



TOWN OF HAYMARKET PLANNING COMMISSION

REGULAR MEETING

~ AGENDA ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Wednesday, May 22, 2019

7:00 PM

Council Chambers

I. Call to Order

II. Pledge of Allegiance

III. Minutes Approval

1. Planning Commission - Work Session - Apr 22, 2019 6:30 PM
2. Planning Commission - Public Hearing/Regular Meeting - Apr 22, 2019 7:00 PM

IV. Citizen's Time

V. Agenda Items

1. Morais Vineyard, Aroma II Site Plan Review

VI. New Business

1. SUP#2019-003, Wonderful Haymarket, LLC - 14901 Washington Street -- Informational Purposes

VII. Old Business

1. SUP#2019-001 - Williams Holdings 6604 & 6608 Jefferson Street, Mixed Use Development

VIII. Architectural Review Board Update

IX. Town Council Update

X. Adjournment



TOWN OF HAYMARKET PLANNING COMMISSION

WORK SESSION ~ MINUTES ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, April 22, 2019

6:30 PM

Council Chambers

A Work Session of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 6:30 PM.

called the meeting to order.

I. Call to Order

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Tony James: Absent, Commissioner Aayush Kharel: Present.

II. Walk to Town Park

After calling the meeting to order, Chairman Caudle invites the Commissioners to walk up to the town park to look at and discuss placement of the playground.

At this time, the Commission leave the Council Chambers to walk to the park.

The Chairman asks Ms. Lockhart to request a joint meeting with the Town Council to discuss playground location.

III. Adjournment

1. Motion to Adjourn

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Matt Caudle, Chairman
SECONDER:	Steve Shannon, Councilman
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

Submitted:

Approved:

Shelley M. Kozlowski, Clerk of the Council

Matt Caudle, Chairman

Minutes Acceptance: Minutes of Apr 22, 2019 6:30 PM (Minutes Approval)



TOWN OF HAYMARKET PLANNING COMMISSION

PUBLIC HEARING/REGULAR MEETING ~ MINUTES ~

Emily Lockhart, Town Planner
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100
Haymarket, VA 20169

Monday, April 22, 2019

7:00 PM

Council Chambers

A Public Hearing/Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Council Chambers, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

I. Call to Order

Chairman Matt Caudle: Present, Councilman Steve Shannon: Present, Commissioner Nicholas Pulire: Present, Commissioner Tony James: Absent, Commissioner Aayush Kharel: Present.

II. Pledge of Allegiance

III. Town Planner Updates

Ms. Lockhart discusses with the Commission regarding public notice and the public hearing process. She states that in the evening's packet is the Town Ordinances and State Code referencing these issues. It is the consensus of the Commission to receive an email prior to the public notice.

1. Public Hearing Process and Notifications

IV. Minutes Approval

1. Planning Commission - Regular Meeting - Mar 18, 2019 7:00 PM
Councilman Shannon moves *to accept the minutes from the March 18, 2019 Planning Commission meeting*. Commissioner Pulire seconds the motion.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Steve Shannon, Councilman
SECONDER:	Nicholas Pulire, Commissioner
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

V. Public Hearing -- SUP#2019-001, Williams Holdings, 6604 & 6608 Jefferson Street

Chairman Caudle opens the public hearing.

Maria Turner, 6791 Fayette Street, addresses the Commission. Likes the look of the project, however, shares concerns with traffic, infill and lack of sidewalks with this proposed development.

Bob Weir, 6853 St. Paul Drive, questions why they are deviating from past practice. He feels that this process for this application is not best practice or transparent. Feels the application is not ready for prime time and incomplete. Shares concerns with the dimensions of the building, traffic impact and a special use permit definition for the proposed use. Recommends returning this to the applicant and scheduling a new public hearing after it is complete and Planning staff comments are addressed.

Joseph Pasanello, former Councilman and Vice Mayor, agrees with most of the comments made this evening and feels the process is backwards. He asks that the Commission take their time with this proposed development.

With no one else to speak, the Chairman closes the public hearing.

1. SUP#2019-001, Williams Holdings 6604 & 6608 Jefferson Street, Mixed Use Development

Minutes Acceptance: Minutes of Apr 22, 2019 7:00 PM (Minutes Approval)

VI. Citizen's Time

Maria Turner, expresses concerns with the proposed two houses on the corner of Fayette and Jefferson specifically traffic and parking. Also shares concerns with the Quiet Zone being dropped from the budget and should look at developments in close proximity to subsidize the Quiet Zone as well as clean up the creek. She also states that she would like to remind Chief Lands that Fayette is a no thru truck road. She concludes that if the homes are not demolished before Zip Trip, she recommends canceling.

Joe Pasanello, thanks the Planning Commission for keeping the Quiet Zone in the CIP and discusses some funding options.

Bob Weir, St. Paul Drive, also shares concerns about the Quiet Zone expenditures and grants and references town minutes from January 6, 2014.

Dottie Leonard, 14801 Washington Street, expresses to the commission to use their sound wisdom when making a decision on tonight's proposed development.

With no one else to speak, Chairman Caudle closes Citizen's Time.

VII. Agenda Items

1. Crossroads Village Center Final Site Plan Review

Town Planner, Emily Lockhart, addresses questions that she received from Commissioner Pulire.

Mike Massey from the engineering firm of Ross France, addresses the Commission to discuss the pedestrian access and community speed limit as well as pump station regarding landscaping and buffering, odor and noise. He also addresses a question concerning playgrounds in the commercial area. Mr. Massey states that it is not conducive, however, there will be outdoor seating areas. He also addresses questions about pad site 1, 2, and 3. He states that right now they are just pad sites with no defined users. Commissioner Pulire shares concerns with pedestrian/vehicle interaction in the B-2 zone.

Igor Levine, applicant, speaks more on the pump stations stating that they will sit back roughly a couple hundred feet or more from Sherwood Forest and there will be a 6 foot fence.

Commissioner Kharel *moves the Haymarket Planning Commission approve the Crossroads Village Center Final Site Plan with a conditional approval. The approval shall be conditional on the following items being addressed and approved by the Town Planner and Town Engineer; outstanding landscape comments, additional screening and buffering for the pump station and traffic calming.* Councilman Shannon seconds the motion.

There is no discussion on the motion.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Aayush Kharel, Commissioner
SECONDER:	Steve Shannon, Councilman
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

2. Haymarket Diner Site Plan, 6608 James Madison Highway

Ms. Lockhart gives a brief history of the property and explains plans for the parking lot.

Councilman Shannon *moves the Haymarket Planning Commission approve the Haymarket Diner Site Plan for 6608 James Madison Highway.* Commissioner Kharel seconds the motion.

There is no discussion on the motion.

Minutes Acceptance: Minutes of Apr 22, 2019 7:00 PM (Minutes Approval)

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Steve Shannon, Councilman
SECONDER:	Aayush Kharel, Commissioner
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

VIII. New Business

1. SUP#2019-001 - Williams Holdings, 6604 & 6608 Jefferson Street Special Use Permit

Ms. Lockhart shares concerns with the number of units proposed as well as the size of the building. Regarding the second concern, she indicates that there is a revised submission that is in the agenda packet.

