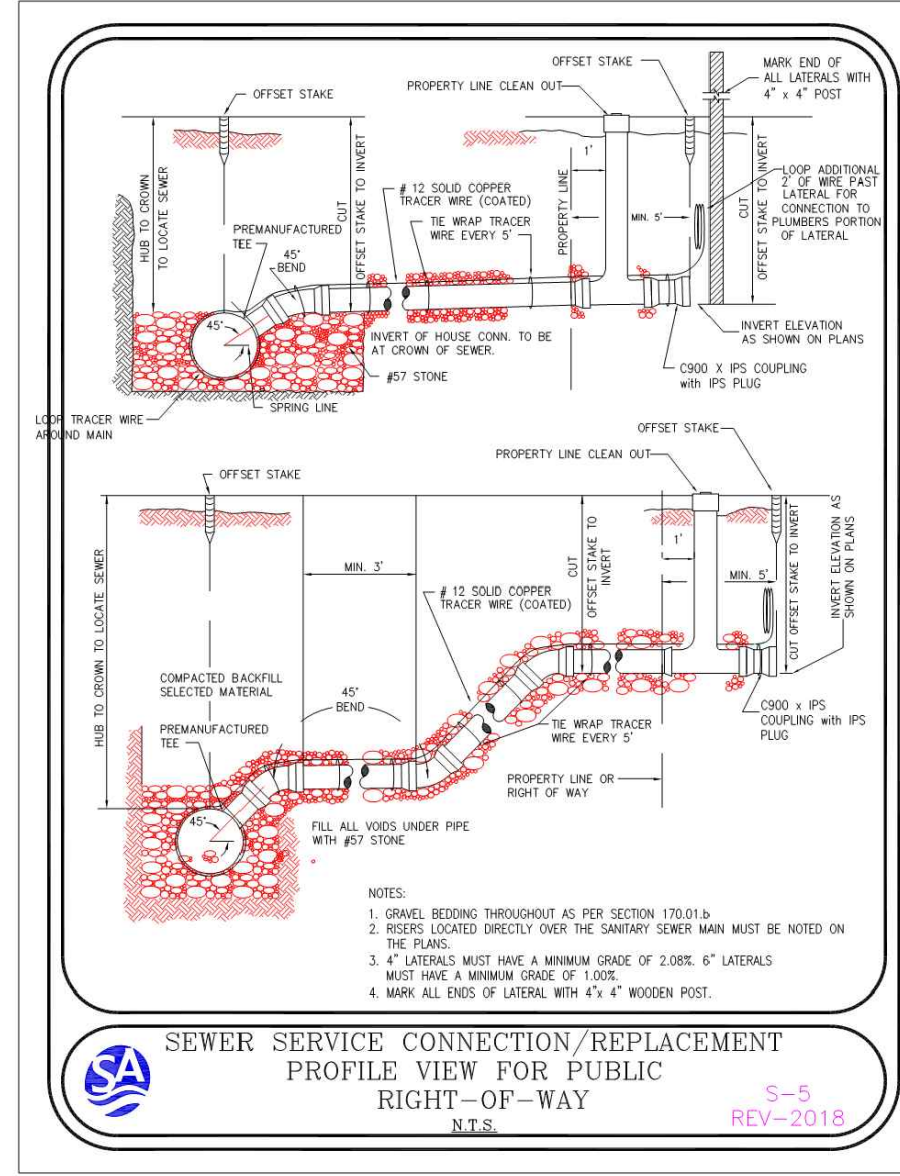
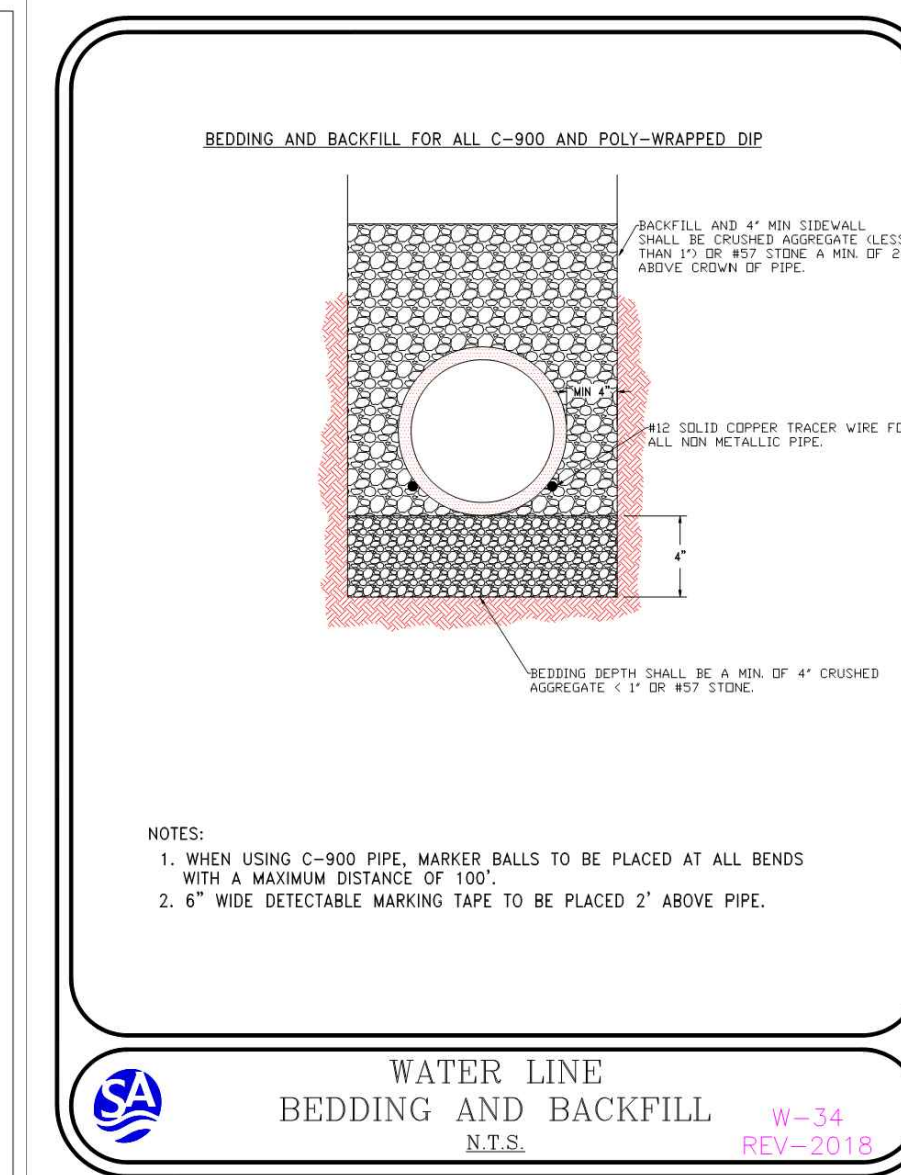
