



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING

~ AGENDA ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, September 16, 2019

7:00 PM

Council Chambers

I. Call to Order

II. Pledge of Allegiance

III. Minutes Approval

IV. Citizen's Time

V. Agenda Items

1. SUP#2019-004, Van Metre/Smith Property, 6701 Hunting Path Rd & 14850/14860 Washington Street
2. McDonald's Second Drive Thru Discussion

VI. One Mile Review -- Prince William County

1. Centre at Haymarket; REZ2020-00005

VII. New Business

VIII. Old Business

IX. Architectural Review Board Update

X. Town Council Update

XI. Adjournment



Town of Haymarket
15000 Washington Street, #100
Haymarket, VA 20169
703-753-2600

Emily K. Lockhart
TOWN PLANNER
ZONING ADMINISTRATOR

MEMORANDUM

TO: Planning Commission
FROM: Emily K. Lockhart, Town Planner
DATE: September 13, 2019
SUBJECT: Special Use Permit Request – Van Metre, 38 Residential Townhomes

UPDATED APPLICATION MATERIALS

The applicant, Van Metre Communities, LLC has submitted an updated proposed layout for the proposed townhouse development. The updated proposal has the entry and exit to the townhouse development located on Washington Street (Route 55). This would be a shared entrance and exit with the proposed commercial use at the front of the property. In addition, Van Metre has reconfigured the townhouses to align with the new entry and create open space in the rear for a proposed tot lot.

Staff Recommendation:

Staff recommends the Planning Commission have a discussion with the applicant to fully understand the proposed changes, discuss how these alternatives were decided and discuss the traffic flow on Washington St. A new concern that has risen from the updated is the entry/exit road's proximity to Saint Paul Drive and the potential for high volumes of traffic, turning maneuvers, lack of alignment and peak hour flows.

See below for previous Staff Report to the Planning Commission.

APPLICATION SUMMARY:

Applicant, Van Metre Communities, LLC, has requested a Special Use Permit for the Smith Property – 6701 Hunting Path Road, 14860 Washington Street, and 14850 Washington Street - to construct 38 residential townhomes in the B-1 zoning district. The proposed townhomes would occupy the north half of the property and abut the Longstreet Commons neighborhood (see attached Special Use Permit Plan). The south portion of the property abutting Washington Street, would be occupied by a B-1 commercial use.

Land Summary:

Attachment: Town Planner Staff Report Updated (4181 : SUP#2019-004, Van Metre/Smith Property, 6701 Hunting Path Rd & 14850/14860

- Site Address: 6701 Hunting Path Road, 14860 Washington Street, and 14850 Washington Street.
- Acreage: 4.8 acres (designated to SUP use, additional acreage designated to commercial use)
- Current Land Status: Undeveloped
- Zoning District: B-1, Town Center
- Historic Resources on Site: based on the Cultural Resources Study three artifacts were found dating back to the prehistoric time period, late 18th/19th century and 19th/20th century. Based on these artifacts and the opinion of the Thunderbird Archeology – *“the site lacks research potential and is not eligible for listing in the National Register of Historic Places under Criterion D, no further work is recommended in association with the site.”*(Thunderbird Archeology, page i).

The Zoning Ordinance requires the following standards are considered and met prior to approval.

- (1) The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*
- (2) The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*
- (3) The proposed use shall not adversely affect the use or values of surrounding properties and structures.*
- (4) The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.*
- (5) Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*
- (6) Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.*

Staff Analysis of these standards can be found below;

Special Use Permit Standards (Sec 58-1.7, (d)):

- 1. The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*

Commercial/Residential Blend East of Town’s Center

Traveling east from the central portion of town, Haymarket unfolds in a pleasant mix of older, residential homes and low intensity commercial uses such as a

*veterinary clinic and a Baptist Church. This blend of uses continues to the eastern town limit, where a neo-colonial residential development is across the street from public uses in two Sears houses fronted by a planned village green. The two Sears structures fit this area architecturally and historically and should be preserved, if at all possible. Almost all the land north and south of Washington Street is developed. **Much of the available land on the north side of Washington Street seems well suited to low intensity commercial uses, with adequate buffering to separate it from residential neighborhoods.** Whenever possible, existing residential buildings should be converted to commercial use, rather than have new buildings constructed, to continue the open, small town atmosphere and sense of place. As per the ARB guidelines, any new development must follow architectural styles represented by the surviving historic buildings in Haymarket. In general, developments within the last seven years have been styled as neocolonial. As other residential developments are planned, the ARB will encourage developers to move away from “cookie cutter” designs and explore styles that reflect a post-Civil War era. This would include Victorian styles. Modern or industrial designs do not fit into the overall feel of the town and would not be appropriate.*

The Town Comprehensive Plan adopted in 2008, designates the properties as Planned Transitional Commercial. Our current Zoning Ordinance allows for townhouses as a by-right use in the transitional commercial district, thus creating a direct conflict with the intent of the Comp Plan for low-intensity commercial uses on this property with adequate buffering. Furthermore, the properties are currently zoned B-1, Town Center District, and the addition of townhouses in the B-1 would be in direct conflict with the Comprehensive Plan’s intent.

While the Comprehensive Plan and Zoning Ordinance have conflicting definitions and designations of transitional commercial and the intent for the property, the proposed project would actively work to achieve blending of residential to commercial along Washington Street and secondary streets.

2. *The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*

Sec. 58-10.1. - Intent.

The Town Center District, B-1, provides primarily for retail shopping and personal services to be developed either as a unit or in individual parcels oriented to attracting pedestrian shoppers, tourism and local convenience. Recognizing the economic value of the existing historical area, it shall further be the intent of the district to encourage the retention and rehabilitation of structures and uses in the district that have

historic and/or architectural significance. The range, size, hours of operation, lighting, signs and other developmental aspects of permitted uses may be limited in order to enhance the general character and historic nature of the district.

While the Zoning Ordinance allows applicants and landowners to request a special use permit for townhouses and multi-family dwellings, the proposed 38 townhouses do not conform with the general intent of the B-1 Zoning District purpose as stated above. The townhouses would allow an opportunity to blend the residential and commercial zoning in an area that was planned as transitional commercial in the 2008 Comprehensive Plan. The proposed townhouse neighborhood would not provide commercial uses that would attract pedestrian users, rather it would create an additional pedestrian base.

As proposed on the GDP all other zoning district requirements have been met to include; height, setbacks, parking, landscaping and other requirements as set forth in the Ordinance. As noted on the GDP, upon further research and engineering these proposed improvements are subject to change, however will be in keeping with the requirements.

3. *The proposed use shall not adversely affect the use or values of surrounding properties and structures.*

Currently, there are no known adverse effects on the use or values of the surrounding properties and structures. Further economic analysis and research will need to be completed to determine the effects on use and value.

Surrounding Properties abutting the Special Use Request include; Longstreet Commons, Haymarket Baptist Church, VCA Healthy Paws, and Dr. Kayes Dental Office.

The proposed townhouse neighborhood would provide a buffer for the Longstreet Commons neighborhood and any new commercial construction on the remainder of the Smith Property. This “buffer” could be viewed as a benefit to the existing homes that abut the Smith Property.

4. *The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.*

The proposed townhouse project is not anticipated to adversely affect the health, safety, or general welfare of those residing and working in the neighborhood. The

proposed townhouses are new construction and shall conform to current building code regulations and all site development will be analyzed and held to current standards.

5. *Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

The proposed use will create additional vehicular trips per day throughout Town, specifically, Hunting Path Road, as this is the single entry/exit into the proposed neighborhood. The proposed trip generation as stated in the Pennoni Traffic Impact Statement dated, June 21, 2019 for the multifamily housing at 38 dwelling units is projected to be 304 trips (Table 3: Trip Generation, page 6, Pennoni). The am peak hour trip generation is expected to be 23 trips while the pm peak hour is expected to be 26 trips (Pennoni, page 13). While the by-right uses are projected at 782 trips for general office use at 73,000 sq. ft facility and 2,606 trips for a 30,000 sq. ft shopping center and restaurant (Table 3: Trip Generation, page 6). For the complete traffic impact statement data please review the Pennoni Report attached.

While the trip counts for the proposed residential neighborhood show a significant decrease from the potential by-right use trip counts, the potential increased cut-through traffic volume within Longstreet Commons will conflict with the existing traffic flow and patterns in Town. Currently, the Longstreet Commons neighborhood experiences a higher volume of cut-through traffic than any other neighborhood as it is a convenient path for those avoiding the intersection of Washington Street and Jefferson Street. This issue shall be discussed further with the Planning Commission and applicant. If the project moves forward, the Planning Commission shall request traffic mitigation or abatement options so that the Longstreet Commons neighborhood is not negatively impacted by the proposed project.

6. *Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.*

As shown on the generalized development plan the applicant has accounted for adequate utilities, drainage, parking, loading and other necessary improvements on the site. Specifically, the applicant has proposed a stormwater retention dry pond at the east property line abutting the rear of several townhouses, the Haymarket Baptist Church property, the proposed daycare facility on site and the

VCA Clinic. The applicant has provided adequate parking for the proposed residents by means of driveway parking, street parking and visitor parking on site.

STAFF RECOMMENDATION:

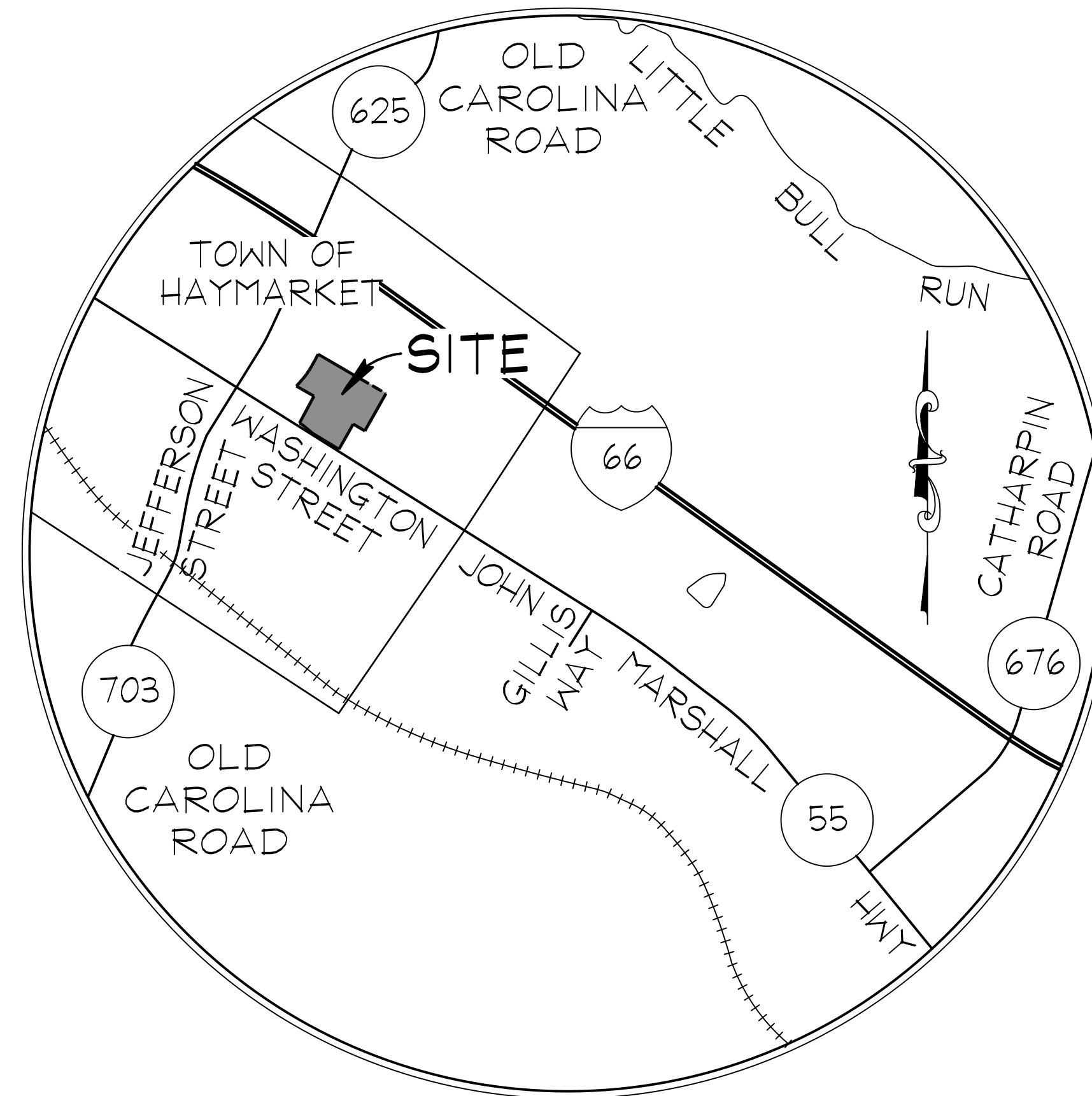
It is Staff's recommendation to the Planning Commission to hear all public comment at the August 19th public hearing and provide the applicant with questions and concerns to address prior to the September Planning Commission Meeting.

As proposed the townhouse project provides an opportunity to blend the residential and commercial zoning districts, specifically the existing Longstreet Commons neighborhood with the abutting commercial zoned property (Smith Property). Alternative commercial by-right uses on this property have the potential to create noise disturbances, significantly greater traffic volumes, and other adverse effects for the residents of Longstreet Commons and those adjoining property owners

Staff's Concerns include; traffic flow along Hunting Path Road, increase cut-through traffic in the Longstreet Commons neighborhood, long wait periods at the Hunting Path Road/Washington Street intersection, increased street parking on Hunting Path Road and lack of amenities for the new residents.