The applicant, Michelle Williams, addresses the Commission. She introduces her team and describes her plan for her proposed building. She states that this is a mixed use development. She adds that the building will be 4 stories with 5 retail spaces on the ground level and 28 condominiums (1 and 2 bedrooms) with a large terrace and 63 parking spaces. She further adds that they plan on building the building to the property line in the front and a 10 foot buffer in the back. She further describes the elevations of the building and landscaping. She concludes that there are 3 special exceptions that she is asking from the town which include parking space exceptions, landscape buffer exception and building to the lot line in the front.

Questions and concerns from the Commission include traffic congestion, setback requirements and overflow parking.

Ms. Lockhart recommends to defer a decision this evening until some of the questions concerning the project can be addressed.

2. Morais - Aroma II Site Plan Review

Ms. Lockhart gives a brief overview of the applicant's site plan.

Lee Baines, Civil Engineer for Morais properties, addresses the Commission. He discusses parking, exit/entrances on the property, landscape buffer, lighting and hours of operation with the Commission and Town Planner. The Commission defers action until the next meeting.

Chairman Caudle asks the Town Planner to reach out to the neighbors to update them on the plans.

IX. Old Business

1. McDonald's Site Plan Review, 6740 Lea Berry Way

Ms. Lockhart shares the proposed revisions to the McDonald's site plan. She states that one of the conditions was that they return to the Planning Commission. She adds that they are closing the first entrance to help resolve some of the stacking issues and that there will only be one exit and entrance into the parking lot. She further adds that she and the Town Engineer are still addressing some comments, however, she states that if the Commission feels ready she recommends a conditional approval.

Councilman Shannon *moves that the Haymarket Planning Commission approve the McDonald's site plan as presented with a conditional approval. The conditions would be to address all outstanding Town Engineer and Town Planner comments.* Commissioner Pulire seconds the motion.

There is no discussion on the motion.

2. Motion

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Steve Shannon, Councilman
SECONDER:	Nicholas Pulire, Commissioner
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

X. Architectural Review Board Update

Commissioner Kharel, ARB Liaison, states that the ARB had just a few typical COAs at the last meeting.

XI. Town Council Update

Councilman Shannon, Town Council Liaison, states that they voted on the Crepe Myrtle trees and discussed the Town Center, Proposed Budget and Sherwood Forest.

Ms. Lockharts adds that due to a scheduling conflict with a Town Council meeting, the Planning Commission May meeting will need to be rescheduled. The Commission agrees on May 22, 2019.

XII. Adjournment

1. Motion to Adjourn

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Steve Shannon, Councilman
SECONDER:	Aayush Kharel, Commissioner
AYES:	Matt Caudle, Steve Shannon, Nicholas Pulire, Aayush Kharel
ABSENT:	Tony James

Submitted:

Approved:

Shelley M. Kozlowski, Clerk of the Council

Matt Caudle, Chairman

Minutes Acceptance: Minutes of Apr 22, 2019 7:00 PM (Minutes Approval)



Emily K. Lockhart
Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart

DATE: May 16, 2019

SUBJECT: Aroma II, Morais Vineyard, 14871 Washington Street

The applicant, Morais Vineyard has addressed the Town Engineer's comments and other outside agency comments. I am awaiting the Town Engineer's second comment sheet and will present it at the Planning Commission meeting.

Per discussion with the Planning Commission and the Architectural Review Board, the applicant has supplied a revised Landscape Plan to address the concerns. The new landscaping plan adequately addresses the concerns.