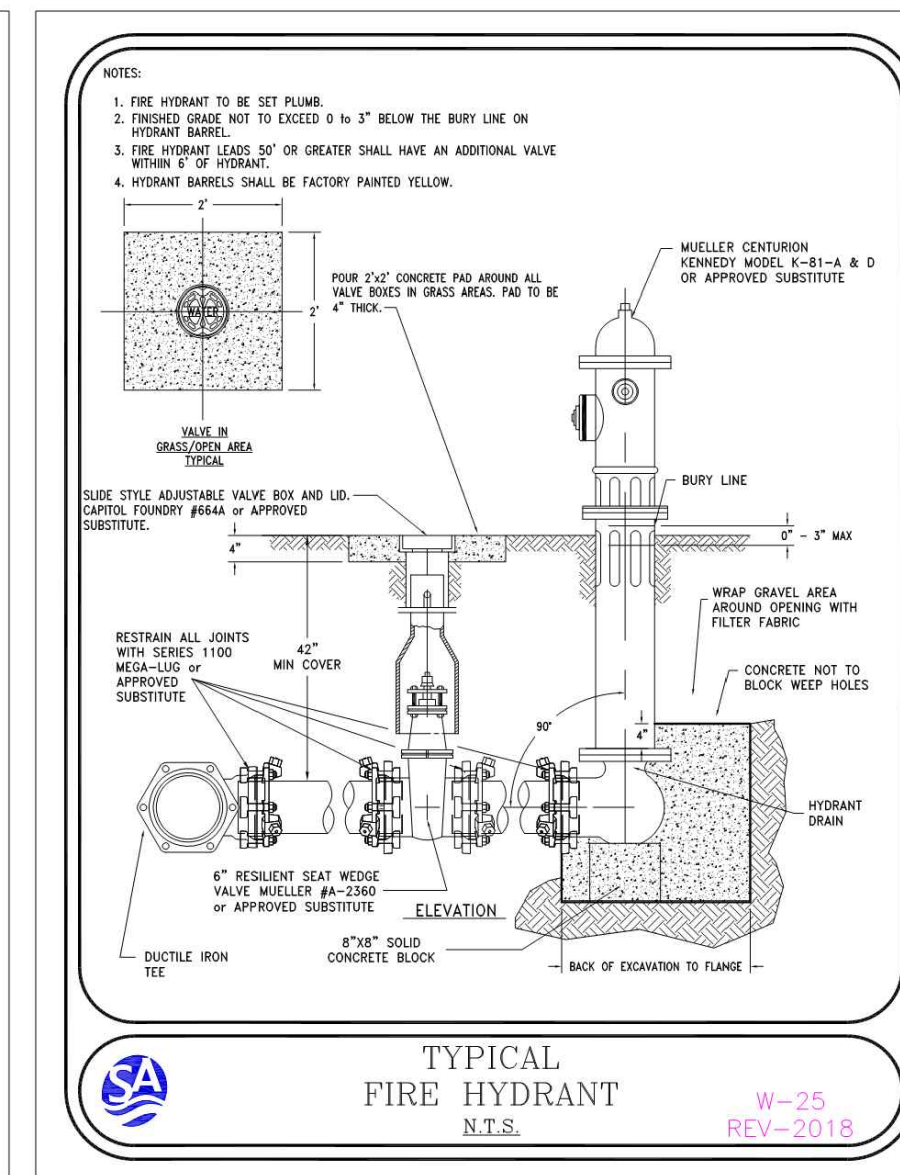
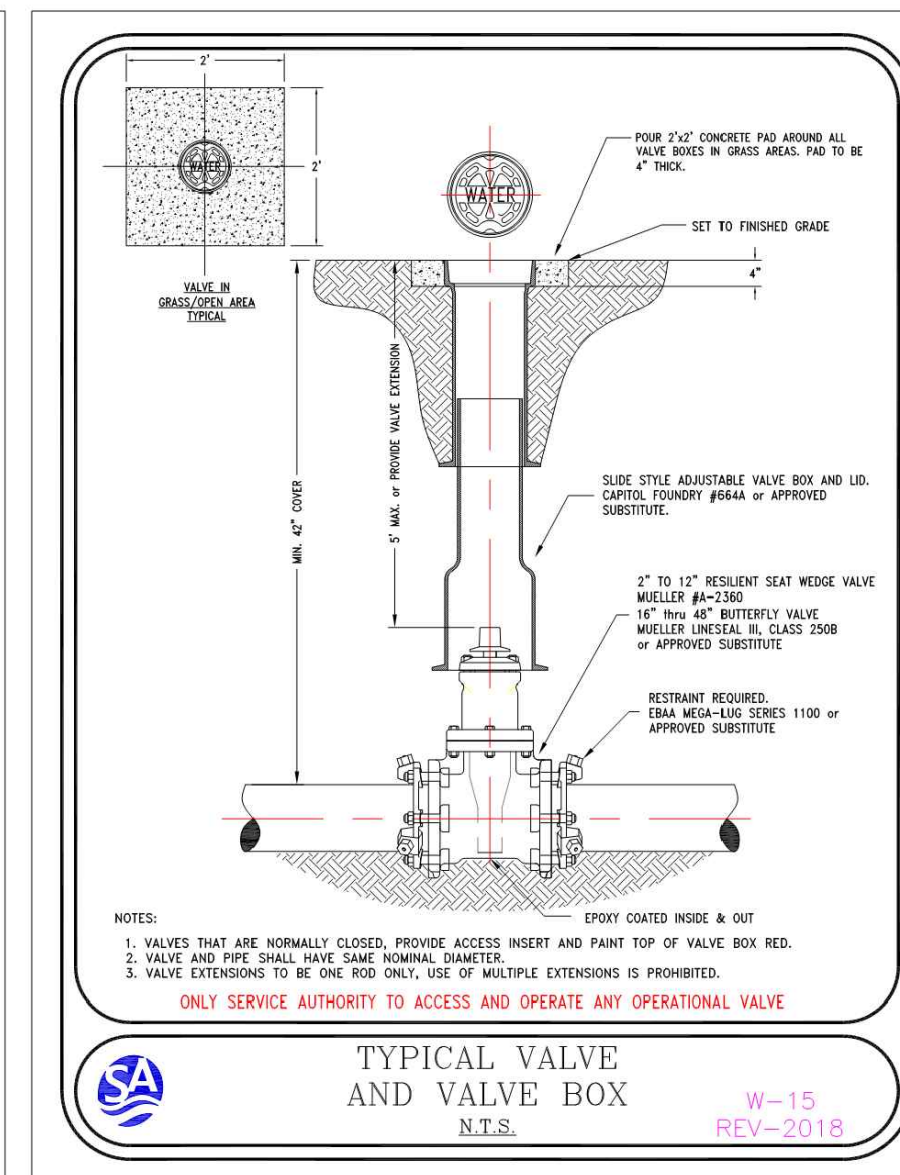
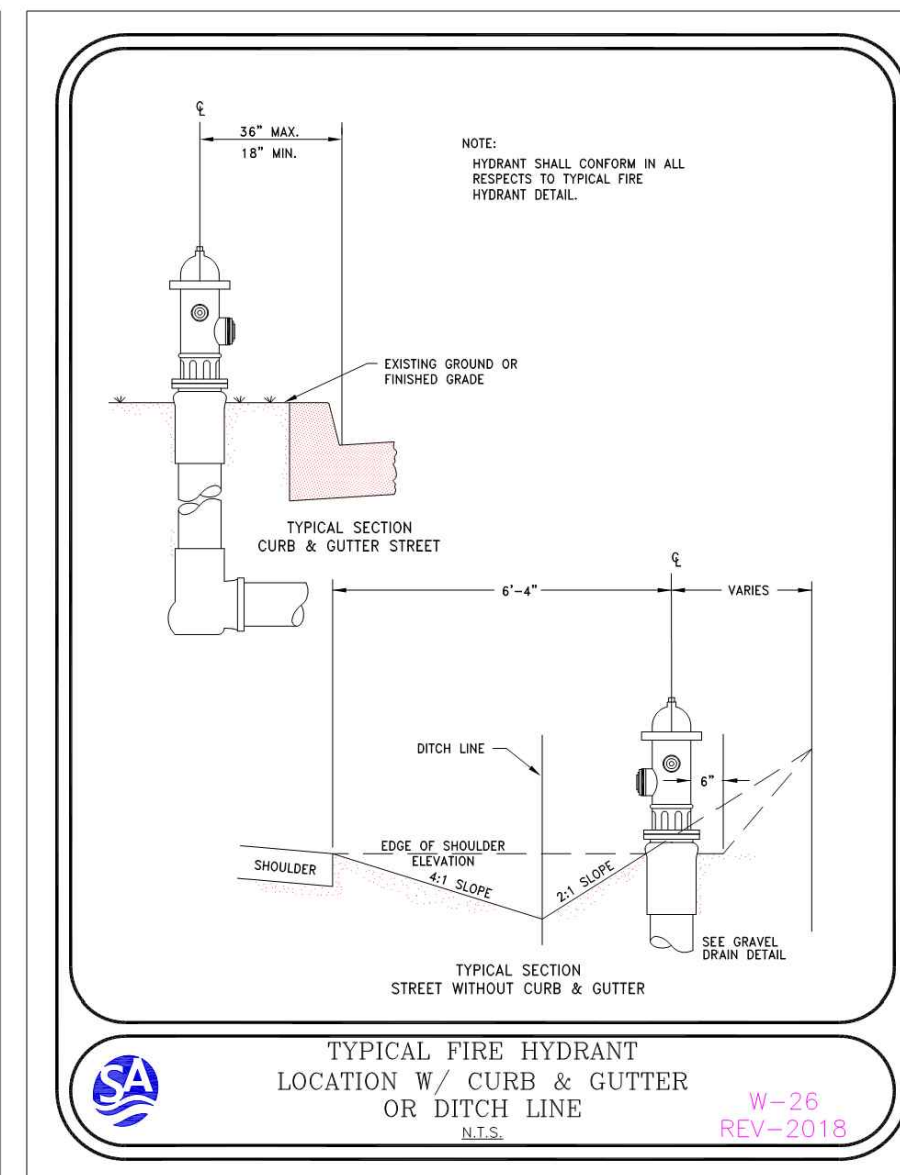