SPECIAL USE PERMIT PLAN FOR SMITH PROPERTY AT HAYMARKET

**TOWN OF HAYMARKET,
VIRGINIA**



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX:

SHEET NUMBER	TITLE
1.	COVER SHEET
2.	EXISTING CONDITIONS PLAN
3.	SPECIAL USE PERMIT PLAN
4.	PRELIMINARY LANDSCAPE PLAN

OWNER:

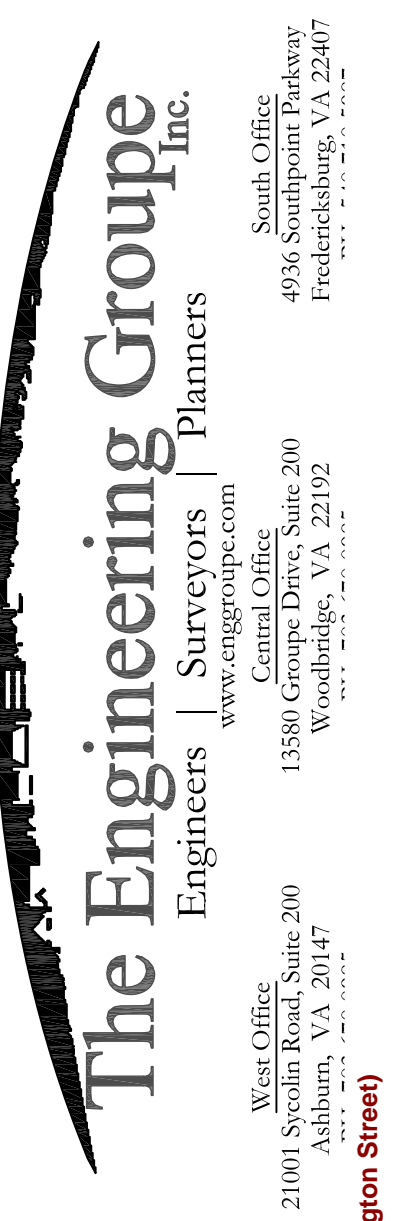
BENJAMIN M SMITH JR TR
C/O BM SMITH & ASSOCIATES INC
2407 COLUMBIA PIKE, SUITE 200
ARLINGTON, VA 22204

APPLICANT

VAN METRE COMMUNITIES, LLC
9900 MAIN STREET, SUITE 500
FAIRFAX, VA 22031
(703) 425-2610

ENGINEER:

THE ENGINEERING GROUPE, INC.
13580 GROUPE DRIVE, SUITE 200
WOODBIDGE, VA 22192
(703) 670-0985



NO.	DATE	COUNTY REVISIONS

COVER SHEET
**SMITH PROPERTY
AT HAYMARKET**

TOWN OF HAYMARKET, VIRGINIA
Attachment: SUP Van Metre - 14850, 14860 Wash St, 6701 HP Road (4181 : SUP#2019-004, Van Metre/Smith Property, 6701 Hunting Path Rd & 14650/14660 Washington Street)

ENGINEERING GROUPE	PROJECT STATUS	DATE:	APRIL 12, 2019
		SCALE:	1"=40'
		DESIGNER:	DA
		DRAFTSMAN:	DMB
		FILE NO.	
6/11/19	REVISED PER COUNTY COMMENTS	SHEET	1 OF 3
DATE	ACTION		

NOTES:

- 1) THE LAYOUT, AS SHOWN HEREON, IS CONCEPTUAL, SUBJECT TO MODIFICATIONS BASED ON ADDITIONAL RESEARCH INTO EXISTING CONDITIONS, TOWN OF HAYMARKET ZONING/DESIGN STANDARDS AND FINAL ENGINEERING.
- 2) STORMWATER MANAGEMENT AREAS, AS SHOWN HEREON, ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- 3) IN ACCORDANCE WITH SEC. 58-8.8, THE SIDE YARDS HAVE BEEN INCREASED TO 18' TO ACCOMMODATE THE EXTRA DISTANCE REQUIRED TO DEVELOP A THREE STORY STRUCTURE.
- 4) ALL TOWNHOUSE REAR YARDS WILL BE FENCED.
- 5) STREET LIGHT LOCATIONS, AS SHOWN HEREON, ARE PRELIMINARY, SUBJECT TO MODIFICATIONS IN ACCORDANCE WITH DESIGN STANDARDS AND FINAL ENGINEERING.
- 6) ENTRANCE SIGN WILL BE DESIGNED IN ACCORDANCE WITH TOWN OF HAYMARKET ZONING STANDARDS, SEC. 58-15.10.

DEVELOPMENT SUMMARY:

PARCEL GPINS.....7298-90-7006,
7297-99-8684 (A PORTION),
7397-09-0978 (A PORTION)
PARCEL ACREAGE.....±4.83 AC
7298-90-7006: 1.00 AC
7297-99-8684: 2.26 AC
7397-09-0978: 1.57 AC

EXISTING ZONE.....B-1
PROPOSED ZONE.....B-1 (WITH SUP)

PROPOSED USE.....TOWNHOUSE
MAXIMUM DENSITY.....8 DU/AC, 38 LOTS
(4.8 AC x 8 DU/AC=38 LOTS)
TOTAL LOTS SHOWN.....38 TOTAL
(20 FRONT LOAD, 18 REAR LOAD)

TOWNHOUSE STANDARDS (R-2): ±4.8 ACRES

MIN. AVERAGE LOT AREA.....2,000 SQ. FT.
AVERAGE LOT AREA PROV'D.....2,490 SQ. FT.

MAX. COVERAGE.....40% (1.9 AC)
LOT COVERAGE PROV'D.....36% (1.7 AC)

MIN. LOT FRONTAGE.....20', 35' END UNITS
LOT FRONTAGE PROV'D.....20'/24', 38'/42' END UNITS

MAX. HEIGHT.....2.5 STORIES / 35'
PROP. BLDG HEIGHT.....3 STORIES, 40' MAX.
(SEE NOTE 3)

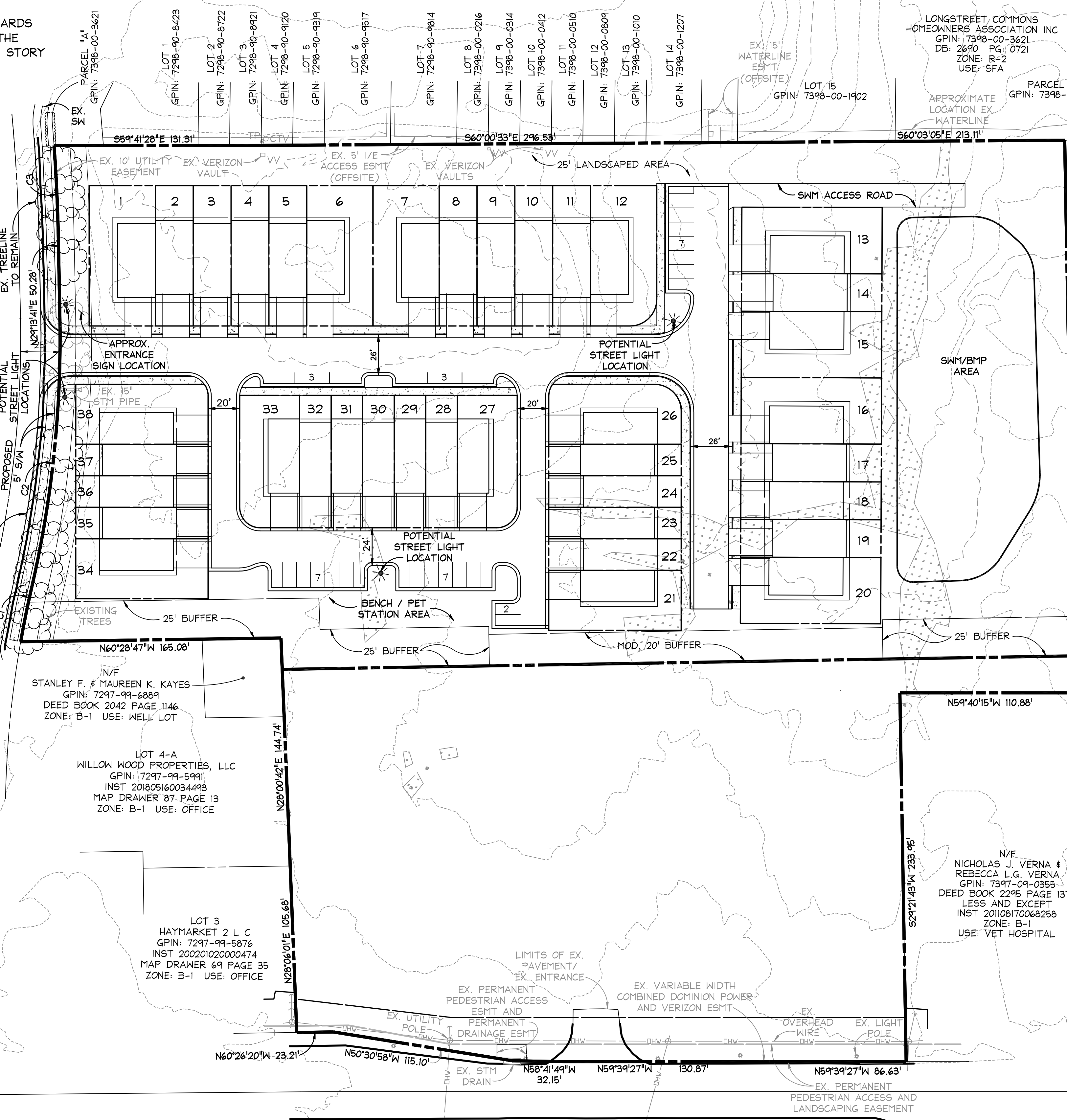
YARDS:
FRONT.....15'
SIDE.....15'
REAR.....20'

PARKING REQUIRED.....86 SPACES (2.25 SP/DU)
PARKING PROVIDED.....105 SPACES
(76 GARAGES, 29 SURFACE)

HUNTING PATH ROAD
(FORMERLY MELTON DRIVE)
50' WIDE, PUBLIC STREET

N/F
KENNEDY HAYMARKET PROPERTIES LLC
C/O SHEEHAN INSURANCE GROUP
GPIN: 7298-90-5418
INST 200603130041706
ZONE: B-1 USE: VACANT

N/F
TRUSTEES OF HAYMARKET
BAPTIST CHURCH
GPIN: 7397-09-2355
INST 201402270013367
INST 201402270013368
ZONE: R-1
USE: CHURCH



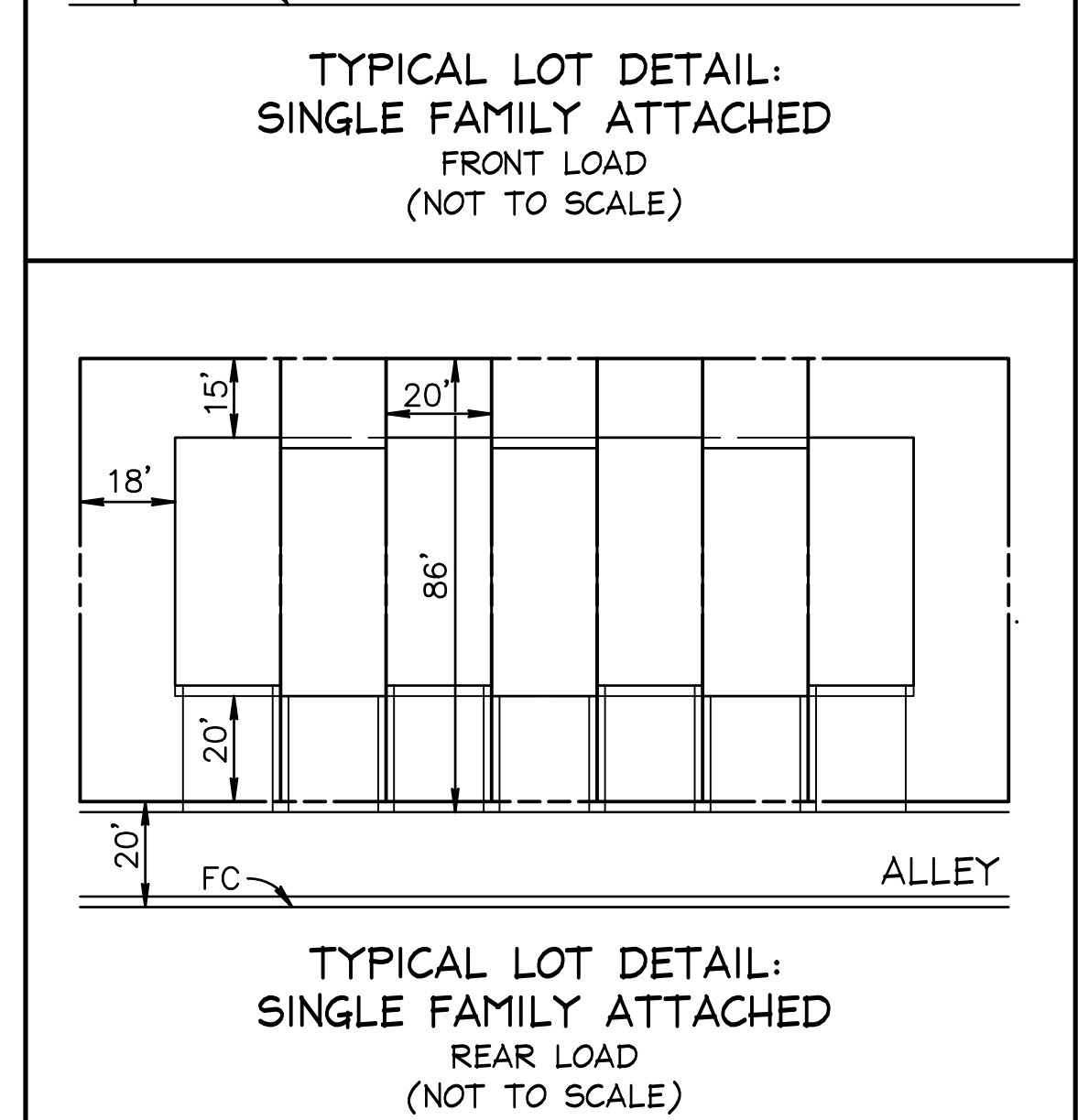
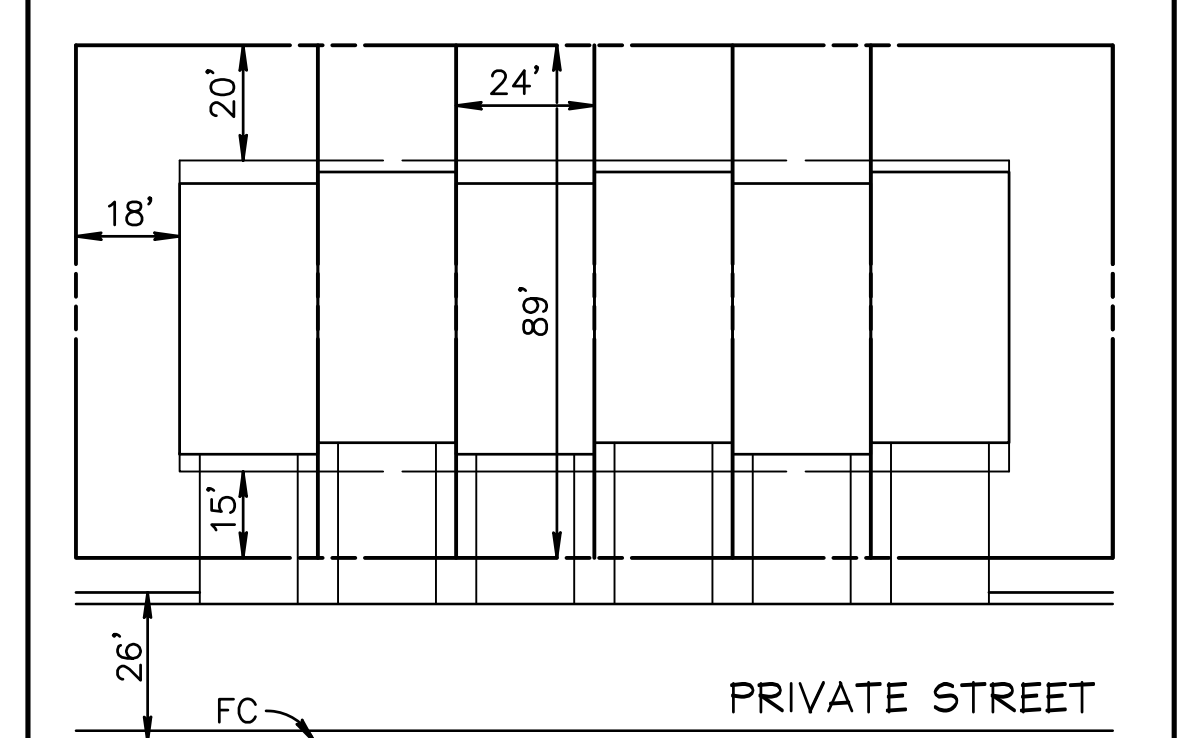
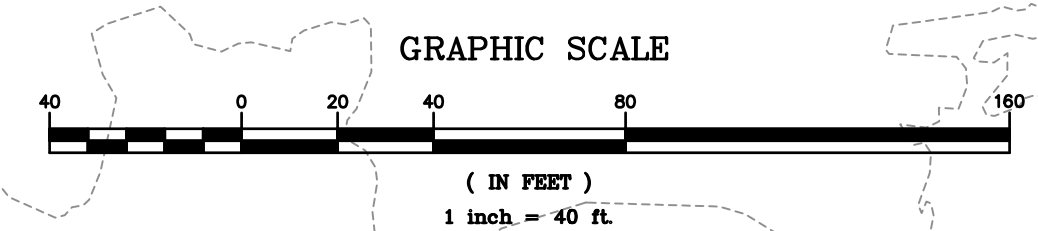
N/F
STANLEY F. & MAUREEN K. KAYES
GPIN: 7297-99-6889
DEED BOOK 2042 PAGE 1146
ZONE: B-1 USE: WELL LOT