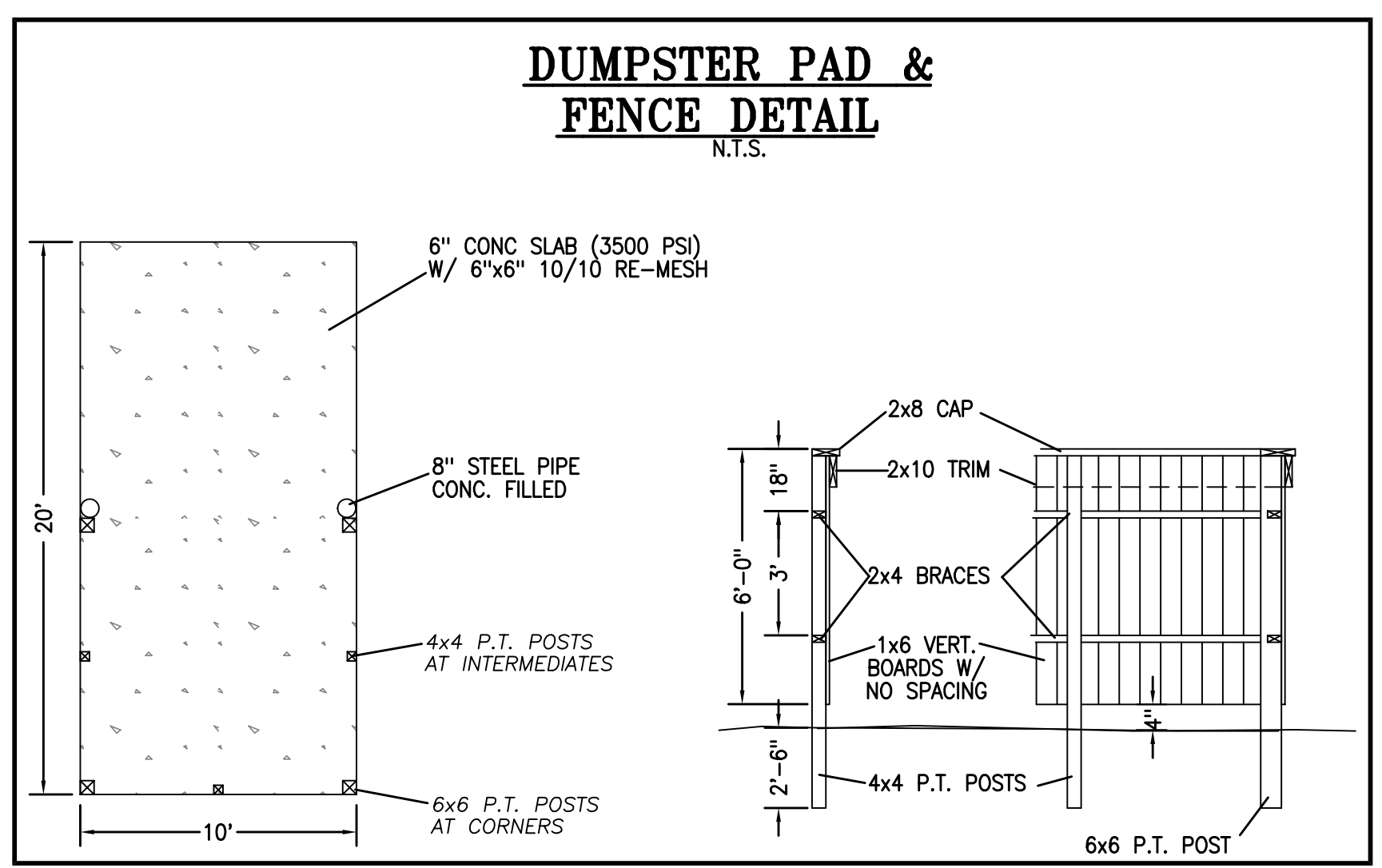
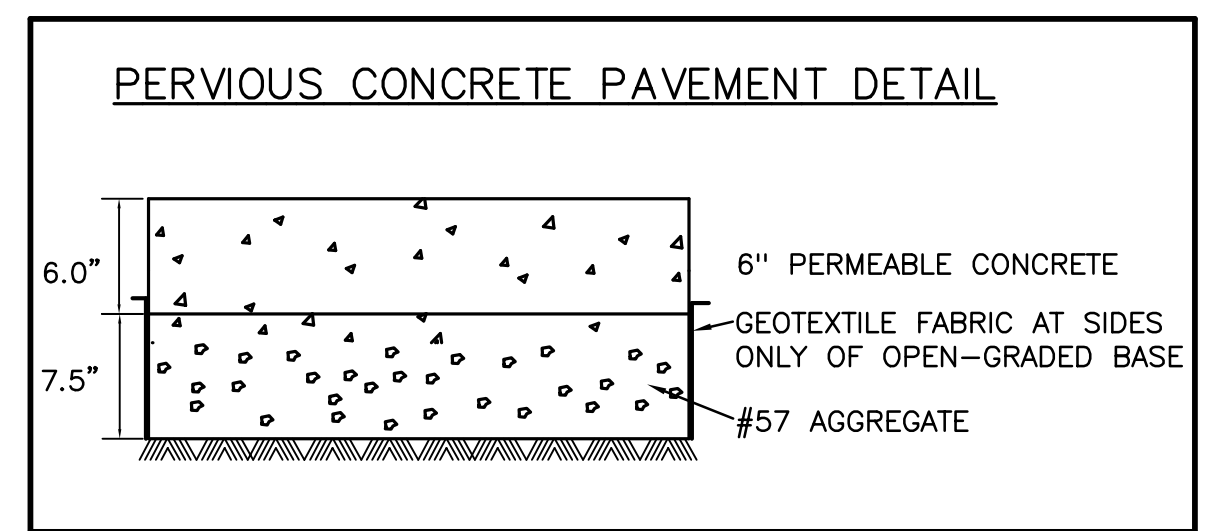
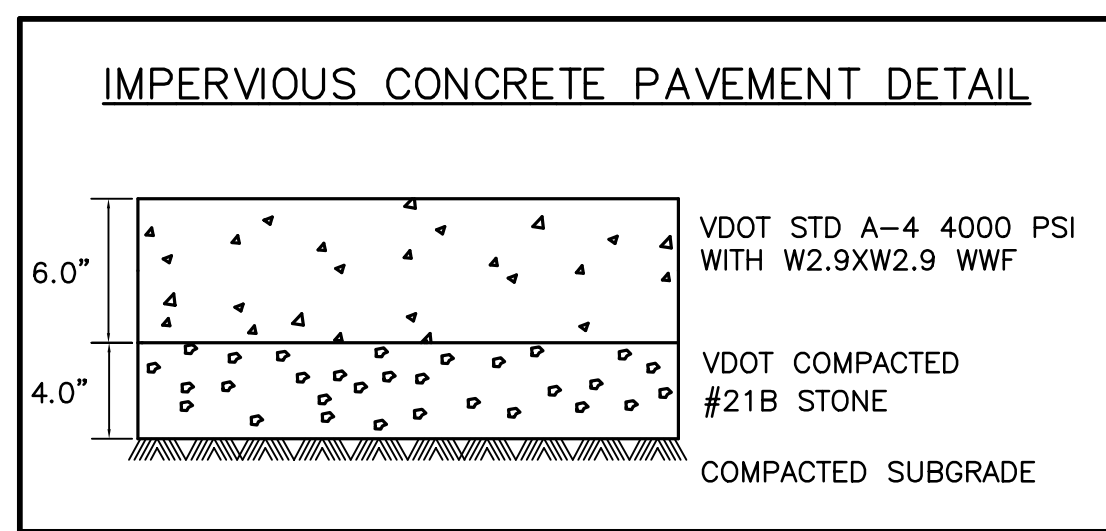
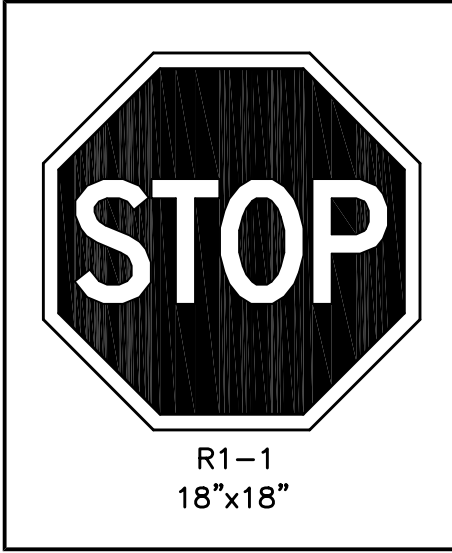
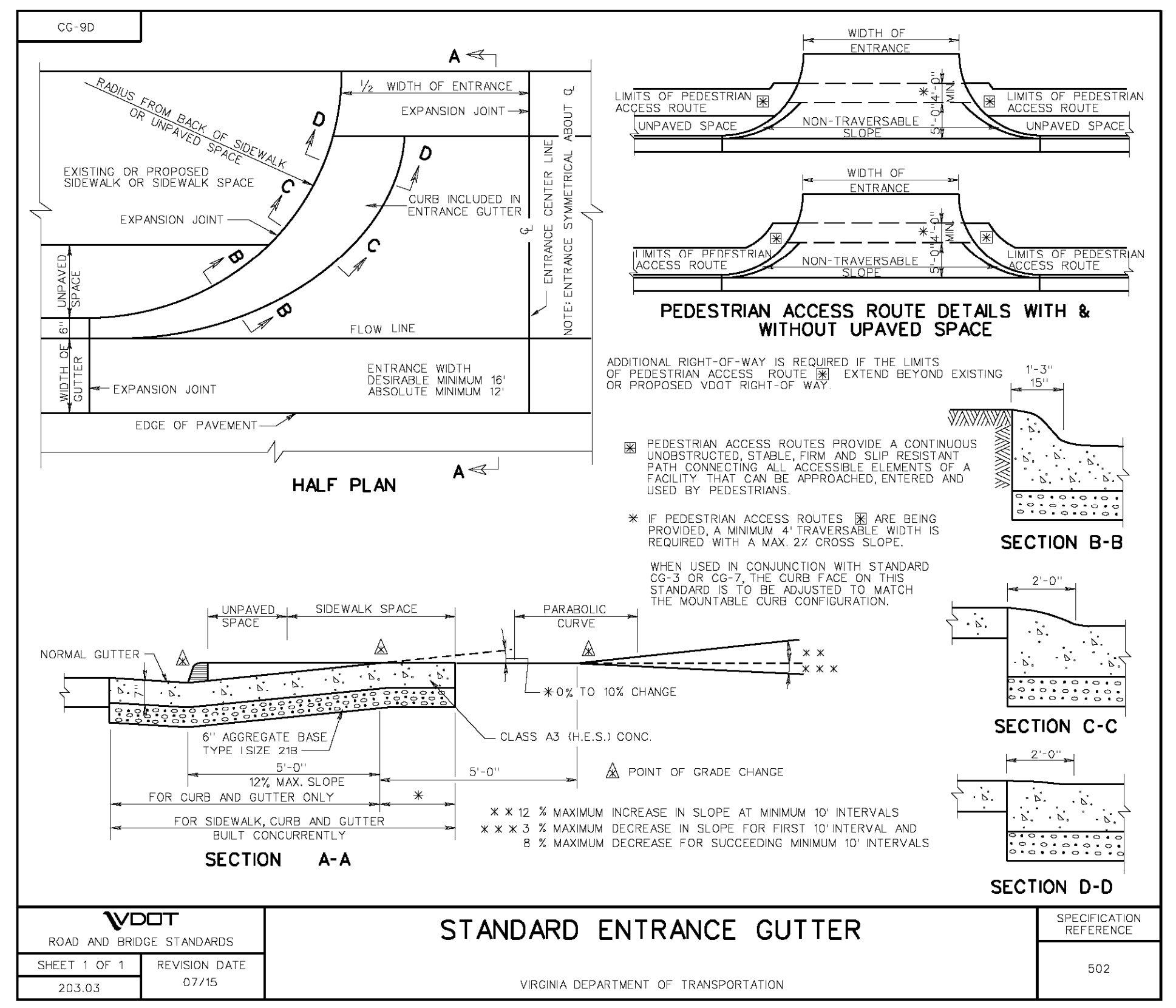
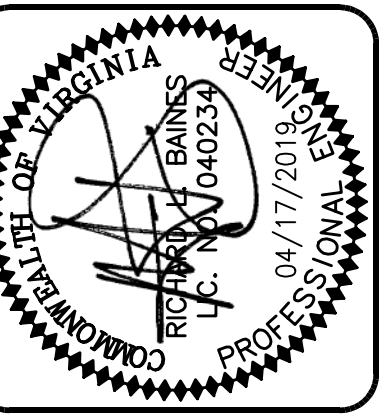
Town Planner recommends Conditional Approval for the Morais Site Plan. The approval is conditional on all outstanding comments are addressed and shown to the Town Planner prior to final signatures.