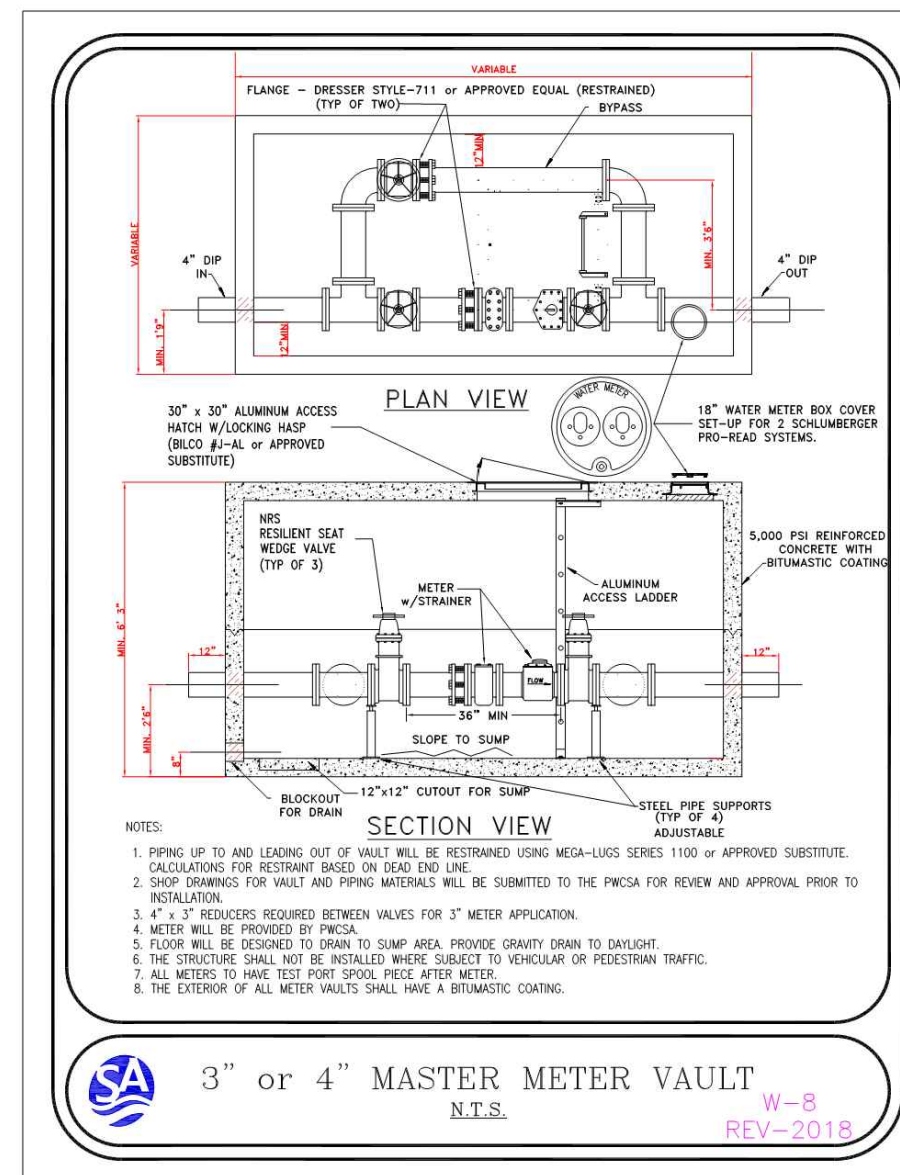
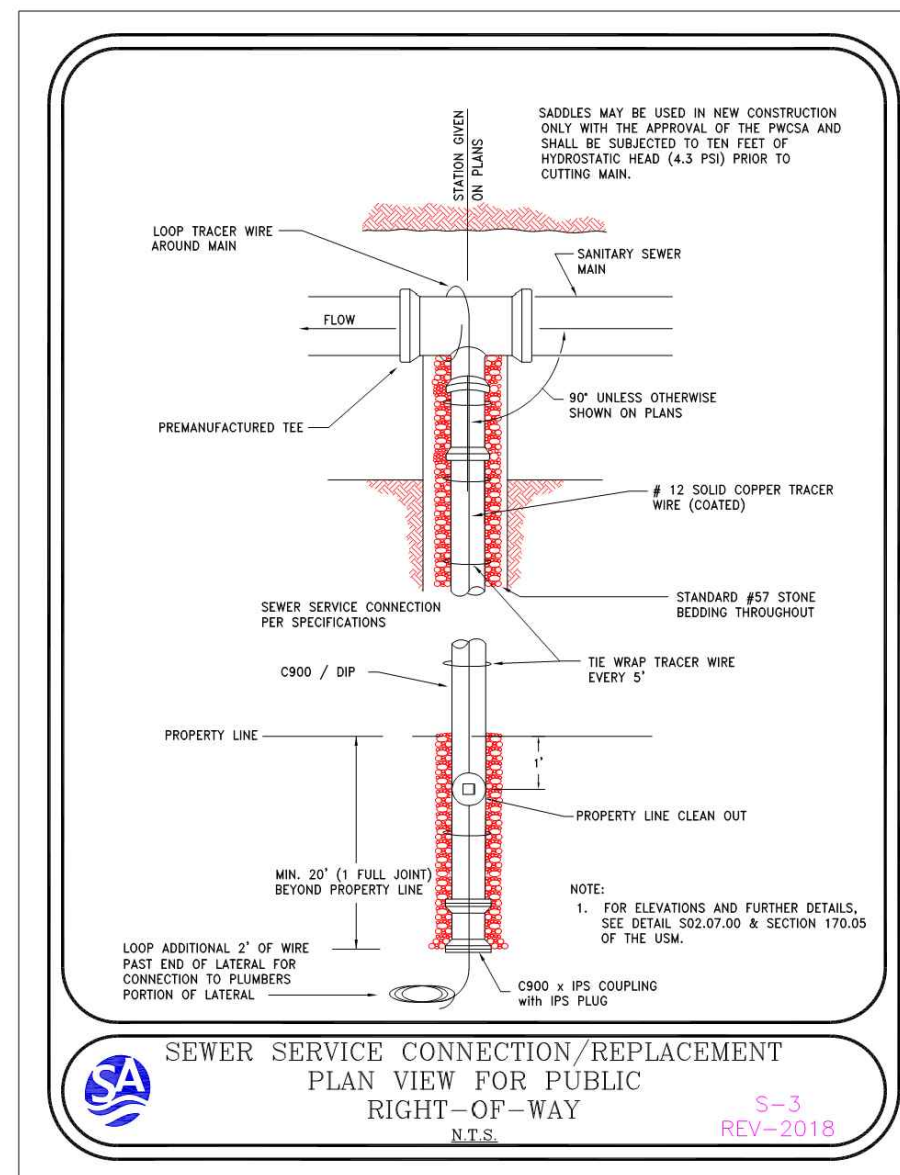
SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
JONATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