LOT 4-A
WILLOW WOOD PROPERTIES, LLC
GPIN: 7297-99-5991
INST 201805160034498
MAP DRAWER 87 PAGE 13
ZONE: B-1 USE: OFFICE

LOT 3
HAYMARKET 2 L C
GPIN: 7297-99-5876
INST 200201020000474
MAP DRAWER 69 PAGE 35
ZONE: B-1 USE: OFFICE

N/F
NICHOLAS J. VERNA &
REBECCA L.G. VERNA
GPIN: 7397-09-0355
DEED BOOK 2295 PAGE 1377
LESS AND EXCEPT
INST 201108170068258
ZONE: B-1
USE: VET HOSPITAL

WASHINGTON STREET
STATE ROUTE 55
STATE PROJECT EN96-233-128, C502, SHEET 3
VDOT MAJOR COLLECTOR
(VARIABLE WIDTH)



CURVE TABLE:

CURVE	RADIUS	ARC	DELTA	TANGENT	CHORD BEARING	CHORD
C1	650.00'	34.99'	3°05'02"	17.50'	N41°49'53"E	34.98'
C2	700.00'	172.82'	14°08'43"	86.85'	N36°18'03"E	172.38'
C3	1,105.00'	58.83'	3°03'01"	29.42'	N27°42'10"E	58.82'

DATE	ACTION	ENGINEERING GROUPE	PROJECT STATUS
6/11/19	REVISED PER COUNTY COMMENTS		

DATE	SCALE	DESIGNER	DRAFTSMAN	FILE NO.	SHEET	OF
APRIL 12, 2019	1"=40'	DA	DMB		3	OF 3

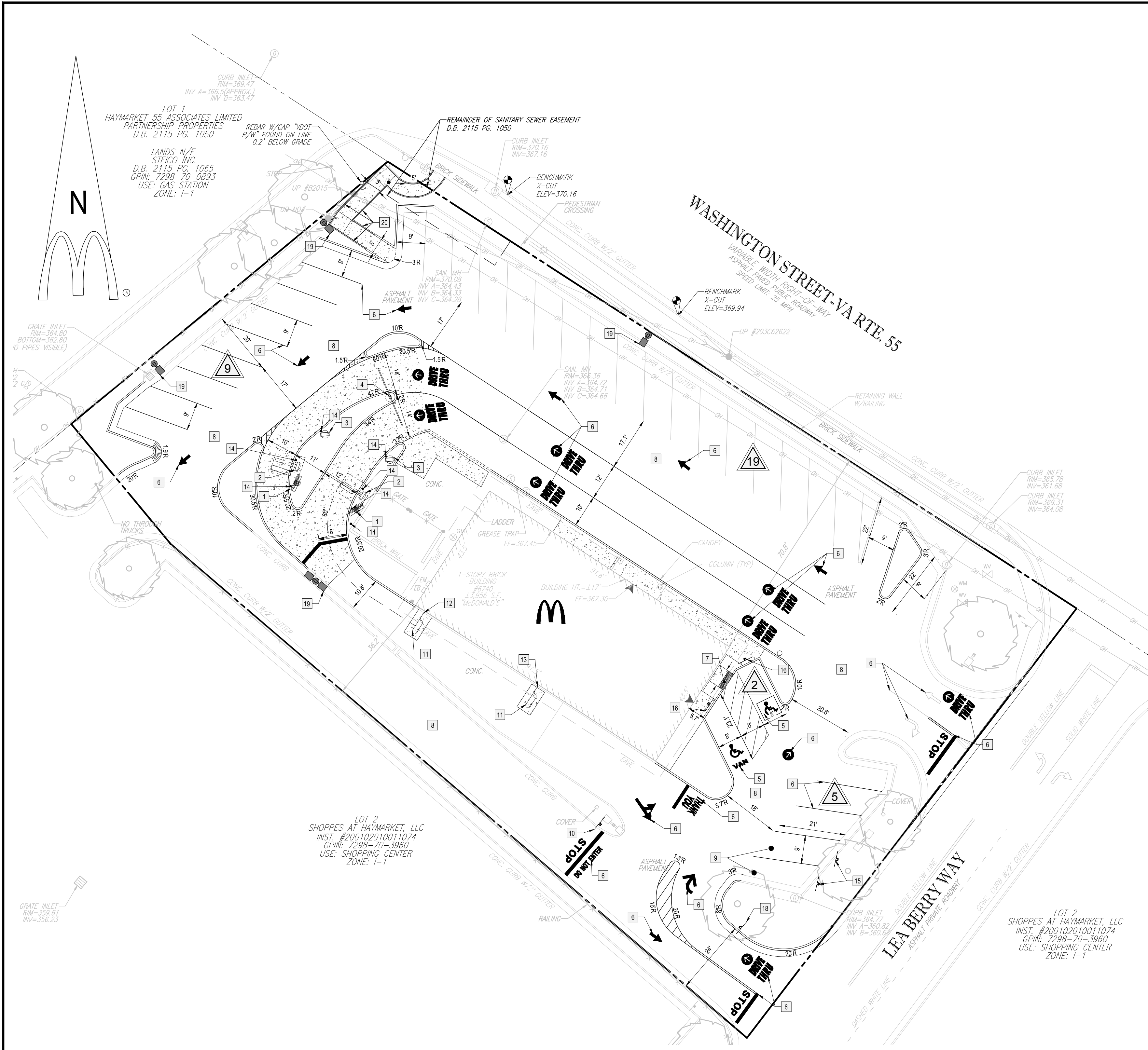
SPECIAL USE PERMIT PLAN
**SMITH PROPERTY
AT HAYMARKET**
TOWN OF HAYMARKET, VIRGINIA

NO.	DATE	COUNTY REVISIONS

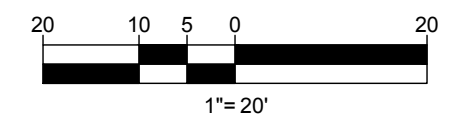
The Engineering Group Inc.
Engineers | Surveyors | Planners
www.engrgrp.com
Central Office
13880 Grape Drive, Suite 200
Washington, DC 20047
PH: 703.670.0885

South Office
4936 Southport Parkway
Fayetteville, NC 28407
PH: 843.715.9887

West Office
21001 Sycamore Road, Suite 200
Arlington, VA 22204
PH: 703.670.0885



SITE PLAN
SCALE: 1" = 20'



LEGEND

□ EXISTING AREA LIGHT	— PROPERTY BOUNDARY	⊕ EXISTING FIRE HYDRANT
△ DENOTES NUMBER OF EXISTING PAINTED PARKING SPACES	— EXISTING CURB	⊕ EXISTING WATER VALVE
⊙ DIRECTIONAL CIRCLE ARROW	- - - EXISTING CURB TO BE REMOVED	⊕ EXISTING GAS VALVE
→ DIRECTIONAL ARROW	— PROPOSED CONCRETE CURB	⊕ EXISTING UTILITY POLE
		⊕ EXISTING CLEANOUT
		⊕ EXISTING MANHOLE
		⊕ EXISTING INLET

GENERAL NOTES

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY: BOHLER ENGINEERING LLC, 22636 DAVIS DRIVE, SUITE 250, STERLING, VIRGINIA 20164. ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED FOR: MCDONALD'S USA, LLC. FILE NO.: SV175005. DATED: 10-17-2017 REVISED 2-27-2019.
- THIS CONCEPT WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
- THE CONCEPT REPRESENTED HEREIN IDENTIFIES A DESIGN CONCEPT RESULTING FROM LAYOUT PREFERENCES IDENTIFIED BY THE OWNER COUPLED WITH A PRELIMINARY REVIEW OF ZONING AND LAND DEVELOPMENT REQUIREMENTS AND ISSUES. THE FEASIBILITY WITH RESPECT TO OBTAINING LOCAL, COUNTY, STATE, AND OTHER APPLICABLE APPROVALS ARE NOT WARRANTED AND CAN ONLY BE ASSESSED AFTER FURTHER EXAMINATION AND VERIFICATION OF SAME REQUIREMENTS AND PROCUREMENT OF JURISDICTIONAL APPROVALS.
- THIS CONCEPT PLAN IS PREPARED FOR CONCEPTUAL PRESENTATION PURPOSES ONLY AND IS NOT INTENDED FOR UTILIZATION AS A CONSTRUCTION DOCUMENT. THE EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON INFORMATION THAT WAS SUPPLIED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION AND MAY BE SUBJECT TO CHANGE AND MUST BE UPDATED UPON PERFORMANCE OF ADDITIONAL DUE DILIGENCE.

BULK REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	0.98 AC	NO CHANGE
MIN. BUILDING SETBACK			
FRONT SETBACK (NORTH)	10'	70'	NO CHANGE
SIDE SETBACK (WEST)	0'	102'	NO CHANGE
SIDE SETBACK (EAST)	0'	77'	NO CHANGE
REAR SETBACK (SOUTH)	0'	36'	NO CHANGE
MIN. BUFFER TO ADJACENT PROPERTY			
FRONT BUFFER (NORTH)	5'	5'	
SIDE BUFFER (WEST)	10'	5'	
SIDE BUFFER (EAST)	10'	13'	
REAR BUFFER (SOUTH)	10'	5'	
PARKING REQUIREMENTS			
1 SPACES PER 100 SF GFA, 2 ADA SPACES REQUIRED	39	39	35
MIN. GROSS FLOOR AREA (GFA)	N/A	3,956 SF	NO CHANGE
MAX. LOT COVERAGE (ONE STORY)	85%	85%	INCREASE
MAX. BUILDING HEIGHT	50'	17'	NO CHANGE
NON-CONFORMANCE (*) = MINIMUM WIDTH IS 5' WHEN THE EXISTING ADJOINING LANDSCAPE STRIP IS NARROWER THAN 10' IN WIDTH			



28 Blackwell Park Lane, Suite 201
Warrenton, VA 20186
PHONE: 540.349.4500

July 24, 2019
Via Federal Express

Town of Haymarket
Department of Planning & Zoning
15000 Washington Street, Ste. 100
Haymarket, VA 20169

Attn: Emily Lockhart
Re: Revised Special Use Permit Narrative
McDonald's
6740 Lea Berry Way
Haymarket, VA 20169
Town of Haymarket
BE #V175005

Dear Ms. Lockhart:
Bohler Engineering is pleased to submit on behalf of McDonald's Corporation, the requested Special Use Permit application for the proposed drive-thru improvements at the existing McDonald's restaurant located at 6740 Lea Berry Way, Haymarket, VA. The following is our Special Use Permit Narrative that addresses the impacts of the proposed improvements to the existing site:

Parking Count: The existing McDonald's features 39 angled parking spaces, including 2 ADA spaces. The proposed improvements decrease the number of parking spaces on the site resulting in 35 angled parking spaces, including 2 ADA spaces. The decrease is necessary to provide first drive-thru lanes to improve queuing along the northeastern side of the building. A waiver to Article VI Sec. 58-6.1 of the Town of Haymarket Zoning and Subdivision Ordinance to reduce the required parking spaces from 39 to 35 is included with this SUP application.

Traffic Circulation: The existing McDonald's features a one-way drive-in lane approximately 15 feet to 17 feet in width that circulates counter clockwise around the building and drive-thru. The proposed traffic circulation will feature the same counter clockwise circulation and drive-in lane width. No alterations are proposed to the traffic circulation or access to the site.