Draft Motion:

"I move the Planning Commission to approve the Aroma II Site Plan with the condition that all outstanding comments from the Town Engineer be addressed prior to the final approval."

Or Alternate Motion.

Attachment: Morais Memo (4042 : Morais Vineyard, Aroma II Site Plan Review)



SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:
 4-17-2019 PER COMMENTS

PWCSA NOTES

GENERAL NOTES

This plan approval is to permit a residential water connection to the existing utilities in Washington Street. This approval is valid until June, 2020. PWCSA does not guarantee the location, condition, or material of the existing utilities. The project is responsible to perform all work necessary to make the desired service connections. Other requirements may be applied pending how utilities and field conditions truly exist.

Pre-Construction Requirements:

1. The property owner must secure the professional services of a qualified contractor to perform the required work. The Service Authority only provided inspection service. Other than the meter, PWCSA does not provide and materials.

Construction Requirements:

1. PWCSA tap fees must first be paid.
2. A PWCSA utility permit will not be required; however the property owner is subject to acquire the necessary permits for the proposed work, including but not limited to, a plumbing permit from Prince William County and a VDOT permit to work on the road.
3. The contractor shall call 703-898-3433 and schedule a pre-construction meeting with PWCSA inspection staff prior to executing work.
4. All construction shall comply with applicable PWCSA Utility Standards Manual and Details.
5. All PWCSA punch list items shall be addressed to the satisfaction of the PWCSA Inspector prior to installing a water meter.
6. Information provided in this sketch plan is provided "as-is" without warranties of any kind, expressed or implied, including but not limited to warranties of accuracy for any particular purpose or use. The Service Authority will be held harmless from any direct or indirect claim based on this data. The Service Authority is not responsible for assumptions, calculations, designs or construction activities making use of, or derived from this plan. The Service Authority strongly recommends that all elements of the existing infrastructure important to the design and construction of a project be checked by a professional engineer or surveyor.

Water Requirements:

1. The water line from the meter to the house is to be privately owned and maintained. The private service line must be sized appropriately to compensate for pressure losses due to friction of the line size.
2. The water tap shall be made with a stainless steel saddle. It is up to the owner to determine if an internal water booster pump is necessary to provide desired water pressure in the house. It is up to the owner to determine if a pressure reducing valve (PRV) is needed to moderate pressures in the house. The Service Authority recommends use of an expansion tank with internal plumbing to relieve pressure spikes. The Service Authority is not responsible for the effects of water system pressures on the design of private residential fire suppression systems.
3. The existing well shall be abandoned per state and local requirements within 45 days of connecting the house to the public service.
4. If there is an existing well, the well will be disconnected from the house prior to connecting to the public system. There will be no cross connection between the public supply and the well supply.

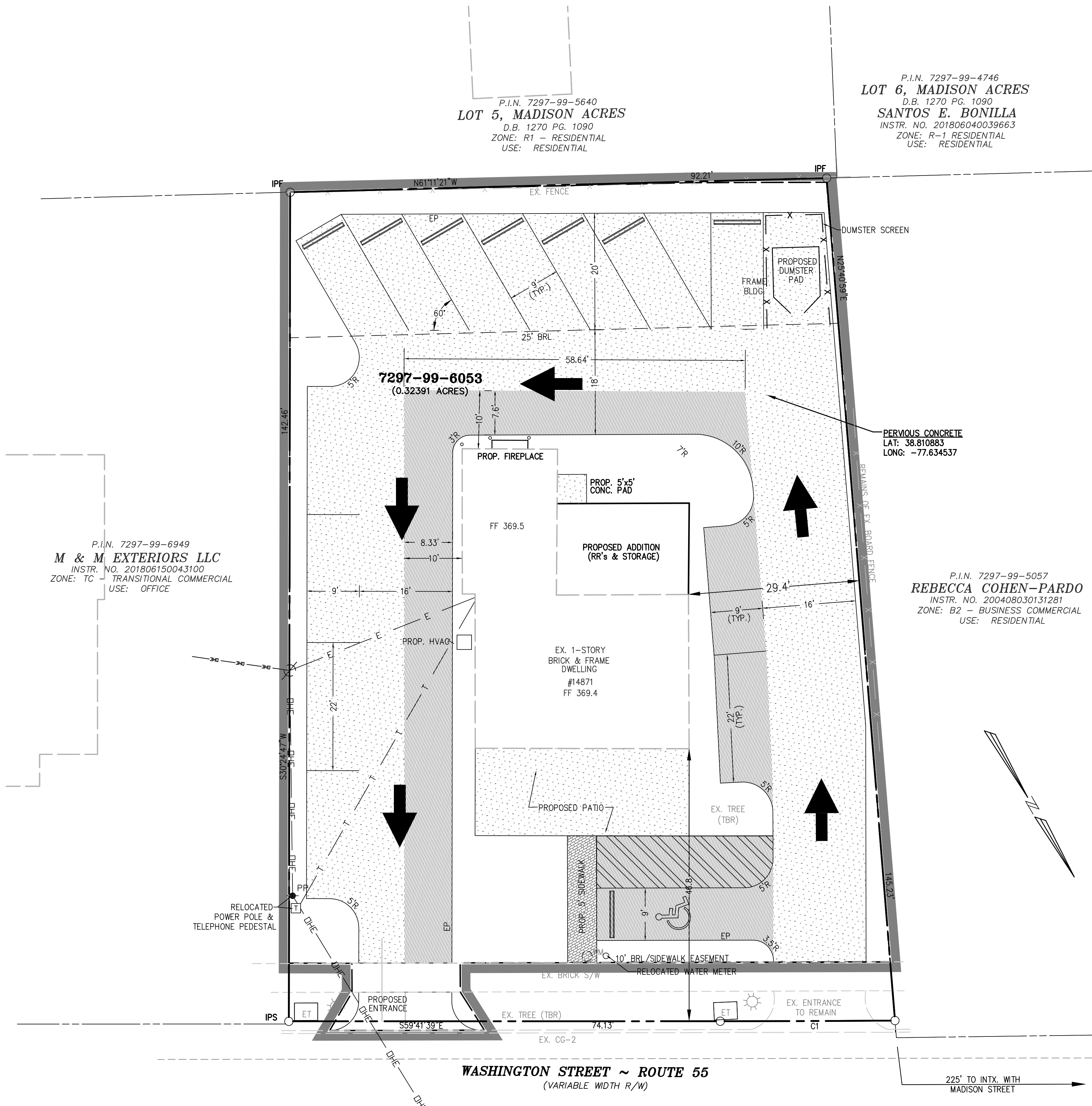
WATER METER SIZING CALCULATIONS	
FIXTURE	WSFU's
DISHWASHER	1.4
ICEMAKER	2.8
SERVICE SINKS	3.0
BAR SINK	4.0
PANTRY SINK	2.0
2 LAVATORIES, PUBLIC	4.0
1 URINAL, PUBLIC, FLUSH TANK	3.0
2 WATER CLOSET, PUBLIC, TANK	10.0
TOTAL:	30.2
GALLONS PER MINUTE DEMAND = 23.3	
METER SIZE REQUIRED: 1"	