CONSTRUCTION DETAILS
SHEET NUMBER:
C-902
REVISION 1 - 11/27/19



2016 ROAD & BRIDGE STANDARDS

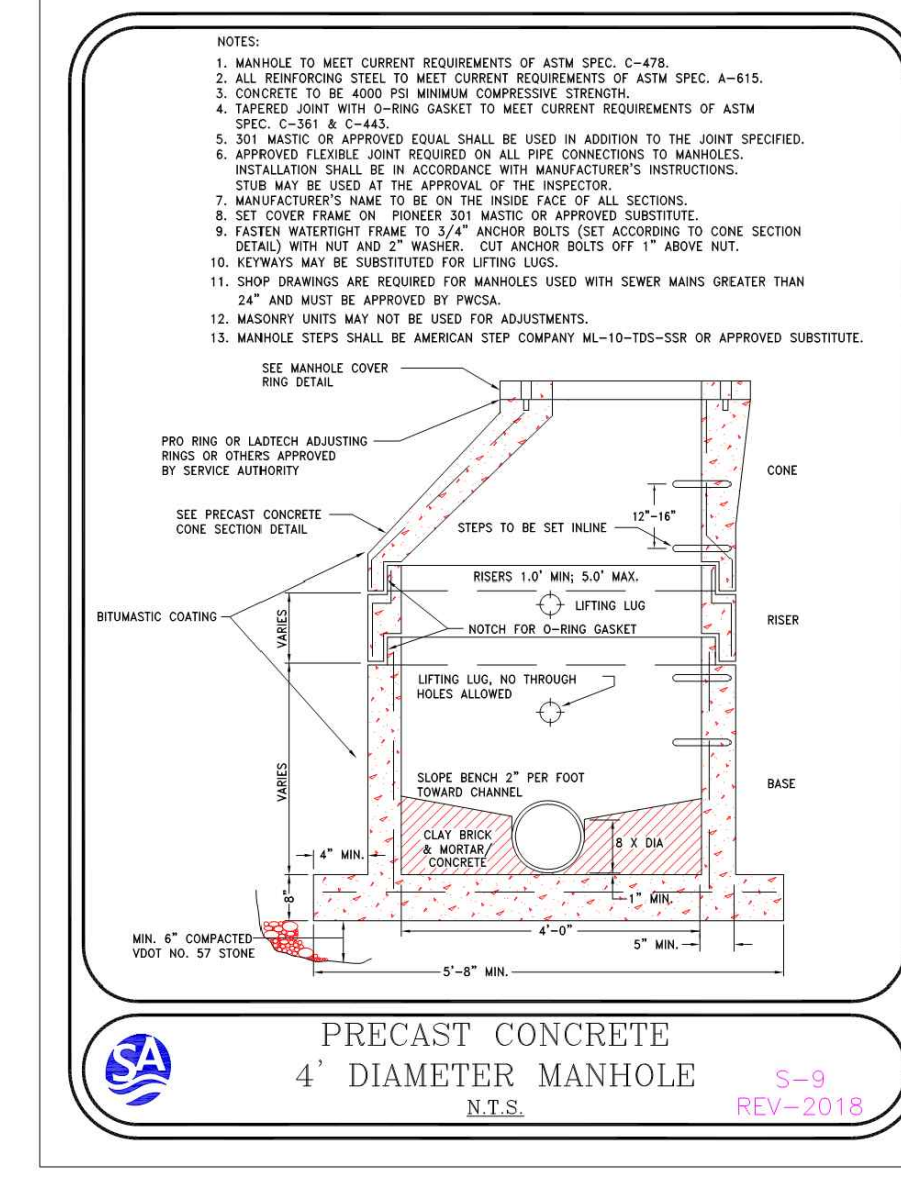
TABLE OF QUANTITIES

REINFORCING STEEL

| TYPE | L | AREA OF BAR | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT |
|------|--------|-------------|----------|-----|--------|----------|-----|--------|----------|-----|--------|----------|-----|--------|----------|-----|--------|
| D-30 | 12\"/> | | | | | | | | | | | | | | | | |

NOTES:

- DEPTH OF INLET TO BE SHOWN ON PLANS.
- THE 1/2\"/>



2016 ROAD & BRIDGE STANDARDS

TABLE OF QUANTITIES

REINFORCING STEEL

| TYPE | L | AREA OF BAR | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT | CONCRETE | BAR | WEIGHT |
|------|--------|-------------|----------|-----|--------|----------|-----|--------|----------|-----|--------|----------|-----|--------|----------|-----|--------|
| D-30 | 12\"/> | | | | | | | | | | | | | | | | |

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- DEPTH OF INLET TO BE SHOWN ON PLANS.
- THE 1/2\"/>



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PROJECT NO.: V192055
 DRAWN BY: MEG JOR
 CHECKED BY: JOR
 DATE: 11/08/2019
 CAD I.D.: SDP-1

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE

15001 WASHINGTON STREET
 TOWN OF HAYMARKET
 PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

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COMMONWEALTH OF VIRGINIA

KATHAN RITCHIE
 Lic. No. 052544
 11/27/2019
 PROFESSIONAL ENGINEER

SHEET TITLE: UTILITY DETAILS

SHEET NUMBER: C-903

REVISION 1 - 11/27/19

COUNTY OF PRINCE WILLIAM DEPARTMENTS OF TRANSPORTATION / PUBLIC WORKS
UNIT PRICE LISTS FOR PERFORMANCE BONDS, LANDSCAPING ESCROWS AND SILTATION & EROSION CONTROL ESCROWS

REVISED: March 15, 2017 EFFECTIVE DATE: March 15, 2017

PROJECT NAME: Hotel - Haymarket, VA
P.W.C. FILE #: TBD DATE PREPARED: Nov 08, 2019

Note: This form is to be used to estimate performance bond, landscaping escrow and soil erosion escrow prices posted with Prince William County. These prices do not include items that are to be bonded separately with the Virginia Department of Transportation.