Queuing & Stacking: The existing McDonald's features a single menu board order point with 4 stacking spaces. The proposed improvements feature two menu boards with extended drive-thru lanes, each with a minimum of 10 stacking spaces for a total of 20 stacking spaces. The additional menu boards proposed will expedite order circulation, and additional stacking will mitigate overflow onto the site circulation drive-in lane as well as adjoining streets. In summation, the proposed drive-thru improvements are expected to improve queuing and stacking by increasing the available stacking spaces, and ability to receive patrons' orders.

Drive-thru and Drive-Thru Dimensions: The existing McDonald's features a single drive-thru lane varying between 9 feet and 12 feet in width and a one lane bypass lane of approximately 18 feet in width. The proposed improvements feature a primary 12 foot wide drive-thru lane, a secondary 10 foot wide drive-thru lane and a bypass lane width of approximately 17 feet.

BASED ON THE INFORMATION PRESENTED ABOVE, WE BELIEVE THAT THE PROPOSED IMPROVEMENTS TO THE MCDONALD'S RESTAURANT WILL IMPROVE THE FUNCTIONALITY AND CIRCULATION OF PATRONS BY PROVIDING ADDITIONAL ORDER POINTS, AND 16 ADDITIONAL QUEUING SPACES ADDED TO THE QUEUING LENGTH.

Should you have any questions regarding this project or require additional information, please do not hesitate to contact me at (540) 349-4500.

Sincerely,
Jonathan Q. Ritchie, P.E.
Bohler Engineering, LLC

Based on the information presented above, we believe that the proposed improvements to the McDonald's restaurant will improve the functionality and circulation of patrons by providing additional order points, and 16 additional queuing spaces added to the queuing length.

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Sincerely,
Jonathan Q. Ritchie, P.E.
Bohler Engineering, LLC



LOCATION MAP
COPYRIGHT 2016
MICROSOFT CORPORATION
SCALE: 1" = 2,000'

LEGEND

- PROP OUTDOOR DISPLAY MENU BOARD (2-TYP.)
- PROP COD SPEAKER WITH AUTO LOOP DETECTOR (2-TYP.)
- PROP DIGITAL PRE-BROWSE MENU BOARD
- PROP GATEWAY CLEARANCE BAR
- PROP ADA COMPLIANT SPACES
- PROP PAVEMENT MARKING (TYP.)
- PROP ADA COMPLIANT RAMP
- ASPHALT PAVEMENT TO BE SEALED AND RESTRIPTED (SEE PAVING SPECIFICATION NOTES)
- EXISTING PULL FORWARD SPACES (TO BE RESTRIPTED AND SIGNED PER OOSP STANDARDS)
- PROP "STOP" SIGN
- PROP AUTO LOOP DETECTOR (2-TYP.)
- EXISTING CASH WINDOW
- EXISTING PICKUP WINDOW
- PROP BOLLARD
- PROP "RESERVED DRIVE THRU" SIGN
- PROP ADA SIGN (BOLLARD MOUNTED)
- PROP RELOCATED FLAG POLE
- PROP "ALL TRAFFIC KEEP RIGHT" SIGN
- PROP RELOCATED SITE LIGHT
- PROP HANDRAIL

35

PARKING INFORMATION		
EX. PARKING SPACES - NO CHANGE WITH PROP. IMPROVEMENTS		
33 SPACES	9.0' x 20.0' MIN.	@ 60°
2 (A.D.A) SPACES	9.0' x 20.0' MIN.	@ 60°
35 TOTAL SPACES		
REQUIRED PARKING SPACES - PER ARTICLE VI SEC. 58-6.1		
1 SPACE / 100 SF OF GFA X 3956 SF = 39.56 = 39 REQUIRED SPACES		

UTILITY INFORMATION

SIZE	TYPE	LOCATION
WATER	EXISTING "PUBLIC WATER" SERVICE	
SANITARY SEWER	EXISTING "PUBLIC SEWER" SERVICE	
STORM SEWER	EXISTING SWM ROUTES TO NORTH FORK BROAD RUN	
ELECTRIC	EXISTING	

SURVEY INFORMATION

PREPARED BY: BOHLER ENGINEERING
TITLED: TOPOGRAPHIC & LOCATION SURVEY
PROJECT NO: SV175005

LEGEND

SANITARY SEWER	— S —	GAS	— G —
WATER	— W —	LOT LIGHT	⊕
STORM SEWER	— ST —	EXISTING ELEVATION	76.5
ELECTRIC	— E —	PROPOSED ELEVATION	77.0

SPECIAL USE PERMIT

PLAN SCALE: AS NOTED

STREET ADDRESS
6740 LEA BERRY WAY

BLOCK NUMBER	LOT NUMBER	STATUS	DATE	BY
09	13	PRELIMINARY	8/28/18	LEO
		PLAN CHECKED	8/28/18	LEO
		AS-BUILT		

REGIONAL DWG. NO	PLAN DESCRIPTION	STATUS	DATE	BY
LC #45-1159	SUP PLAN	AS-BUILT		

ISSUE REF	BY	DATE	REV	DESCRIPTION
	JQR	9/20/18	1	STAFF COMMENTS
	JQR	7/24/19	2	REVISED SUP APPLICATION

FINAL PLAN SIGNATURES

P.M. _____
G.C. _____
O/O _____

McDonald's

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BALTIMORE WASHINGTON REGION
OFFICE ADDRESS
6803 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817 (240) 497-9000

PLANNING APPROVALS

SIGNATURE (S REQUIRED)

REGIONAL MGR. _____
CONST. MGR. _____
OPERATIONS DEPT. _____
REAL ESTATE DEPT. _____

CO-SIGN SIGNATURES

CONTRACTOR _____
OWNER _____

INDEX OF DRAWINGS

C-1 SUP PLAN
C-2 EXISTING CONDITIONS / DEMOLITION PLAN
C-3 SIGNAGE PLAN
C-4 DRIVE THRU PLAN

PROFESSIONAL ENGINEER
JONATHAN Q. RITCHIE, P.E.
Lic. No. 052544
7/24/19

BOHLER ENGINEERING
28 BLACKWELL PARK LANE, SUITE 201
WARRENTON, VIRGINIA 20186
Phone: (540) 349-4500
Fax: (540) 349-0321
VA@BohlerEng.com

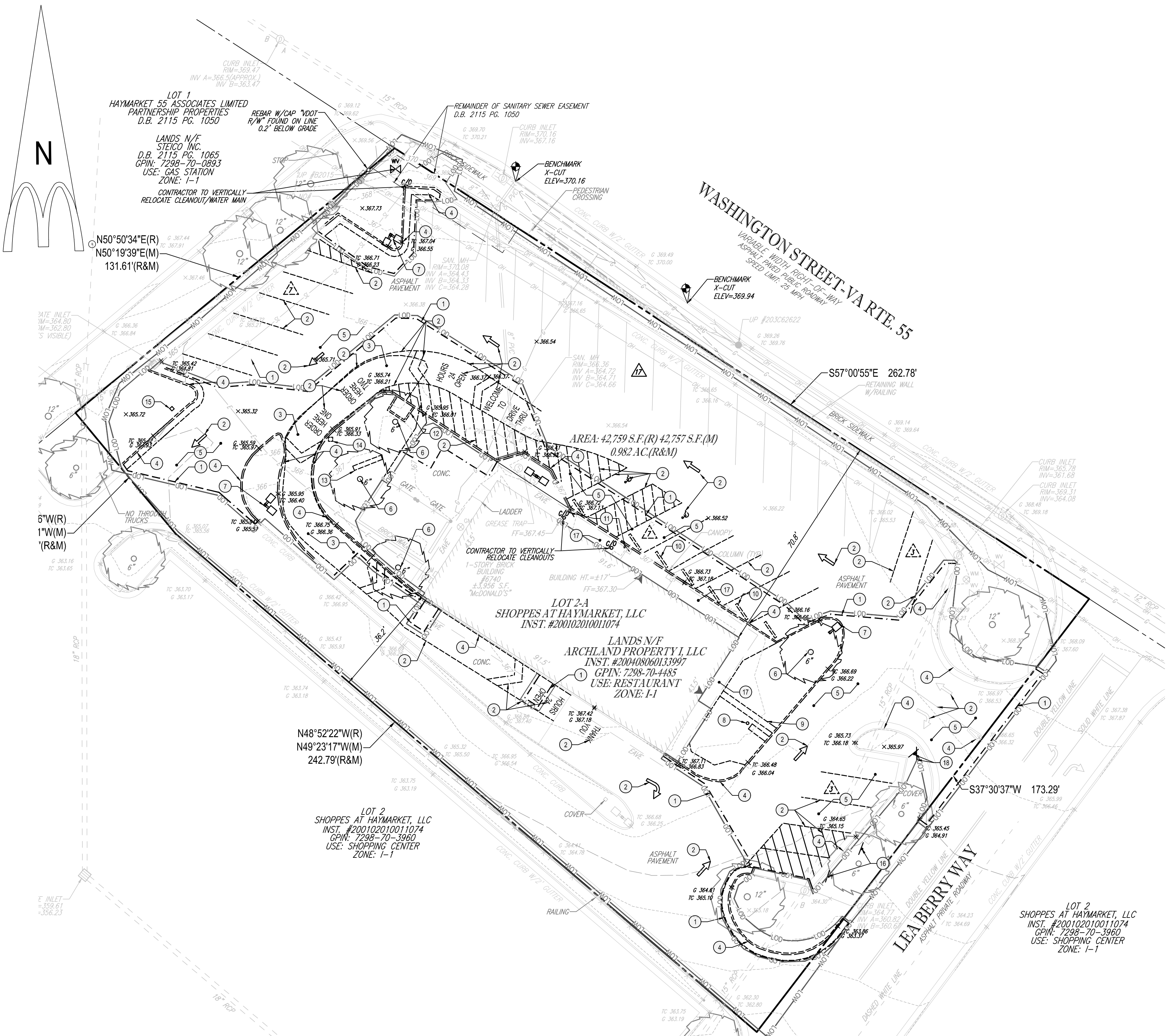
811
KNOW WHAT'S BELOW
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BEFORE YOU DIG
It's fast. It's free. It's the law.

Packet Pg. 12

DEMOLITION/REMOVAL LEGEND	
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
---	EASEMENT LINE
---	CONCRETE CURB & GUTTER
---	UTILITY POLE WITH LIGHT
---	POLE LIGHT
---	TRAFFIC LIGHT
---	UTILITY POLE
---	TYPICAL LIGHT
---	ACORN LIGHT
---	TYPICAL SIGN
---	PARKING COUNTS
---	SPOT ELEVATIONS
---	SANITARY LABEL
---	STORM LABEL
---	SANITARY SEWER LATERAL
---	UNDERGROUND WATER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD WIRE
---	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	STORM SEWER
---	SANITARY SEWER MAIN
---	HYDRANT
---	SANITARY MANHOLE
---	STORM MANHOLE
---	WATER METER
---	WATER VALVE
---	GAS VALVE
---	GAS METER

DEMOLITION KEY

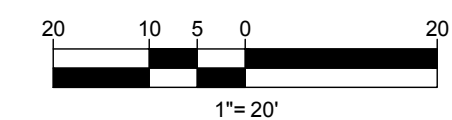
- ① SAWCUT AND REMOVE CONCRETE / ASPHALT / CURB AND GUTTER
- ② PAVEMENT MARKING TO BE REMOVED
- ③ CONCRETE TO BE REPLACED, SEE SITE PLAN
- ④ CURB TO BE REMOVED
- ⑤ ASPHALT TO BE REMOVED AND REPLACED PER SITE PLAN
- ⑥ TREE TO BE REMOVED
- ⑦ LIGHT POLE TO BE RELOCATED
- ⑧ FLAG POLE TO BE RELOCATED
- ⑨ LANDSCAPE PAVERS TO BE REMOVED
- ⑩ WHEEL STOP TO BE REMOVED
- ⑪ ADA PARKING SIGN TO BE RELOCATED
- ⑫ LANDSCAPE WALL TO BE REMOVED
- ⑬ MENU BOARD TO BE REMOVED
- ⑭ ORDER BOX TO BE REMOVED
- ⑮ CONTRACTOR TO CONFIRM IRRIGATION COVER AND RELOCATE (NOTIFY ENGINEER IF DISCREPANCIES ARISE)
- ⑯ RESERVED PARKING SIGN TO BE RELOCATED
- ⑰ SIDEWALK TO BE REPLACED, SEE SITE PLAN
- ⑱ SIGN TO BE REMOVED



NOTE: SHRUBS TO BE REMOVED WITH THIS APPLICATION ARE TO BE REPLACED IN KIND.

DEMOLITION PLAN
SCALE: 1" = 20'

LEGEND			
---	CONTOUR	□	AREA LIGHT
---	OVERHEAD WIRES	⊠	TRAFFIC SIGNAL
---	SANITARY SEWER PIPING	---	SIGN
---	STORM SEWER PIPING	⚠	INDICATES NUMBER OF PAINTED PARKING SPACES
---	UTILITY POLE	---	INLET
---	CLEANOUT	---	LANDSCAPED AREA TO BE REMOVED
		---	TO BE RELOCATED

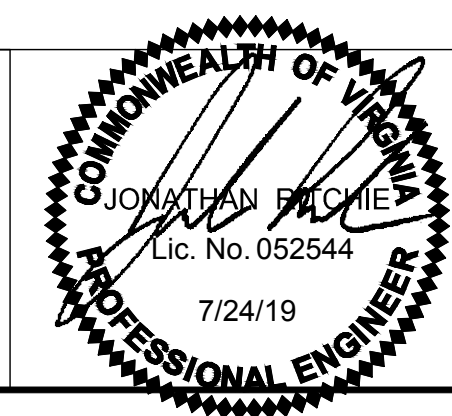


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Fax: (540) 349-0321
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SITE/CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT
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NEW YORK METRO PITTSBURGH PA BALTIMORE MD RALEIGH NC TAMPA FL
NEW ENGLAND NEW JERSEY LEHIGH VALLEY PA SOUTHERN MARYLAND WASHINGTON DC SOUTH FLORIDA
BOSTON MA SOUTHERN NEW JERSEY SOUTHEASTERN PA NORTHERN VIRGINIA CHARLOTTE NC DALLAS TX
PHILADELPHIA PA RICHMOND BEACH, VA CENTRAL VIRGINIA ATLANTA GA

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ALL APPROVED SERVICES ARE SUBJECT TO THE CONTRACTOR'S OBLIGATION TO OBTAIN NECESSARY PERMITS.