P.I.N. 7297-99-6949
M & M EXTERIORS LLC
 INSTR. NO. 201806150043100
 ZONE: TC TRANSITIONAL COMMERCIAL
 USE: OFFICE

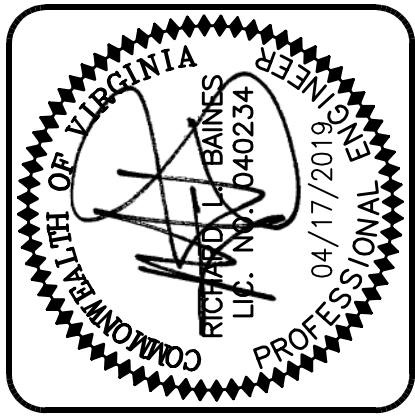
P.I.N. 7297-99-4746
LOT 6, MADISON ACRES
 D.B. 1270 PG. 1090
SANTOS E. BONILLA
 INSTR. NO. 201806040039663
 ZONE: R-1 RESIDENTIAL
 USE: RESIDENTIAL

LEGEND

- IMPERVIOUS CONCRETE
- PERVIOUS CONCRETE
- LIMITS OF CONSTRUCTION



HINCHEY & BAINES, PLC
 ENGINEERING AND LAND PLANNING
 PHONE (540) 829-2220
 FAX (540) 829-2239
 125 EAST DAVIS STREET
 SUITE 201
 CULPEPER, VIRGINIA 22701



GEOMETRIC LAYOUT PLAN
AROMA II
 SITE PLAN
 TOWN OF HAYMARKET, VIRGINIA

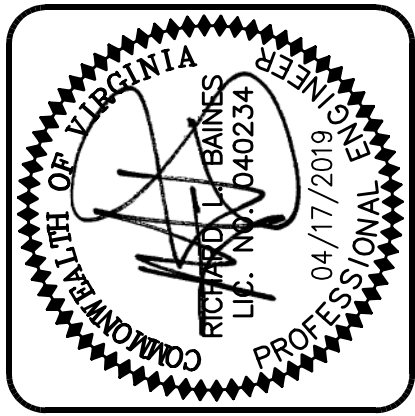
SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:
 4-17-2019 PER COMMENTS

SHEET 4 OF 12
 FILE NO. 1402

HINCHEY & BAINES, PLC
ENGINEERING AND LAND PLANNING
 PHONE (540) 829-2220
 FAX (540) 829-2239
 125 EAST DAVIS STREET
 SUITE 201
 CULPEPER, VIRGINIA 22701



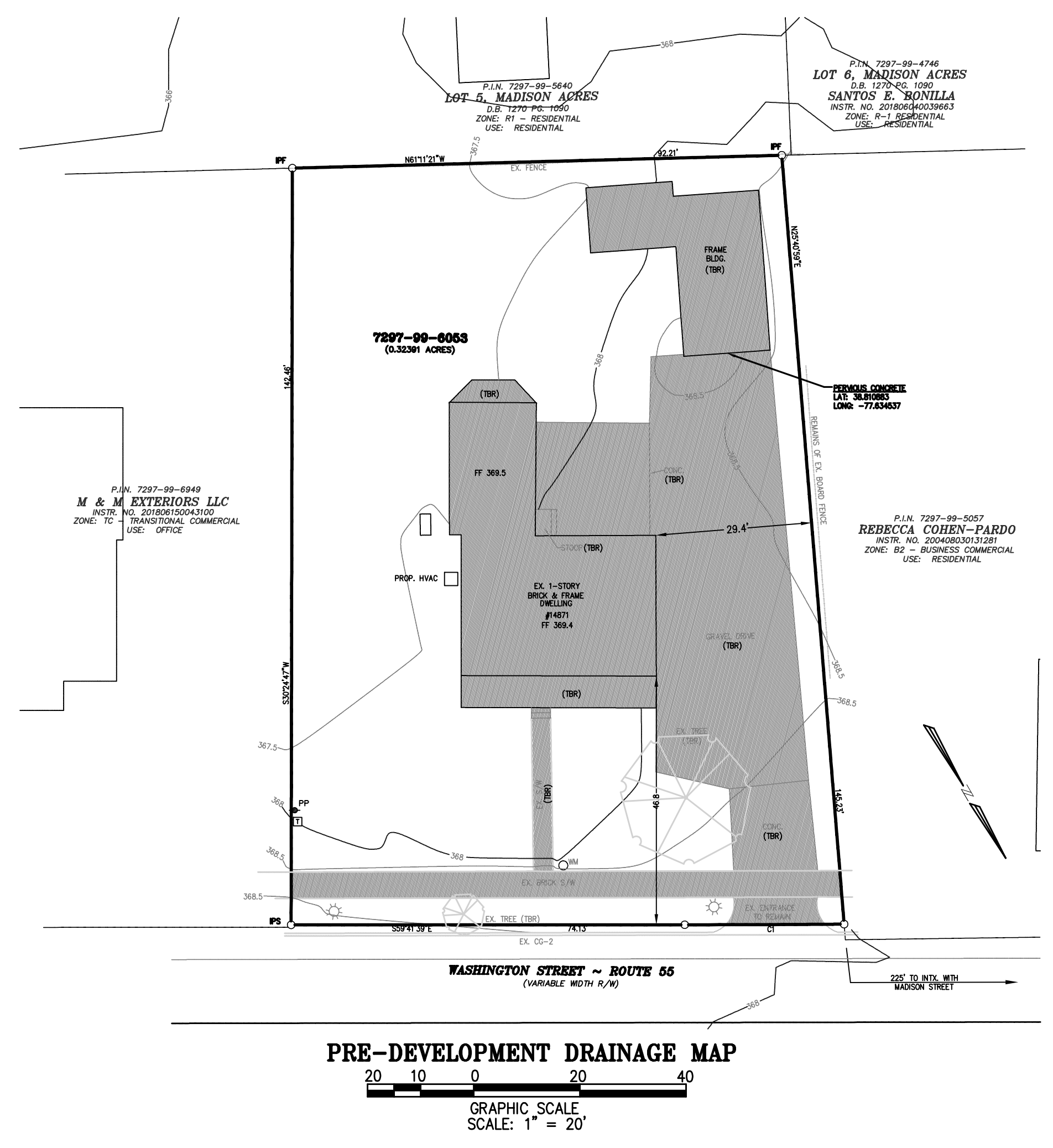
DRAINAGE MAPS FOR WATER QUALITY PURPOSES
AROMA II
SITEPLAN
 TOWN OF HAYMARKET, VIRGINIA

SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:
 4-17-2019 PER COMMENTS

SHEET **6** OF **12**
 FILE NO. **1402**



PRE-DEVELOPMENT
 (ALL 'C' SOILS)

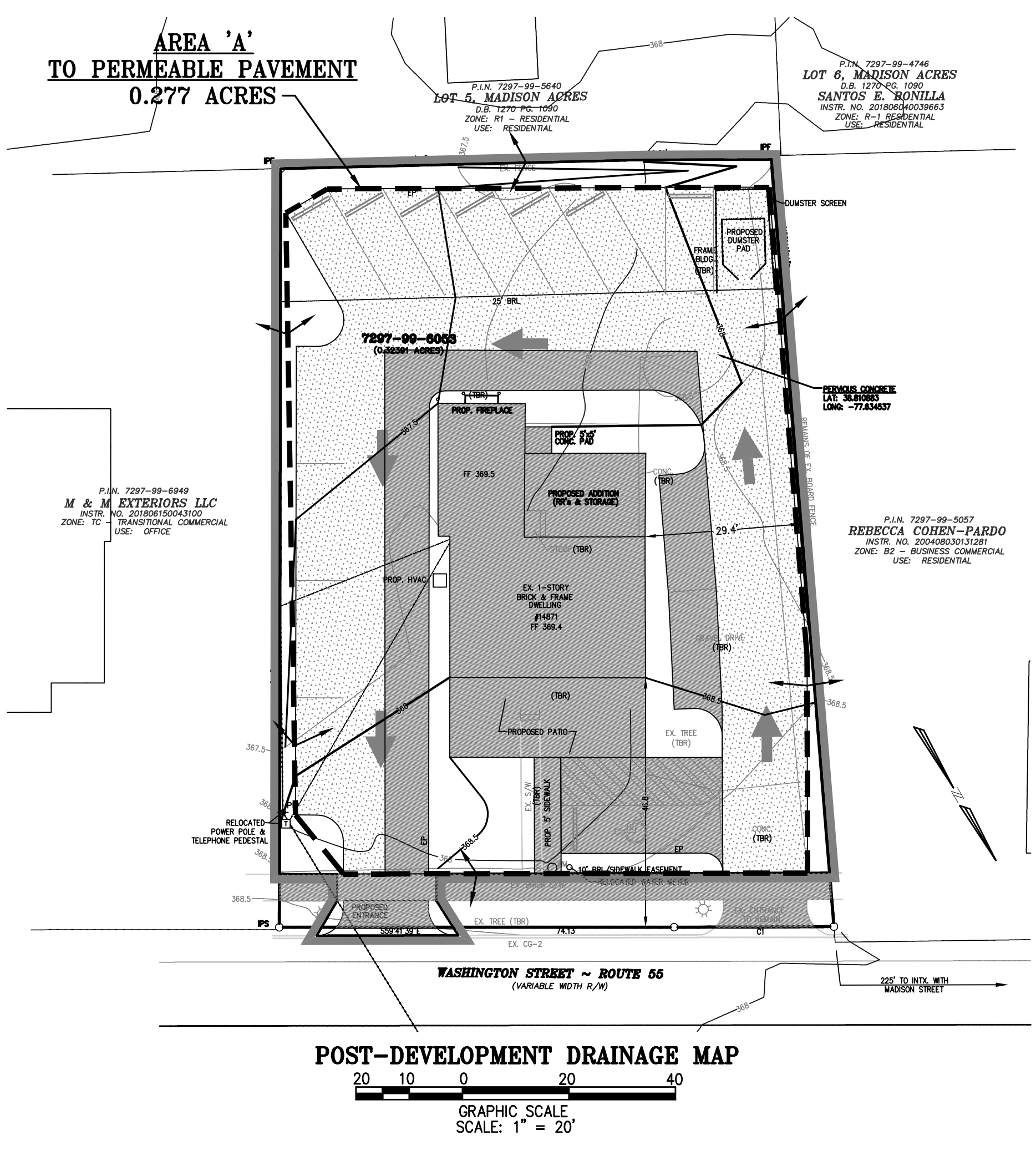
IMPERVIOUS AREA:	0.134 ACRES
TURF:	0.190 ACRES
TOTAL:	0.324 ACRES

LEGEND

- IMPERVIOUS CONCRETE
- PERVIOUS CONCRETE
- LIMITS OF CONSTRUCTION
- DRAINAGE DIVIDE

SOILS DATA

MAP SYMBOL	SOIL NAME	HYDRIC %	K-FACTOR	HYDRO LOGIC SOIL GROUP	DEPTH (IN.)	SATURATED HYDROLOGIC CONDUCTIVITY (IN/HR)	AVAILABLE WATER CAPACITY (%)	FLOODING FREQUENCY CLASS
4B	ARCOLA SILT LOAM, 2-7%	5	.43	.43	C	28"	0.66	14



AREA A - TO PERMEABLE PAVEMENT
 (ALL 'C' SOILS)

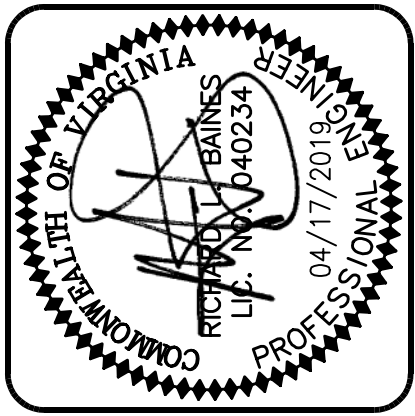
IMPERVIOUS AREA:	0.099 ACRES
PERMEABLE PAVEMENT:	0.132 ACRES
TOTAL PAVED/IMPERVIOUS:	0.231 ACRES
TURF:	0.046 ACRES
TOTAL:	0.277 ACRES