1. MOBILIZATION/DEMOBILIZATION OF CONSTRUCTION EQUIPMENT
1 Mobilization/Demobilization @ LUMP SUM \$ 15,000

2. STORM DRAINAGE

A. STRUCTURES
QTY COST QTY COST
4 DI-1 @ \$ 3,970 EA \$ 15,880 JB-1 @ \$ 6,000 EA

B. CONCRETE PIPE
12" @ \$ 40 LF 36" @ \$ 120 LF
15" @ \$ 45 LF 42" @ \$ 140 LF

C. END WALLS
12" @ \$ 900 EA 36" @ \$ 2,800 EA
15" @ \$ 1,100 EA 42" @ \$ 4,000 EA

D. END SECTIONS (ES - 1)
12" @ \$ 550 EA 27" @ \$ 1,200 EA
15" @ \$ 580 EA 30" @ \$ 1,130 EA

E. CORRUGATED METAL PIPES
12" @ \$ 30 LF 36" @ \$ 90 LF
15" @ \$ 35 LF 42" @ \$ 100 LF

F. END SECTION (ES - 2)
15" @ \$ 400 EA 36" @ \$ 1,100 EA
18" @ \$ 420 EA 42" @ \$ 1,400 EA

G. AD N-12 (HDPE)
12" @ \$ 35 LF 30" @ \$ 85 LF
15" @ \$ 45 LF 36" @ \$ 95 LF

H. STORMWATER MANAGEMENT / BMP FACILITIES COST ESTIMATES PER IMPERVIOUS ACRE TREATED (SEE NOTE #3)

Non-Proprietary BMP By Itemized Cost
Proprietary/Manufactured BMP - CDS Unit By Itemized Cost
Proprietary/Manufactured BMP - Underground System By Itemized Cost \$ 100,000

I. MISCELLANEOUS STORMWATER MANAGEMENT

Seed, Fertilizer, Mulch \$200 Min. @ \$ 1.50 SY
Sod @ \$ 6.00 SY
Hydraulic Cem. Conc. - 4" depth @ \$ 6.00 SF

J. MISCELLANEOUS DRAINAGE ITEMS

QTY COST
Box Culvert @ \$ 727 CY
Energy Dissipater @ \$ 1,953 EA
Wing Walls @ \$ 860 CY

Ditches
Roadside standard ditches @ \$ 7.00 LF
Sod Ditches @ \$ 9.00 LF
Paved Ditches @ \$ 8.00 SF

3. CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY AND/OR PRIVATE INGRESS/EGRESS EASEMENTS

A. SITE WORK

Clear & Grub @ \$ 11,860 AC
Excavation @ \$ 28.00 CY
Embankment** (cut and fill) @ \$ 10.00 CY

Slope Stab. - Sod @ \$ 8.00 SY
Slope Stab. - Jute Mesh, Matting, Blankets, etc. @ \$ 6.00 SY

B. SUBGRADE, SUBBASE AND BASE COURSE ITEMS

Subgrade Preparation @ \$ 3.00 SY
Subbase & Base Course:
Aggregate (21A/21B) (per inch depth) @ \$ 2.50 SY

Underdrains:
UD-1 @ \$ 16.00 LF
UD-2 @ \$ 18.00 LF
UD-3 @ \$ 19.00 LF

C. ENTRANCES AND PIPE STEMS

DE-1 @ \$ 1,800 EA
DE-2 @ \$ 1,950 EA
DE-3 @ \$ 2,000 EA
DE-4 @ \$ 2,000 EA

D. MISCELLANEOUS CONSTRUCTION ITEMS

550 Sidewalk (5' Width) @ \$ 34 LF \$ 18,700
95 Header Curb (CG-2/CG-3) @ \$ 20 LF \$ 1,900
204 Curb & Gutter @ \$ 25 LF \$ 5,100

QTY COST

Guardrail @ \$ 39 LF
GR-7 NCHRP 350 @ \$ 2,686 EA
GR-9 @ \$ 3,640 EA
Address Sign (Entrance to Pipestems) @ \$ 398 EA

4. SANITARY SEWER & WATER LINE CONSTRUCTION

WATERMAIN (Exclusive of Fire Hydrants)

4" DIP @ \$ 50 LF
6" DIP @ \$ 65 LF
8" DIP @ \$ 78 LF
12" DIP @ \$ 108 LF

SANITARY SEWER PIPE LINE (Exclusive of Manhole Structures)

1.5" thru 4" LPPFM @ \$ 30 LF
8" PVC @ \$ 70 LF
8" DIP @ \$ 80 LF
10" PVC @ \$ 85 LF

For sizes larger than 15", add \$4.00 per inch increase in diameter.