SPECIAL USE PERMIT
PLAN SCALE: 1" = 20'

STREET ADDRESS
6740 LEA BERRY WAY

BLOCK NUMBER 09 LOT NUMBER 13

DISTRICT HAYMARKET COUNTY PRINCE WILLIAM STATE VA
(TOWN OF HAYMARKET)

REGIONAL DWG. NO. LC #45-1159 PLAN DESCRIPTION EXISTING CONDITIONS / DEMOLITION PLAN

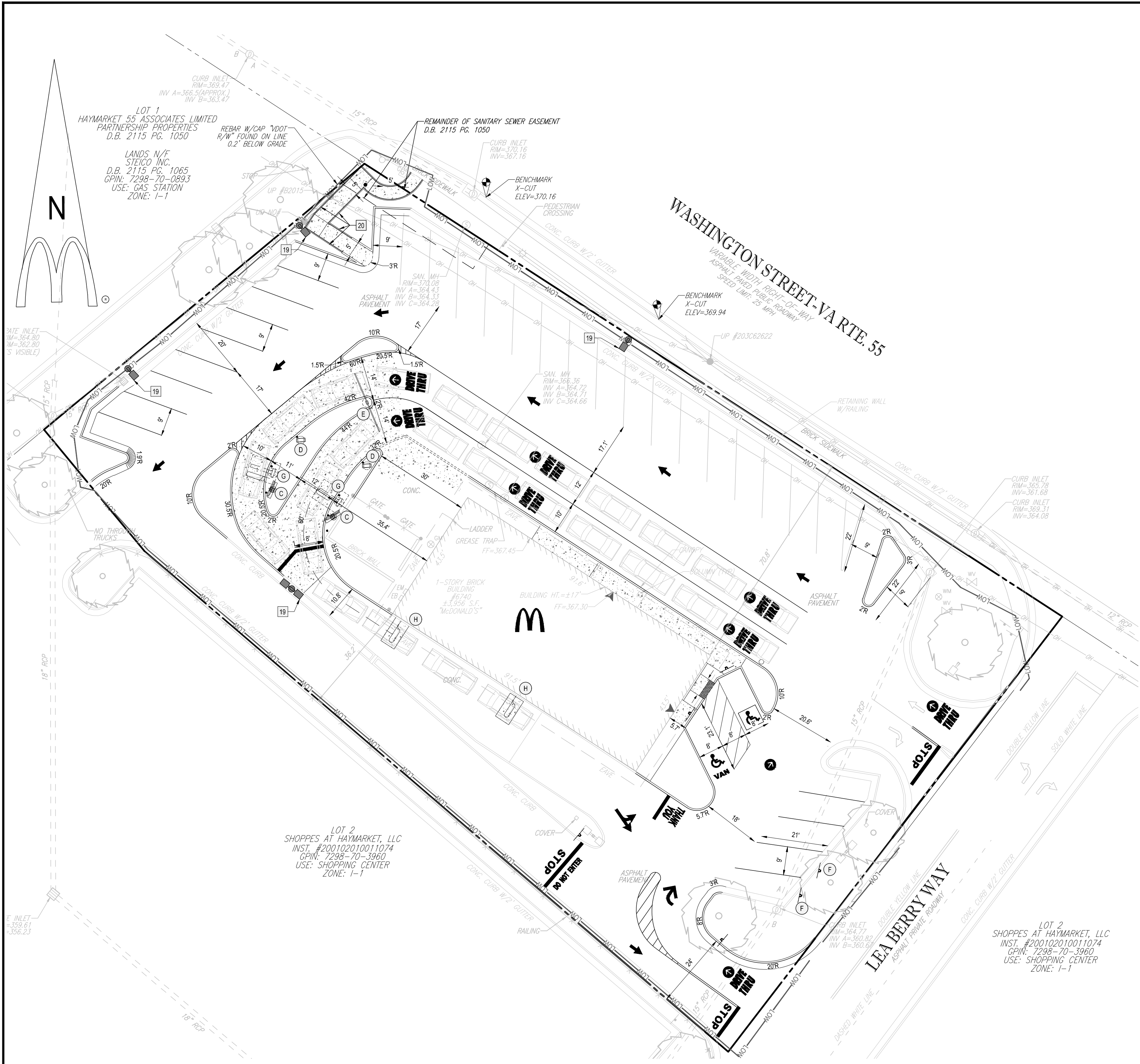
CAD FILE: V175005 SS0

FINAL PLAN SIGNATURES		REV	DATE	DESCRIPTION	BY	ISSUE REF
P.M.	G.C.	1	9/20/18	STAFF COMMENTS	JOR	
	O/O	2	7/24/19	REVISED SUP APPLICATION	JOR	

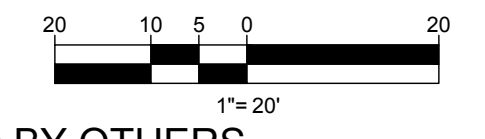
REGIONAL MGR.	DATE	PLAN APPROVALS
CONST. MGR.		SIGNATURE (IF REQUIRED)
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		CO-SIGN SIGNATURES
OWNER		