AREA B - BYPASS
 (ALL 'C' SOILS)

IMPERVIOUS AREA:	0.016 ACRES
TURF:	0.031 ACRES
TOTAL:	0.047 ACRES

TOTAL POST-DEVELOPMENT
 (ALL 'C' SOILS)

IMPERVIOUS AREA:	0.115 ACRES
PERMEABLE PAVEMENT:	0.132 ACRES
TOTAL PAVED/IMPERVIOUS:	0.247 ACRES
TURF:	0.077 ACRES
TOTAL:	0.324 ACRES

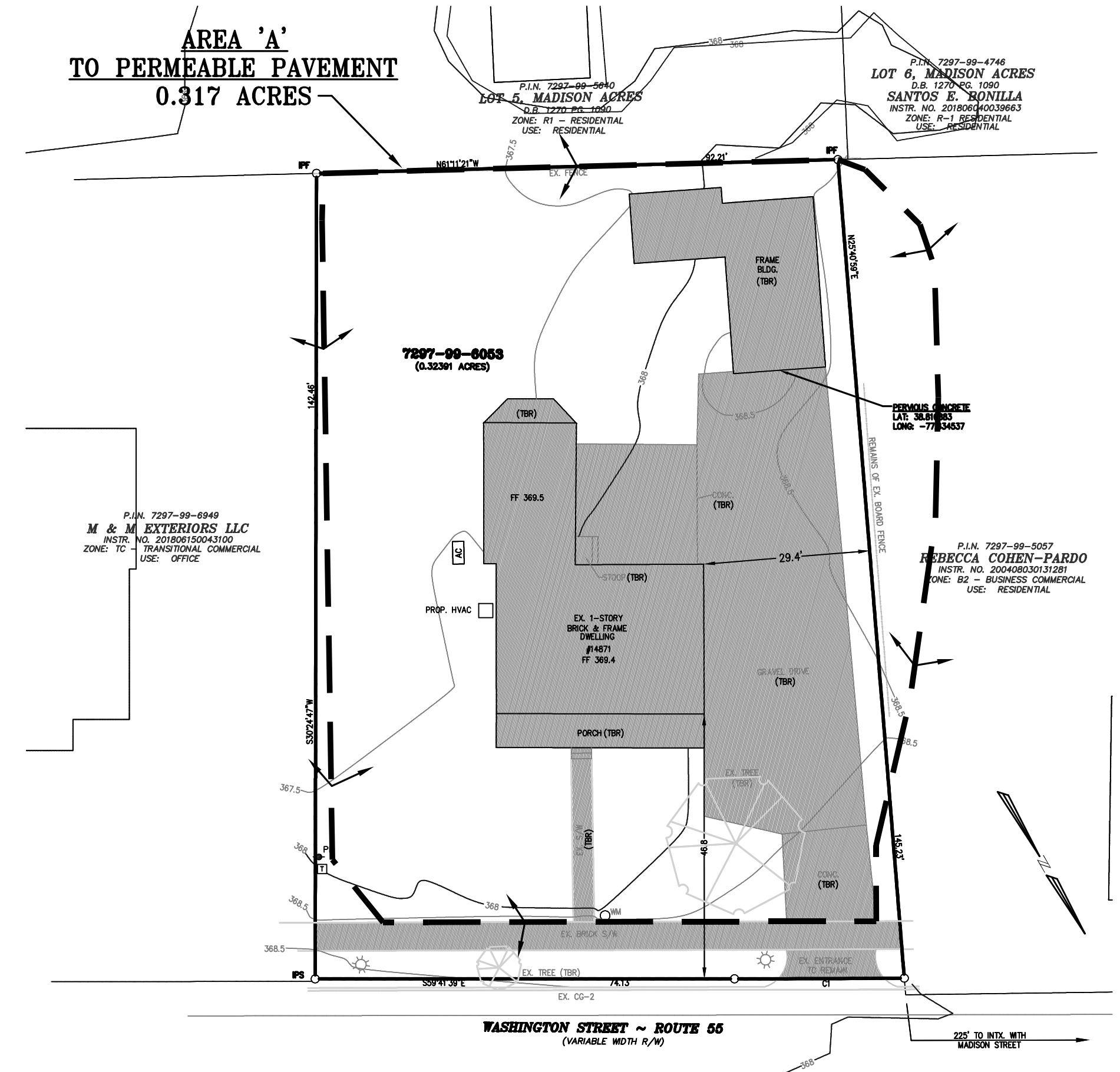


DRAINAGE MAPS FOR WATER QUANTITY PURPOSES
AROMA II
 SITEPLAN
 TOWN OF HAYMARKET, VIRGINIA

SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:
 4-17-2019 PER COMMENTS



PRE-DEVELOPMENT DRAINAGE MAP
 GRAPHIC SCALE
 SCALE: 1" = 20'

PRE-DEVELOPMENT - AREA 'A'
 (ALL 'C' SOILS)