SUB-TOTAL \$ 257,400
TOTAL CONSTRUCTION COST \$ 257,400

5. MISCELLANEOUS COSTS

A. ADMINISTRATIVE COST - 10% of the total construction cost not to exceed \$50,000 \$ 25,740
B. INFLATION COST - Compounded annually at 3.0% per year of the total Construction Cost \$ 7,722
TOTAL PERFORMANCE BOND AMOUNT \$ 290,862

6. FLOODPLAIN ITEMS ESCROW

LOMR @ \$ 15,000
Elevation Certificate @ \$ 800
LOMC (SF Detached) @ \$ 1,500
Stream Restoration By Itemized Cost

TOTAL FLOODPLAIN ITEMS ESCROW AMOUNT \$ 0

7. LANDSCAPING ESCROWS

A. DECIDUOUS TREES
QTY COST
5' - 6' @ \$ 165 EA
1" - 1.5" or 1.5" - 2" @ \$ 165 EA

B. EVERGREEN TREES
5' - 6' @ \$ 125 EA
6' - 7' @ \$ 175 EA
10' 7' - 8' @ \$ 300 EA
8' - 10' @ \$ 400 EA

C. SHRUBS
287 18" - 24" @ \$ 45 EA \$ 12,915
24" - 30" @ \$ 55 EA

D. ORNAMENTAL
8 1 Gal. (#1) @ \$ 10 EA \$ 80
2 Gal. (#2) @ \$ 22 EA
3 Gal. (#3) @ \$ 30 EA

E. PERENNIAL
18" - 24" @ \$ 9 EA

F. REFORESTATION
of Acres @ \$ 11,700 AC
TOTAL LANDSCAPE ESCROW AMOUNT \$ 26,245

7. SILTATION AND EROSION CONTROL ESCROWS

250 Diversion Dike @ \$ 6 LF \$ 1,500
40 Cleaning out SWM Facilities, Silt Traps, and Sediment Basins @ \$ 500 HR \$ 20,000
492 Silt Fence 0' - 1,000' @ \$ 8 LF \$ 3,936

Silt Fence 1,001' - 10,000' @ \$ 6 LF
Silt Fence 10,000' + @ \$ 4 LF

Super Silt Fence 0' - 1,000' @ \$ 20 LF
Super Silt Fence 1,001' - 10,000' @ \$ 10 LF
Super Silt Fence 10,000' + @ \$ 7 LF

Sod @ \$ 6.00 SY
2,168 Seed, Fertilizer & Mulch @ \$ 1.50 SY \$ 3,252

745 Steep Slopes (grading and stabilization with jute mesh, netting, and blankets, etc.) @ \$ 15.00 SY \$ 11,175

1 or # 57
11 Inlet Protection @ \$ 165 EA \$ 1,815
Check Dam @ \$ 175 EA
1 Temp. Construction Entrance @ \$ 1,150 EA \$ 1,150

1 Wash Rack @ \$ 2,000 EA
Temp. Sediment Trap @ \$ 1,000 EA
(Drainage area 0-1 Ac.) @ \$ 1,500 EA
(Drainage area 1-2 Ac.) @ \$ 2,000 EA
(Drainage area 2-3 Ac.) By itemized cost
Temporary Sediment Basin By itemized cost
Channel Diversion @ \$ 20 LF
6' Chain-link Safety Fence @ \$ 3.00 LF \$ 3,798

1,266 4' Plastic Orange Safety Fence @ \$ 750 EA \$ 949,500
Yard utility refurbishment (Single Family Lot) @ \$ 25 CY \$ 2,500
100 Stockpile Removal (Quantity based on policy) @ AC \$ 2,000
2 Removal of Erosion Control Measures @ \$ 200 Min. By itemized cost

Level Spreader TOTAL \$ 55,126

ADMINISTRATIVE COST (10% of Total Cost) \$ 5,513

TOTAL SILTATION & EROSION CONTROL ESCROW AMOUNT \$ 60,639

(Minimum acceptable amount for Siltation and Erosion Control Escrow is \$1,000.00)

I hereby certify that the above is my best estimate of the quantities and current cost of bondable improvements, landscaping items, and Siltation & Erosion Control Escrow in this subdivision or site plan.

PREPARER'S SIGNATURE TELEPHONE #

NAME (print) COMPANY OR FIRM

NOTES:
1. For items identified with ** the quantity for the embankment material the net difference of total fill material needed and cut material available at the project site, if excavated or cut material is suitable for embankment.

2. The excavation and embankment costs include the necessary grading, spreading and/or compaction of soil in accordance with County and State Standards and Specifications.
3. The unit cost for each of the items in this Unit Price List is the installation cost which includes factors such as excavation, bedding, backfilling, compaction, form work, etc.
4. Inflation has been calculated based on Northern Virginia Consumer Price Index of the Washington D.C. area provided by the Bureau of Labor and Statistics.
5. Whomever certifies the site development plans must also certify the total cost of the bonded items, landscaping escrow and siltation and erosion control escrow and must sign on "Preparer's Signature" on page 10 of this form.
6. Floodplain Items Escrow not to be part of Bond/Escrow reduction.

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DATE: 11/08/2019
DAD I.D.: OGD

SITE PLAN DOCUMENTS FOR HAYMARKET HOTEL VENTURE, LLC
PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

KATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

SHEET TITLE: UNIT PRICE LIST
SHEET NUMBER: C-904
REVISION 1 - 11/27/19

H:\19\192055\DRAWINGS\PLAN SETS\SITE PLAN\192055-00D-1-1-LAYOUT-CAPX UNIT PRICE LIST

Attachment: 191127 Haymarket Hotel Site Plan Rev 1 (4296 - Haymarket Hotel Venture, LLC Final Site Plan)

EXTERNALLY ILLUM. CHANNEL LETTERS NOT TO SCALE
43 square feet

18 INCH LINEAR

(3) Three sets required for Jefferson St, Washington St, and Fayette St. Elevations

Lumini - Runda wall light system

DARK COLORED BUILDING (WHITE DAY/WHITE NIGHT)

5" DEEP CHANNEL LETTERS - externally illuminated;
5/8" plywood backing required

All materials & colors to match Hilton requirements & approved manufacturing drawings

(1) one 20 amp (120volt) circuit required per sign

ALL ILLUMINATED SIGNAGE REQUIRE THE CLIENT'S ELECTRICIAN TO FURNISH & INSTALL A COMPLETE PHOTOCELL AND/OR TIME CLOCK TO ALLOW SIGNS TO OPERATE AT DESIGNATED INTERVALS. HOWEVER, SIGN SHALL NEVER OPERATE ON A 24/7 BASIS.