STATUS	DATE	BY
PRELIMINARY	8/28/18	LEO
PLAN CHECKED	8/28/18	LEO
AS-BUILT		

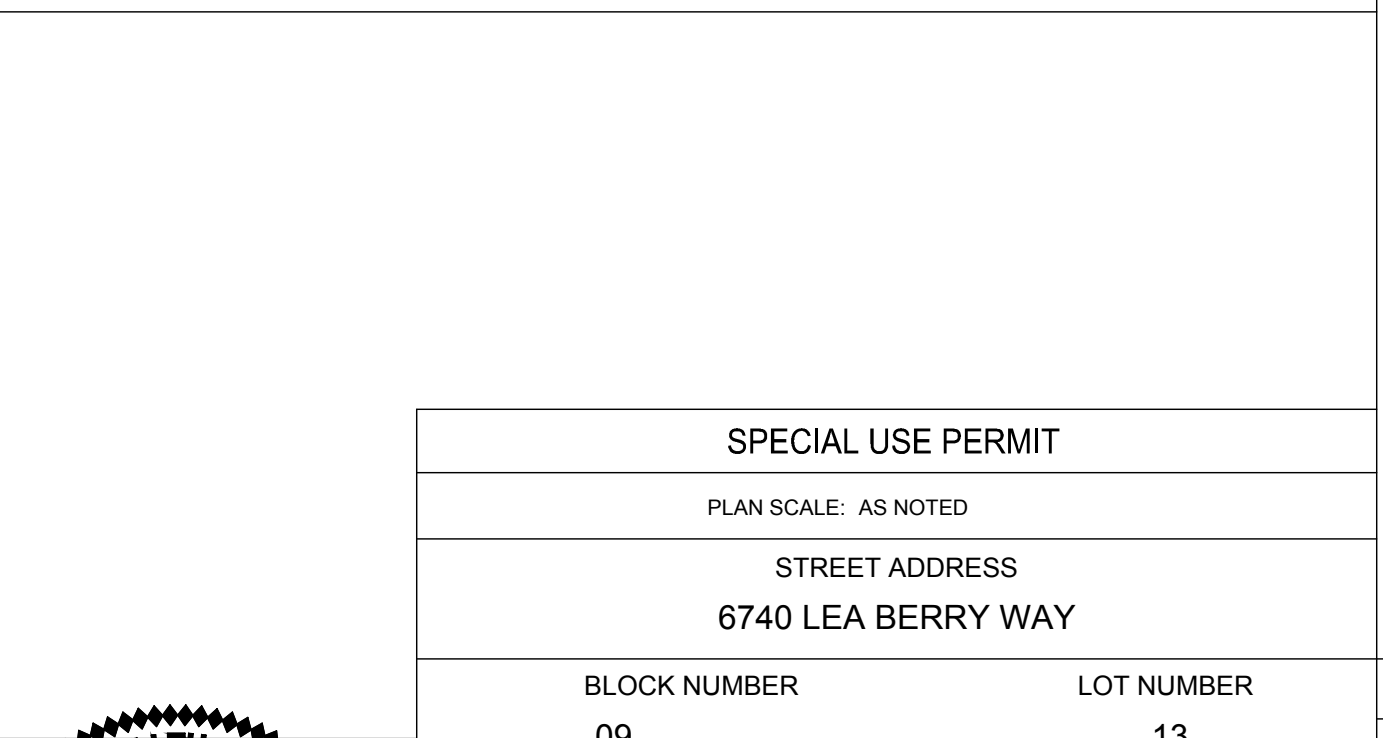
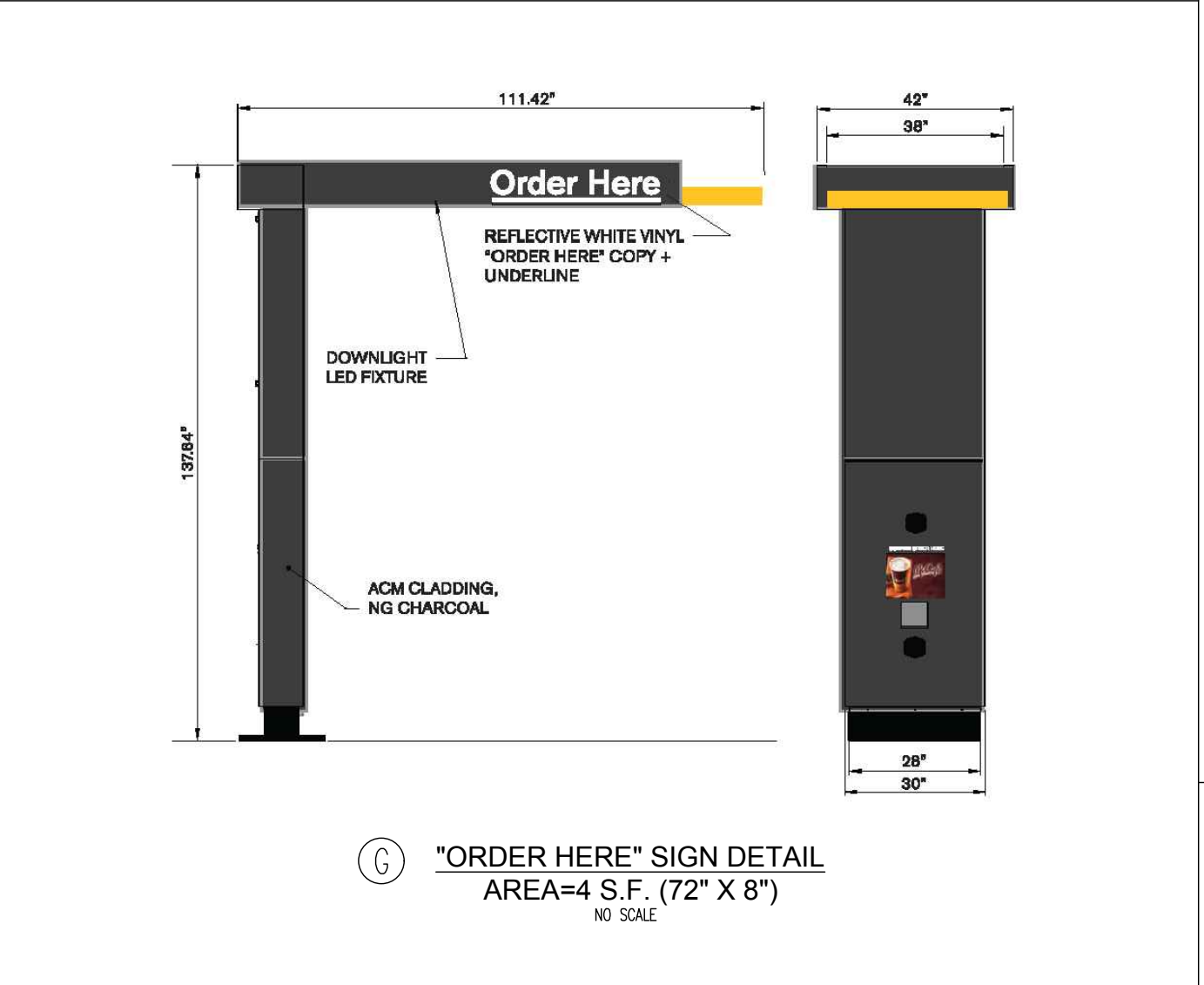
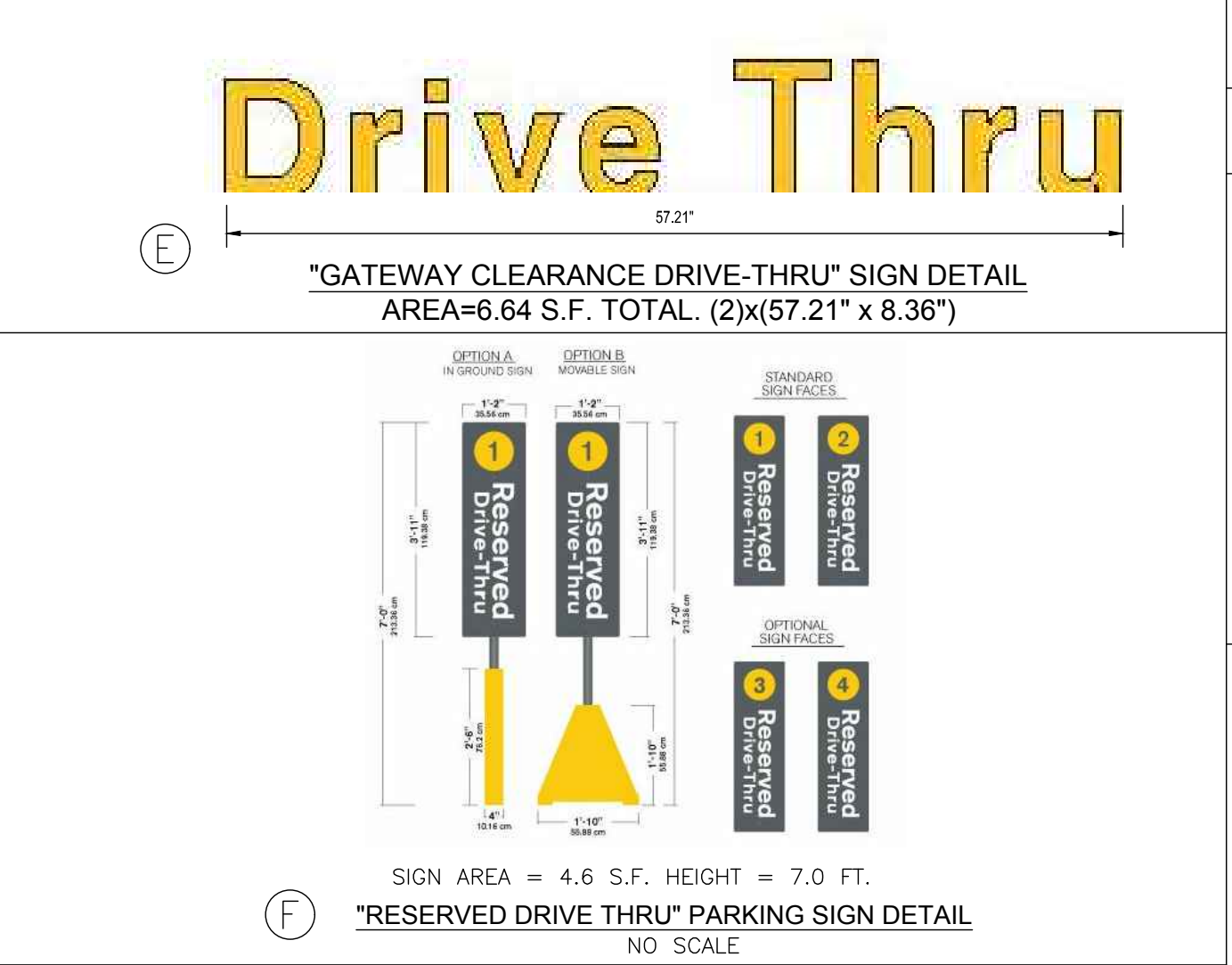
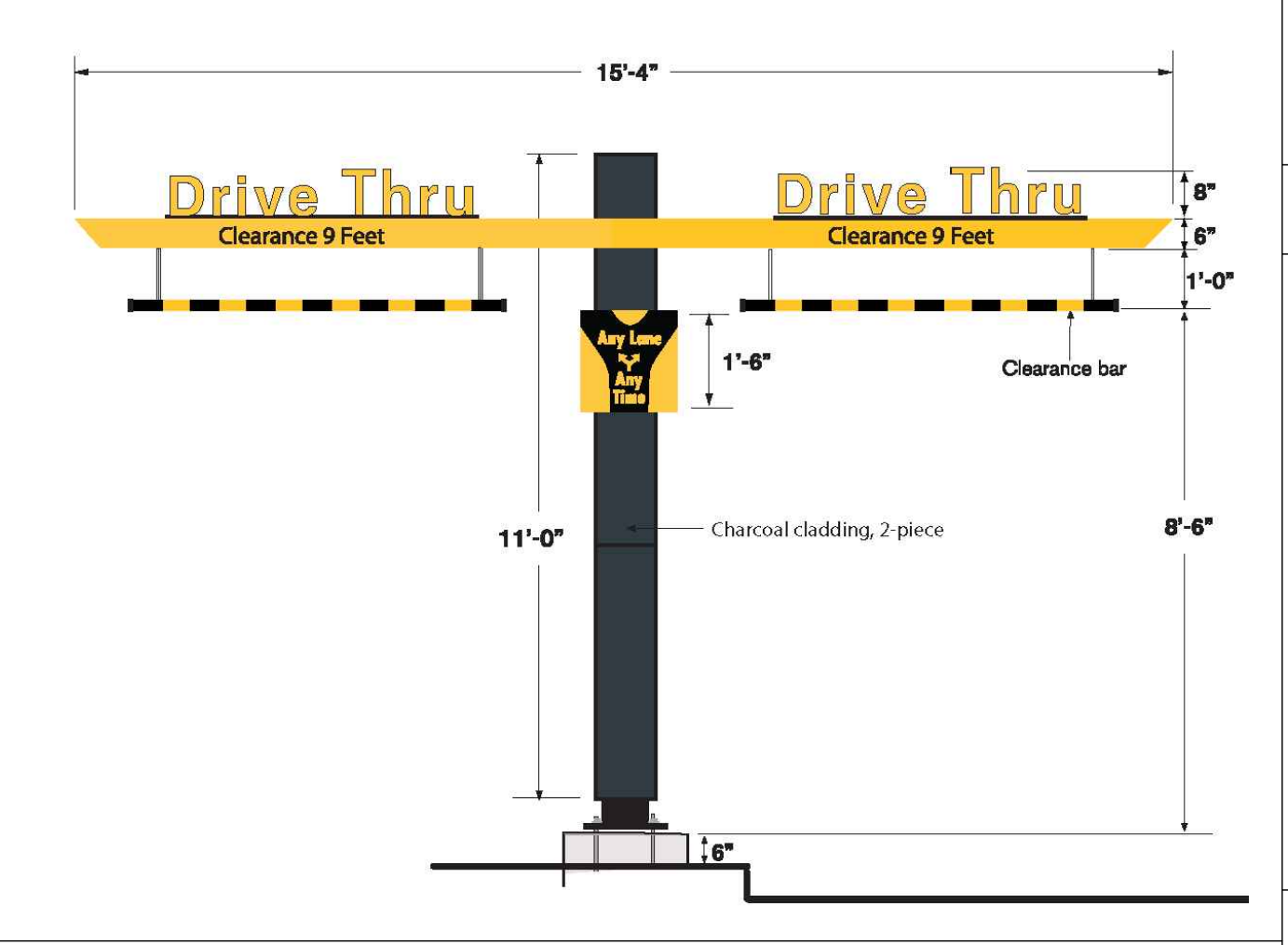
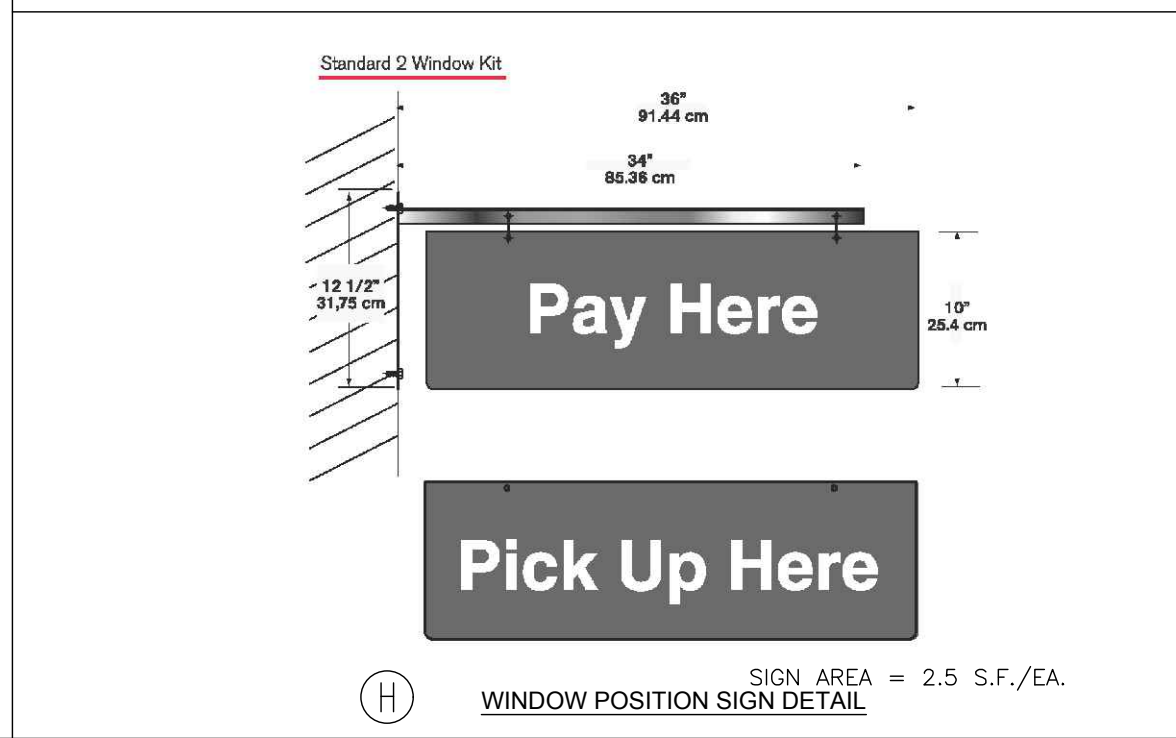
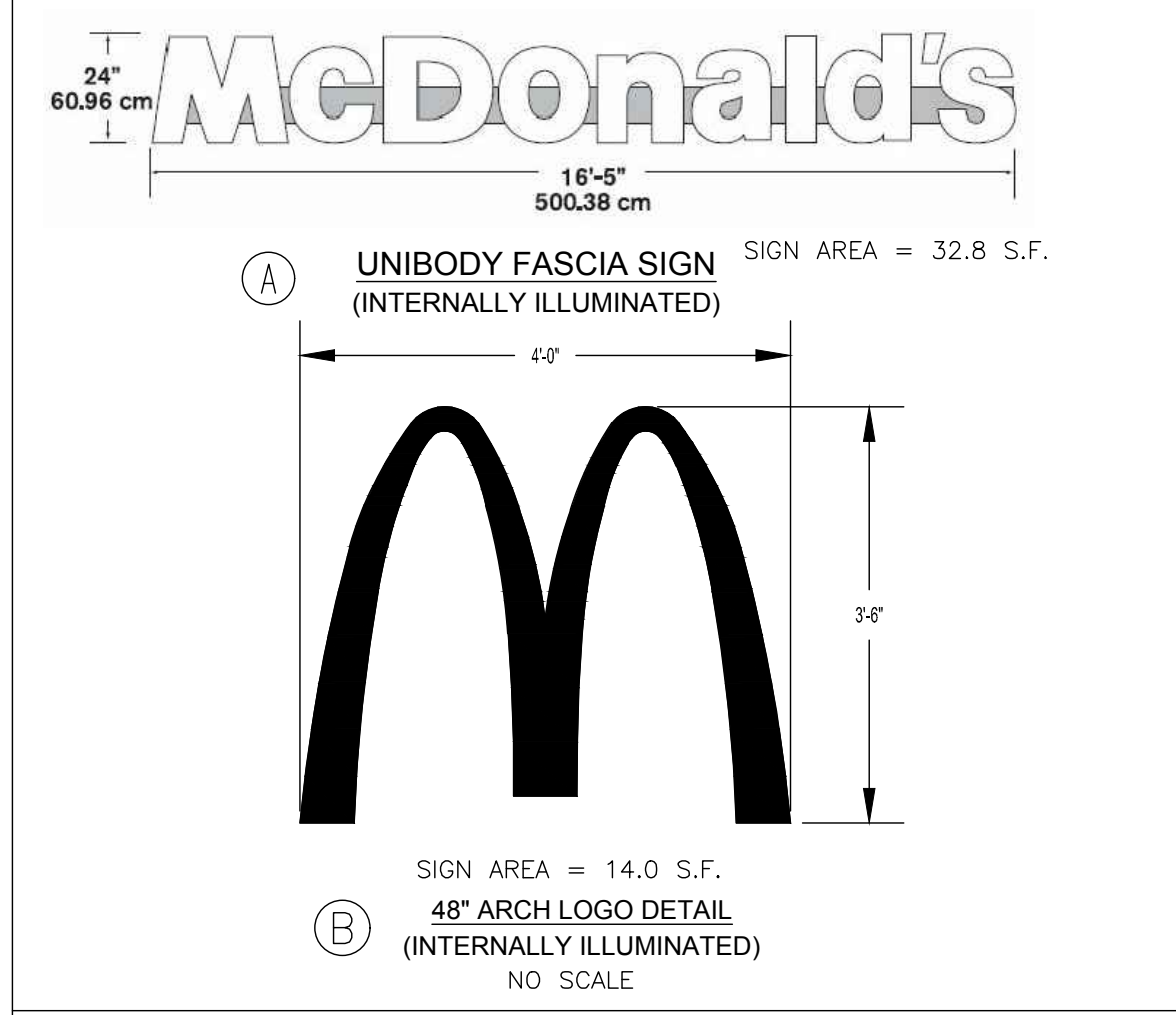
C-2



SIGNAGE PLAN
SCALE: 1" = 20'



NOTE: THE SIGNAGE PLAN SHOWN IS FOR USE AS A REFERENCE ONLY. SIGNAGE PERMITTING IS TO BE COMPLETED BY OTHERS.