NOTE: all signage to have an illumination spread less than .05 foot candles at the lot line and will not shine into on-coming traffic, affect highway safety, or shine directly into a residential dwelling unit

MC group Building Better Brands
8959 Tyler Boulevard
Mentor, Ohio 44060
440.209.6200
800.627.4460
theMCgroup.com

CLIENT: **Hilton**

TICKET NO.: 554316
DATE: 08/26/19
REVISION HISTORY: 11/12/19 KW | Revised to show updated size lettersetCLIENT SIGNATURE:

PROJECT MANAGER: JAMES PEAKE
DESIGNER: JBAPPROVAL DATE:

ELECTRONIC FILE NAME: H\HILTON\HGDI\2019\VA\HGDI - HAYMARKETADDRESS: HILTON GARDEN INN WASHINGTON ST HAYMARKET, VA 20169
PAGE NO. 5

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EXTERNALLY ILLUM. CHANNEL LETTERS NOT TO SCALE
18.8 square feet

12 INCH LINEAR

(2) Two sets required for Washington Street and Jefferson Street elevations

SINGLE ADJUSTABLE FLOOD LIGHT
Endurance™ - WP-LED514

5" DEEP CHANNEL LETTERS - externally illuminated;
5/8" plywood backing required

All materials & colors to match Hilton requirements & approved manufacturing drawings

(1) one 20 amp (120volt) circuit required per sign

ALL ILLUMINATED SIGNAGE REQUIRE THE CLIENT'S ELECTRICIAN TO FURNISH & INSTALL A COMPLETE PHOTOCELL AND/OR TIME CLOCK TO ALLOW SIGNS TO OPERATE AT DESIGNATED INTERVALS. HOWEVER, SIGN SHALL NEVER OPERATE ON A 24/7 BASIS.

NOTE: all signage to have an illumination spread less than .05 foot candles at the lot line and will not shine into on-coming traffic, affect highway safety, or shine directly into a residential dwelling unit

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CLIENT: **Hilton**

TICKET NO.: 554316
DATE: 09/06/19
REVISION HISTORY: 08/10/19 TB | Revised size
10/02/19 JH | Revised to 12" tall
10/08/19 DR | Revised to externally illum., added flood, revised quantityCLIENT SIGNATURE:

PROJECT MANAGER: JAMES PEAKE
DESIGNER: TBAPPROVAL DATE:

ELECTRONIC FILE NAME: H\HILTON\HGDI\2019\VA\HGDI - HAYMARKETADDRESS: HILTON GARDEN INN WASHINGTON ST HAYMARKET, VA 20169
PAGE NO. 6

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D/F NON-ILLUM. MONUMENT NOT TO SCALE
51.6 square feet

CUSTOM NON ILLUM.

OPTION B

SHOP DRAWINGS REQUIRED prior to submittal for final production

Custom decorative framed panel, painted blue to match hilton specs w/ surface applied vinyl graphics

DIRECT BURIAL INSTALLATION

All materials & colors to match Hilton requirements & approved manufacturing drawings

ILLUM.: External illumination to be provided by others
QUANTITY: (1) ONE monument required
JOB NOTE: Bricks to match hotel;
All masonry work by others

FOUNDATION & POLE SIZES SUBJECT TO CHANGE ACCORDING TO ENGINEERING SPECS & CITY REQUIREMENTS!!

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800.627.4460
theMCgroup.com

CLIENT: **Hilton**

TICKET NO.: 554316
DATE: 11/12/19
REVISION HISTORY:CLIENT SIGNATURE:

PROJECT MANAGER: JAMES PEAKE
DESIGNER: KWAPPROVAL DATE:

ELECTRONIC FILE NAME: H\HILTON\HGDI\2019\VA\HGDI - HAYMARKETADDRESS: HILTON GARDEN INN WASHINGTON ST HAYMARKET, VA 20169
PAGE NO. 8

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SITE PLAN Not To Scale

18 INCH LINEAR

12 INCH LINEAR

18 INCH LINEAR

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CLIENT: **Hilton**

TICKET NO.: 554316
DATE: 08/26/19
REVISION HISTORY: 11/12/19 KW | Revised to show updated size lettersetCLIENT SIGNATURE:

PROJECT MANAGER: JAMES PEAKE
DESIGNER: JBAPPROVAL DATE:

ELECTRONIC FILE NAME: H\HILTON\HGDI\2019\VA\HGDI - HAYMARKETADDRESS: HILTON GARDEN INN WASHINGTON ST HAYMARKET, VA 20169
PAGE NO. 9

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BOHLER ENGINEERING

CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

11172719

REVISIONS

| REV | DATE | COMMENT | DESIGN BY | CHECKED BY |
|-----|----------|------------------------|-----------|------------|
| 1 | 11/27/19 | TOWN AND VDOT COMMENTS | MEG | JQR |

811

Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

| | |
|--------------|------------|
| PROJECT No.: | V192055 |
| DRAWN BY: | MEG |
| CHECKED BY: | JQR |
| DATE: | 11/08/2019 |
| CAD I.D.: | SDP - 1 |

SITE PLAN DOCUMENTS
FOR
HAYMARKET HOTEL VENTURE, LLC

PROPOSED SITE
15001 WASHINGTON STREET
TOWN OF HAYMARKET
PRINCE WILLIAM COUNTY, VIRGINIA

BOHLER ENGINEERING

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VA@BohlerEng.com

COMMONWEALTH OF VIRGINIA
JONATHAN RITCHIE
Lic. No. 052544
11/27/2019
PROFESSIONAL ENGINEER

APPROVED SIGN PLAN

SHEET NUMBER:
C-908

REVISION 1 - 11/27/19