REV	DATE	DESCRIPTION	BY	ISSUE REF
1	9/20/18	STAFF COMMENTS	JOR	
2	7/24/19	REVISED SUP APPLICATION	JOR	

FINAL PLAN SIGNATURES

P.M. _____
G.C. _____
O/O _____

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DATE	DATE	DATE	DATE

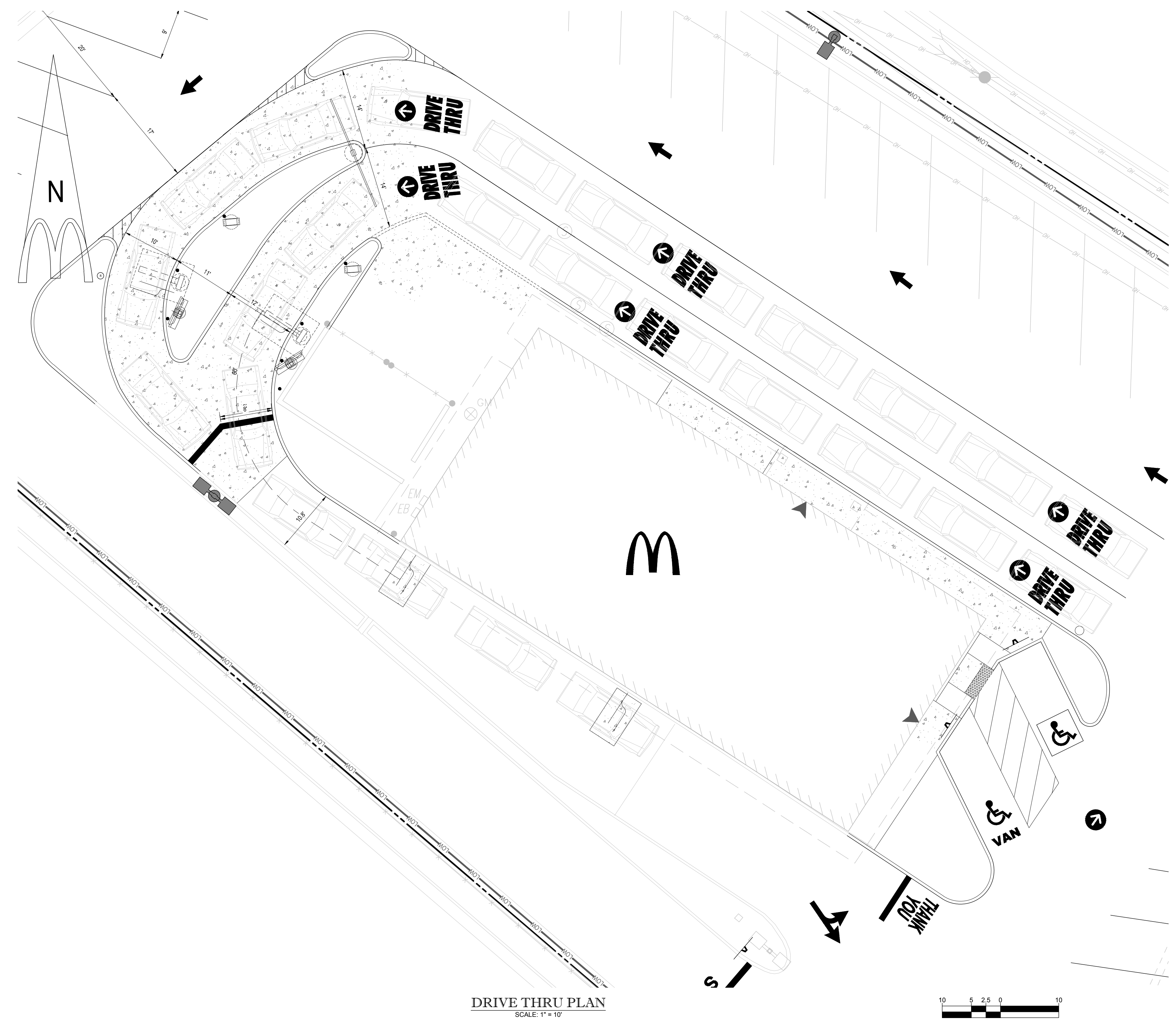
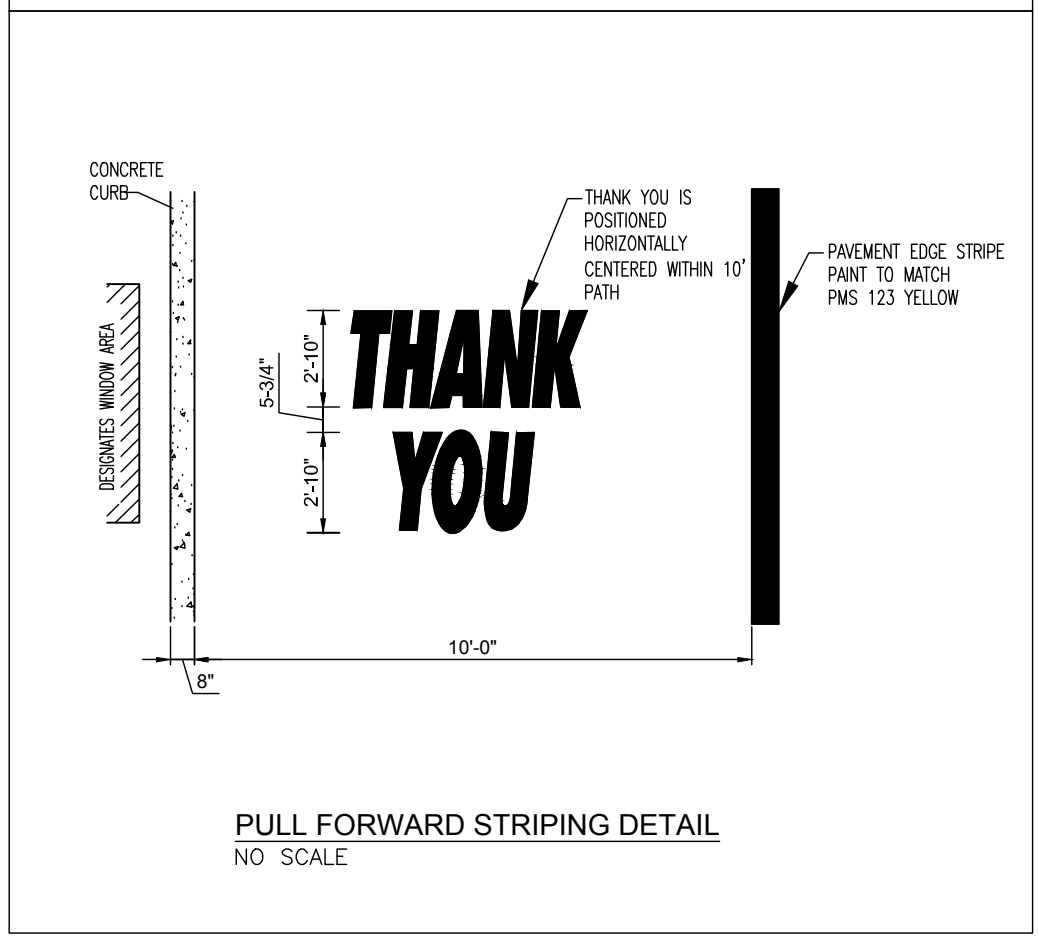
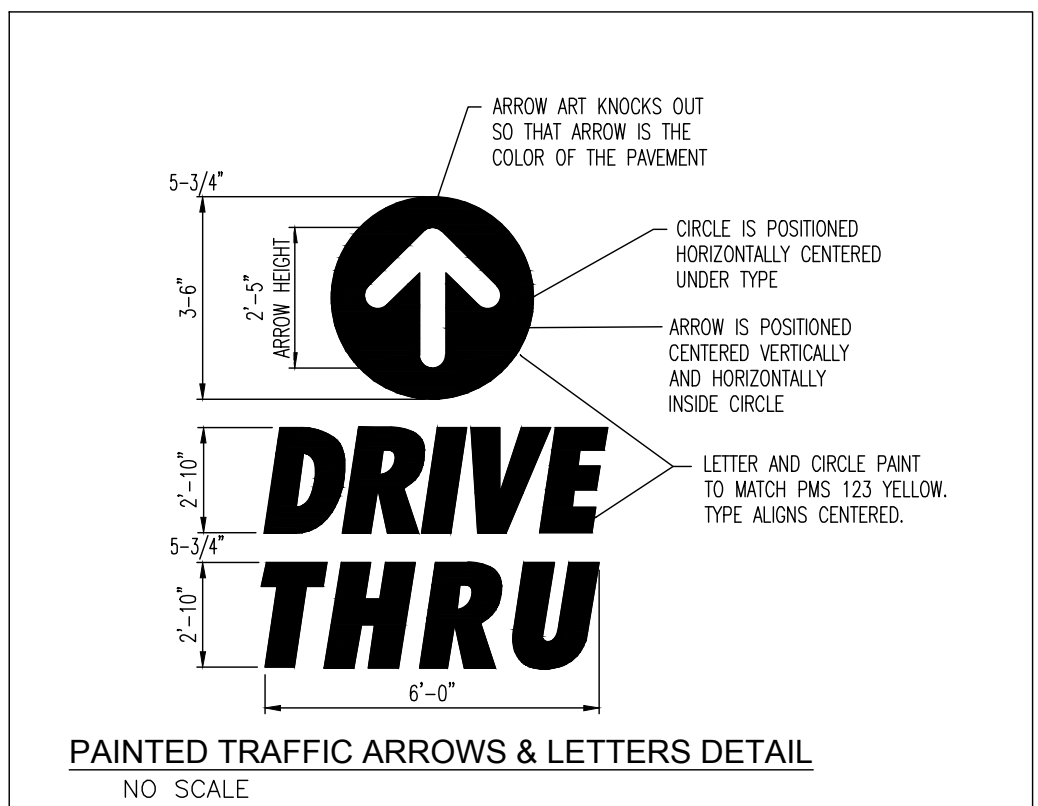
SPECIAL USE PERMIT		STATUS	DATE	BY
PLAN SCALE: AS NOTED		PRELIMINARY	8/28/18	LEO
STREET ADDRESS 6740 LEA BERRY WAY		PLAN CHECKED	8/28/18	LEO
BLOCK NUMBER: 09 LOT NUMBER: 13		AS-BUILT		
DISTRICT: HAYMARKET	COUNTY: PRINCE WILLIAM (TOWN OF HAYMARKET)	STATE: VA		
REGIONAL DWG. NO: LC #45-1159	PLAN DESCRIPTION: SIGNAGE PLAN			
CAD FILE: V175005 SS0				

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WARRENTON, VIRGINIA 20186
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Fax: (540) 349-0321
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◆ BOSTON, MA ◆ SOUTHERN NEW JERSEY ◆ SOUTHEASTERN, PA ◆ NORTHERN VIRGINIA ◆ CHARLOTTE, NC ◆ DALLAS, TX
◆ PHILADELPHIA, PA ◆ PENNSYLVANIA ◆ RICHMOND BEACH, DE ◆ CENTRAL VIRGINIA ◆ ATLANTA, GA

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REV	DATE	DESCRIPTION	BY	ISSUE REF
1	9/20/18	STAFF COMMENTS	JOR	
2	7/24/19	REVISED SUP APPLICATION	JOR	

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 ADDRESS: 6803 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817 (240) 497-9000

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (IF REQUIRED)		PRELIMINARY	8/28/18	LEO
REGIONAL MGR.		PLAN CHECKED	8/28/18	LEO
CONST. MGR.		AS-BUILT		
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES				
CONTRACTOR				
OWNER				

SPECIAL USE PERMIT	
PLAN SCALE: AS NOTED	
STREET ADDRESS 6740 LEA BERRY WAY	
BLOCK NUMBER 09	LOT NUMBER 13
DISTRICT HAYMARKET	COUNTY PRINCE WILLIAM (TOWN OF HAYMARKET)
STATE VA	
REGIONAL DWG. NO. LC #45-1159	PLAN DESCRIPTION DRIVE THRU PLAN
CAD FILE: V175005 SS0	

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 ◆ NEW ENGLAND ◆ NORTHERN NEW JERSEY ◆ LEHIGH VALLEY PA ◆ SOUTHERN MARYLAND ◆ WASHINGTON DC ◆ SOUTH FLORIDA
 ◆ BOSTON MA ◆ SOUTHERN NEW JERSEY ◆ SOUTHEASTERN PA ◆ NORTHERN VIRGINIA ◆ CHARLOTTE NC ◆ DALLAS TX
 ◆ PHILADELPHIA PA ◆ RICHMOND VA ◆ CENTRAL VIRGINIA ◆ ATLANTA GA
 ◆ NEW YORK NY



COUNTY OF PRINCE WILLIAM

5 County Complex Court, Prince William, Virginia 22192-9201
(703) 792-7615 Metro 631-1703 Ext. 7615 FAX (703) 792-4401
www.pwcgov.org/planning

RECEIVED SEP 12 2019

6.1.a

**PLANNING
OFFICE**

Rebecca Horner, AICP, CZA
Director of Planning

September 09, 2019

The attached packet is provided for review and comment from the following agencies:

- County Archaeologist (DS940)
- Crime Prevention Police (MA210)
- Fire Marshal's Office (DS920)
- Historical Commission (DS940)
- Land Development Case Manager (DS940)
- Long Range Planning (DS940)
- Planning Case Planner
- Planning GIS Specialist - JBM (DS940)
- Proffer Administrator (DS940)
- Service Authority (SA317)
- Town of Haymarket
- Transportation Department (DS990)
- VDOT Fairfax (MA290)
- Watershed Management (DS930)

RE: REZ2020-00005, Centre at Haymarket
REZONING, MIXED USE

MAGISTERIAL DISTRICT: 20 - Gainesville

REQUEST: This is a request to rezone ±8.5472 acres from A-1, Agricultural to O(M) Office Mid-Rise.
1st Submission

GPIN(s): 7298-32-4095

Your comments should:

- 1) address the anticipated impacts of the proposal on the goals, policies and action strategies of the 2008 Comprehensive Plan;
- 2) address the anticipated impacts of the proposal on the services of your department;
- 3) address any site specific concerns which are materially relevant to the requested land use decision;
- 4) list minimum development standards which may conflict with the proposed development or require special consideration in the Planning Office's analysis of the proposal.

Your assigned Case Planner is **Brenda Schulte**. Please use **eReview** to submit your comments. Reviewers without eReview access should submit their comments by email to **rthornton@pwcgov.org**.

Your comments should be directed to **Randy Thornton** and received no later than **October 07, 2019**. Your cooperation is appreciated.

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

The attached packet is provided for information only. No comment is necessary from the following:

SUPERVISOR - PETE K. CANDLAND
COMMISSIONER - RICHARD BERRY
BOARD CHAIRMAN - COREY A. STEWART
COMMISSIONER AT LARGE - DON TAYLOR
PLANNING DIRECTOR - REBECCA HORNER
COUNTY ATTORNEY

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)



**WALSH COLUCCI
LUBELEY & WALSH PC**

Jonelle Cameron
(703) 680-4664 Ext. 5132
jcameron@thelandlawyers.com
Fax: (703) 680-6067

August 29, 2019

RECEIVED

2019 AUG 29 P 3:45

PLANNING OFFICE
PRINCE WILLIAM COUNTY

Via Hand Delivery

Meika Daus
Current Planning Manager
Prince William County Planning Office
5 County Complex Court
Prince William, VA 22192

Re: The Centre at Haymarket
Application Documents

Dear Mrs. Daus:

Enclosed please find the following items in connection with an application for a rezoning for the property located at 15600 John Marshall Highway, identified as GPIN 7298-32-4095 (the "Property"). The Property is located at the intersection of John Marshall Highway and Antioch Road.

1. An original, executed Application for Rezoning;
2. A check payable to Prince William County in the amount of \$11,283.53, which represents the filing fee, Service Authority review fee and Traffic Impact Analysis review fee for the rezoning application;
3. Completed Fee Calculation Worksheet;
4. Executed Interest Disclosure Affidavit;
5. Executed Adjacent Property Owners' Affidavit;
6. The names and mailing addresses of the subject property owners within 500 feet of the subject property;
7. A Narrative Statement dated August 23, 2019;
8. Two (2) copies of the vesting Deed for the Property;
9. Three copies of the Phase I Cultural Resources Investigation report entitled "The Centre at Haymarket, Prince William County, Virginia" prepared by Thunderbird Archeology dated August 2019;
10. Five (5) copies of the Proffer Statement dated August 23, 2019;

ATTORNEYS AT LAW

703 680 4664 ■ WWW.THELANDLAWYERS.COM
4310 PRINCE WILLIAM PARKWAY ■ SUITE 300 ■ WOODBRIDGE, VA 22192-5199

ARLINGTON 703 528 4700 ■ LOUDOUN 703 737 3633

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

Meika Daus, Current Planning Manager
 August 29, 2019
 Page 2

11. Five (5) copies with five (5) informational discs of the traffic impact analysis entitled "The Centre at Haymarket Prince William County Virginia," prepared by Kimley-Horn dated August 13, 2019;
12. Fourteen (14) copies of the Environmental Constraints Analysis entitled "The Centre at Haymarket, Prince William County, Virginia," prepared by Wetlands Studies and Solutions, Inc., dated August 13, 2019;
13. Twenty-five (25) full size copies and one (1) 8 ½" x 11" reduction of the general development plan entitled "The Centre at Haymarket O(M) Rezoning," prepared by The Engineering Groupe Inc., dated August 23, 2019; and
14. Twenty-five (25) full size copies and one (1) 8 ½" x 11" reduction of the illustrative exhibit entitled "The Centre at Haymarket O(M) Rezoning," prepared by The Engineering Groupe Inc., dated August 23, 2019.

Once you have had an opportunity to review the application, together with the supporting documents, please contact me immediately if any additional information is required for acceptance. Thereafter, I will look forward to receiving the case planner's summary letter (and copies of the agencies' comments) and to having a post-submission meeting in approximately thirty (30) to forty-five (45) days.

Thank you for your assistance in connection with this application.

Very truly yours,

WALSH, COLUCCI, LUBELEY & WALSH, P.C.

Jonelle Cameron

JMC

Enclosures

cc: Alex Bhagat (*via email only*)
 Denar Antelo (*via email only*)
 Deja Burt (*via email only*)

P0927861.DOC

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

APPLICATION FOR REZONING PROFFER AMENDMENT

TO THE BOARD OF COUNTY SUPERVISORS OF PRINCE WILLIAM COUNTY, VIRGINIA

Project Name: The Centre at Haymarket Rezoning

The undersigned, being all of the owner(s), contract purchasers, or the respective duly authorized agents thereof, do hereby petition to change the zoning of the property described below and shown on the accompanying plans, which are made part of this application, as follows:

GPIN	From:	To	Acre
7298-32-4095	A-1	O(M)	± 8.5472

-OR-

The undersigned propose(s) to amend the proffered conditions of Rezoning # _____

Property Location: Describe the location of the property by distance, in feet or portion of a mile, and direction from an intersection of two (2) public roads or streets:

The Property is located at the intersection of John Marshall Highway and Antioch Road.

The name(s), mailing address(es), and telephone number(s) of owner(s), authorized agent(s), contract purchaser/lessee, and engineer(s) as applicable are (attach additional pages if necessary):

Owner of Property*

Name: Haymarket Town Center LLC
c/o Alex Bhagat
Mailing Address: 3002 Mall Drive Fredericksburg, VA
Fredericksburg, VA 22401
Phone: _____
Email: haymarkettowncenter@gmail.com

Authorized Agent(s)*

Name: Pete Dolan | Jonelle Cameron
Walsh, Colucci, Lubeley & Walsh P.C.
Mailing Address: 4310 Prince William Parkway Ste. 300
Woodbridge VA 22192
Phone: (703) 680-4664
Email: pdolan@thelandlawyers.com | jcameron@thelandlawyers.com

Contract Purchaser/Lessee*

Name: _____
Mailing Address: _____
Phone: _____
Email: _____

Engineer*

Name: Denar Antelo
The Engineering Groupe
Mailing Address: 13580 Groupe Drive, Ste. 300
Woodbridge, VA 22192
Phone: _____
Email: dAntelo@enggroupe.com

*Check the box next to the contact to which correspondence should be sent.

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

**APPLICATION FOR REZONING
SIGNATURE PAGE**

I have read this application, understand its intent, and freely consent to its filing. Furthermore, I have the power to authorize and hereby grant permission to Prince William County officials and other authorized government agents on official business to enter the property as necessary to process this application.

Signed this 13 day of August, 2019

HAYMARKET TOWN CENTER LLC

BY: *ASB*

NAME: Alex Bhagat

TITLE: Developer

(If anyone other than owner is signing, Power of Attorney must be attached.)

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

**NARRATIVE STATEMENT
THE CENTRE AT HAYMARKET
GPIN 7298-32-4095**

Owner/Applicant: Haymarket Town Center LLC

August 23, 2019

Introduction. The Applicant, Haymarket Town Center LLC (hereinafter, the “Applicant”), is the owner of the Property identified as GPIN 7298-32-4095, consisting of approximately ± 8.5472 acres (the “Property”). The Property is located at 15600 John Marshall Highway, which is located at the intersection of John Marshall Highway and Antioch Road. The Property is currently zoned A-1, Agricultural and the Applicant is seeking to rezone the Property to O(M), Office Mid-Rise.

Land Use. The Property is currently zoned A-1, Agricultural, with the proposed rezoning to O(M), Office Mid-Rise, and is designated CEC, Community Employment Center on the Prince William County Comprehensive Plan Long-Range Land Use Map. The proposal is consistent with the CEC long range plan designation.

Community Design. The Property will be appropriate given the surrounding land uses and proposed land use designation. The Applicant has proffered building materials of uses on the Property. In addition, the Applicant is proposing to provide 25 ft. of buffer area along the Property boundary against I-66.

Cultural Resources. A Phase I Cultural Resources Investigation report was submitted as part of this application. The Phase I study indicates that “*no further archaeological investigations are recommended.*”

Economic Development. The proposed office use on the Property is a desirable use and meets the County's objective and has been designated a Targeted Industry. The proposed rezoning is consistent with the County’s objectives of promoting employment opportunities and enhancing the tax base in Prince William County. In addition, tax revenues generated by the proposed development and use of the Property will result in a positive economic benefit to the County. In fact, the proposed use is consistent and promotes the 2017-2020 Strategic Plan by increasing the nonresidential tax base.

Environment. There are no mapped 100-year floodplains or Resource Protection Areas (“RPA”) located on the Property. A more detailed environmental analysis is contained within the Environmental Constraints Analysis submitted with this application.

Fire and Rescue Based on Prince William County’s GIS Public Safety Fire & Rescue Station Finder, the Property appears to be located within a four minute Response Time Area from Station #24, Antioch.

Housing. The proposed rezoning will have no impact on housing.

Libraries. The proposed rezoning will have no impact on the Library Element of the Comprehensive Plan.

Parks and Open Space. The proposed rezoning will have no impact on the demand for park acreage and recreational facilities.

Police/CPTED. Based on the Police Facilities map, it appears that the Property will be served by the Western District Station. The Applicant does not anticipate impacts to the police levels of service to the property. The Applicant can address the CPTED strategies and techniques, in connection with site plan review, when further engineering and design has been completed.

Potable Water. The Property will be served by public water.

Schools. The proposed rezoning will have no impact on schools.

Sewer. The site will be served by public sewer.

Transportation. Please see the traffic impact analysis submitted with this application.

P0920430.DOC

PROFFER STATEMENT

RE: #REZ2020-XXXXX, The Centre at Haymarket
 Applicant/Record Owner: Haymarket Town Center LLC
 Property: 7298-32-4095 (hereinafter, the "Property")
 Gainesville Magisterial District
 Approximately 8.5472 Acres
 A-1, Agricultural to O(M), Office Mid-Rise

Date: August 23, 2019

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following conditions. In the event the above-referenced rezoning is not granted as applied for by the Applicant, these proffers shall be withdrawn and are null and void. The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the site served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

For purposes of reference in this Proffer Statement, the "GDP" shall be that plan prepared by The Engineering Groupe entitled, "The Centre at Haymarket O(M) Rezoning," dated August 23, 2019.

USE AND DEVELOPMENT

1. General Development Plan: The subject Property shall be developed in substantial conformance with the GDP, subject to changes approved by the County in connection with site plan review.
2. Use Parameters: The Property shall be developed in accordance with the O(M) Zoning District. The foregoing shall not preclude consolidation of the Property with any adjacent property or an internal private travelway, the final design and location of which shall be shown on the site plan, in accordance with the Prince William County Design and Construction Standards Manual ("DCSM"). All uses permitted in the O(M) Zoning District shall be permitted on the Property.

PROFFER STATEMENT

#REZ2020-XXXXX

Owner/Applicant: Haymarket Town Center LLC

Date: August 23, 2019

COMMUNITY DESIGN

3. Building Materials: The façade of any building on the Property that is facing and visible from John Marshall Highway shall have as the primary exterior building material stone, wood, brick, architectural concrete masonry unit (e.g., regal stone, split face, precision ground face), precast concrete panels, EIFS (exterior installation and finish systems) or metal panels of architectural grade and quality. Changes to allow additional building materials shall be approved by the Planning Director or his designee prior to the issuance of the building permit. Compliance with this proffer shall be evidenced with the submission of building elevations to the Development Services Land Development Division two weeks prior to the request for a building permit release letter.
4. Landscaping: Landscaping shall be provided in general conformance with the GDP.

ENVIRONMENTAL

5. Monetary Contribution: The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre (\pm 8.5472 acres) for water quality monitoring, drainage improvements and/or stream restoration projects. Said contribution shall be made prior to and as a condition of final site plan approval with the amount to be based on the acreage reflected on the site plan.

FIRE & RESCUE

6. Monetary Contribution: The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$0.61 per square foot of gross building floor area on the Property to be used for fire and rescue services. Said contribution shall be based on the size of the building(s) shown on the applicable site plan(s) (excluding any structured parking) and shall be paid prior to and as a condition of the issuance of a building permit for such building.

TRANSPORTATION

7. Access: Access to the Property shall be provided as shown on the GDP.

PROFFER STATEMENT

#REZ2020-XXXXX

Owner/Applicant: Haymarket Town Center LLC

Date: August 23, 2019

WATER AND SEWER

8. Water and Sewer: The Property shall be served by public sanitary sewer and water, and the Applicant shall be responsible for those improvements required in order to provide such service for the demand generated by the development of the Property.

MISCELLANEOUS

9. Escalator: In the event the monetary contributions set forth in the Proffer Statement are paid to the Prince William Board of County Supervisors within eighteen (18) months of the approval of this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in the Proffer Statement which are paid to the Prince William Board of County Supervisors after eighteen (18) months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid, they shall be adjusted by the percentage change in the CPI-U from that date eighteen (18) months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of 6% per year, non-compounded.

P0921963.DOCX

Attachment: Antioch Rd - Route 55 Centre at Haymarket (4183 : Centre at Haymarket; REZ2020-00005)

DEVELOPMENT SUMMARY:

PARCEL TAX MAP ID#	7096-32-4076
PARCEL AREA	35.5472 AC
EXISTING ZONE	A-1
PROMISED ZONE	02(M)
MAX LOT COVERAGE	60%
MIN OPEN SPACE	20%
MAX FILL	5.48'
MAX HEIGHT	70'
SETBACKS:	
FRONT	25'
REAR	25'
SIDE	25'
MIN. CLEARANCE OVER DRIVEWAY	10'
MIN. CLEARANCE OVER DRIVEWAY	10'

NOTES:

- 1) THE PROPERTY SHOWN HEREON IS LOCATED AT OPN: 748-32-4095 AND IS ZONED A-1.
- 2) THE BOUNDARY SHOWN HEREON IS REFERENCED TO THE 1984 COORDINATE SYSTEM OF THE COMMONWEALTH OF VIRGINIA.
- 3) LANDSCAPING AS SHOWN HEREON IS CONCEPTUAL. SUBJECT TO CHANGE BASED ON FINAL ENGINEERING. POTENTIAL PRESERVATION AREAS SHOWN AS MATCHED ARE PRELIMINARY. SUBJECT TO REVIEW AND APPROVAL BY THE COMMONWEALTH OF VIRGINIA. ANY CHANGES AT SITE PLAN WITH APPROVAL AND/OR COUNTY APPROVAL.
- 4) INTERPRETATION CONNECTION LOCATION SUBJECT TO CHANGE.

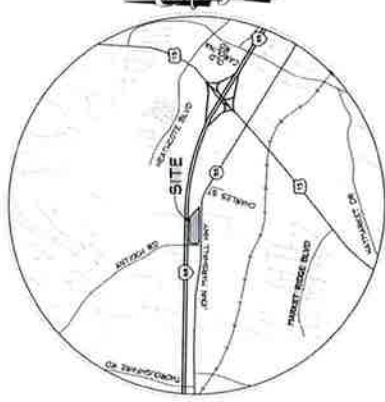
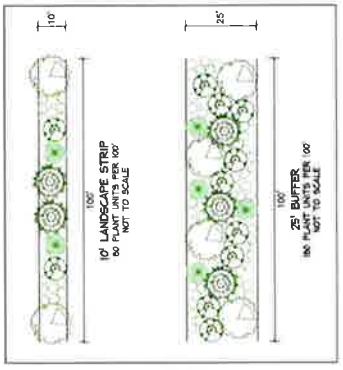
LEGEND:

- REZONING BOUNDARY
- ACCESS POINTS
- POTENTIAL BUFFER PRESERVATION AREAS
- APPROXIMATE LIMITS OF DISTURBANCE

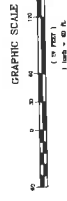
LANDSCAPE LEGEND:

- LARGE DECIDUOUS
- LARGE EVERGREEN
- DECIDUOUS UNDERSTORY
- EVERGREEN UNDERSTORY
- ORNAMENTAL GRASSES/PERENNIALS

LANDSCAPE DETAILS:



VICINITY MAP
SCALE: 1"=2,000'



ENGINEERING GROUP	PROJECT STATUS
DATE	DATE
SCALE	SCALE
REVISION	REVISION
DESIGNED BY	DESIGNED BY
CHECKED BY	CHECKED BY
DATE	DATE
ACTION	ACTION

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**THE CENTRE AT HAYMARKET
GENERAL DEVELOPMENT PLAN
(O)M REZONING
GAINESVILLE MAGISTRAL DISTRICT
PRINCE WILLIAM COUNTY, VIRGINIA**

NO.	DATE	CHANGE REVISIONS

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