ON-SITE
 IMPERVIOUS AREA: 0.120 ACRES
 TURF: 0.157 ACRES
TOTAL: 0.277 ACRES

OFF-SITE
 TURF: 0.040 ACRES

IMPERVIOUS AREA: 0.120 ACRES
TURF: 0.197 ACRES
TOTAL: 0.317 ACRES

LEGEND

[Hatched Box] IMPERVIOUS CONCRETE

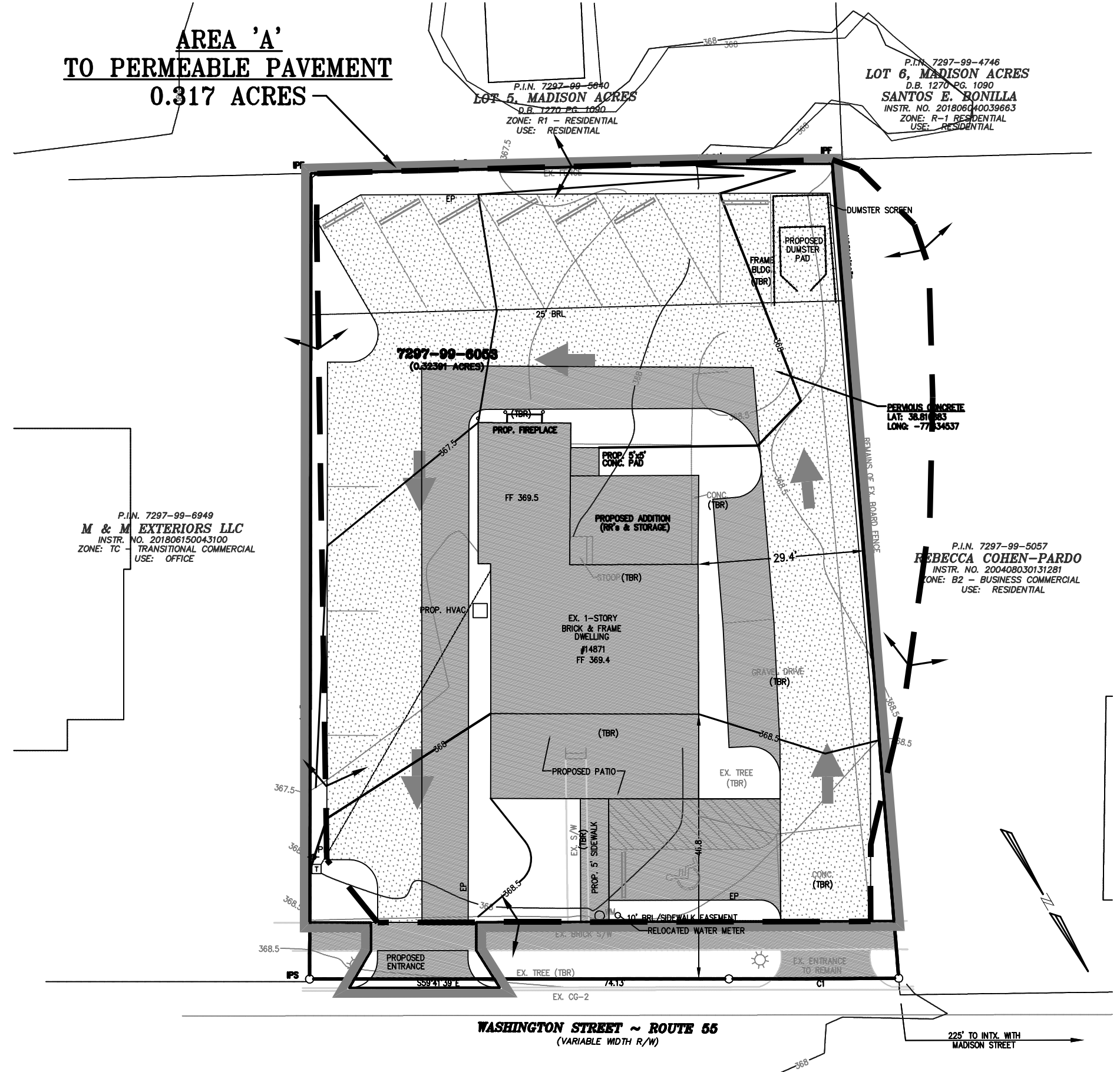
[Dotted Box] PERVIOUS CONCRETE

[Solid Line] LIMITS OF CONSTRUCTION

[Dashed Line] DRAINAGE DIVIDE

SOILS DATA

MAP SYMBOL	SOIL NAME	HYDRIC %	K-FACTOR		HYDRO LOGIC SOIL GROUP	DEPTH (IN.)	SATURATED HYDROLOGIC CONDUCTIVITY (IN/HR)	AVAILABLE WATER CAPACITY (%)	FLOODING FREQUENCY CLASS
4B	ARCOLA SILT LOAM, 2-7%	5	.43	.43	C	28"	0.66	14	-



POST-DEVELOPMENT DRAINAGE MAP
 GRAPHIC SCALE
 SCALE: 1" = 20'

POST-DEVELOPMENT - AREA 'A'
 (ALL 'C' SOILS)

ON-SITE - TO PERVIOUS PVMT
 IMPERVIOUS AREA: 0.237 ACRES
 TURF: 0.040 ACRES
TOTAL: 0.277 ACRES

OFF-SITE TO PERVIOUS PVMT
 TURF: 0.040 ACRES

TOTAL TO PERVIOUS PVMT
 IMPERVIOUS AREA: 0.237 ACRES
 TURF: 0.080 ACRES
TOTAL: 0.317 ACRES

DISTURBED BYPASS AREA
 IMPERVIOUS AREA: 0.006 ACRES
 TURF: 0.008 ACRES
TOTAL: 0.014 ACRES

TOTAL AREA
 IMPERVIOUS AREA: 0.243 ACRES
 TURF: 0.088 ACRES
TOTAL: 0.331 ACRES

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

2013 BMP Standards and Specifications

Project Name: **Morays - Aroma II**

Date: **2/14/2019**

Site Information

Post-Development Project (Treatment Volume and Loads)

Pre-Development Land Cover (acres)

Post-Development Land Cover (acres)

Constants

Runoff Coefficients (Rv)

LAND COVER SUMMARY - PRE-REDEVELOPMENT

LAND COVER SUMMARY - POST DEVELOPMENT

Treatment Volume and Nutrient Load

Post-Development Requirement for Site Area

Nitrogen Loads (Informational Purposes Only)

Site Results (Water Quality Compliance)

Area Checks

Site Treatment Volume (ft³)

Runoff Reduction Volume and TP By Drainage Area

Total Phosphorus

Total Nitrogen (For Information Purposes)

Runoff Volume and Curve Number Calculations

Drainage Area Curve Numbers and Runoff Depths

Drainage Area A

Drainage Area B

RV_{Developed} (watershed-inch) with no Runoff Reduction*

RV_{Developed} (watershed-inch) with Runoff Reduction*

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

BMP Design Specifications List: 2013 Draft Stds & Specs

Site Summary

Site Land Cover Summary

Pre-Development Land Cover (acres)

Post-Development Land Cover (acres)

Site Tv and Land Cover Nutrient Loads

Total TP Load Reduction Required (lb/yr)

Final Post-Development Load (Post-Development & New Impervious)

Pre-Development

Site Compliance Summary

Drainage Area Summary

Drainage Area Compliance Summary

Drainage Area A Summary

Drainage Area B Summary

BMP Selections

Drainage Area A Land Cover

Drainage Area B Land Cover

BMP Selections

Runoff Volume and CN Calculations

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)			0.05	0.05	0.22	
Impervious Cover (acres)			0.23	0.23	0.95	
Total					0.28	

Post Development Treatment Volume in D.A. A (ft³) = 833

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed by Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
3. Permeable Pavement (RR)													
3.A. Permeable Pavement #1 (Spec #7)	45		0	0	0	0	0	25	0.00	0.00	0.00	0.00	
3.B. Permeable Pavement #2 (Spec #7)	75		0.13	341	134	455	25	0.00	0.29	0.23	0.05		

TOTAL IMPERVIOUS COVER TREATED (ac) = 0.13 AREA CHECK: OK

TOTAL MANAGED TURF AREA TREATED (ac) = 0.00 AREA CHECK: OK

TOTAL PHOSPHORUS REMOVAL REQUIRED ON SITE (lb/yr) = 0.23

TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (lb/yr) = 0.52

TOTAL PHOSPHORUS REMOVED WITHOUT RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) = 0.00

TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) = 0.23

TOTAL PHOSPHORUS LOAD REDUCTION ACHIEVED IN D.A. A (lb/yr) = 0.23

TOTAL PHOSPHORUS REMAINING AFTER APPLYING BMP LOAD REDUCTIONS IN D.A. A (lb/yr) = 0.29

SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS

NITROGEN REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) = 1.66

NITROGEN REMOVED WITHOUT RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) = 0.00

TOTAL NITROGEN REMOVED IN D.A. A (lb/yr) = 1.66

Drainage Area B

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres)			0.03	0.03	0.22	
Impervious Cover (acres)			0.02	0.02	0.95	
Total					0.05	

Post Development Treatment Volume in D.A. B (ft³) = 80

TOTAL IMPERVIOUS COVER TREATED (ac) = 0.00 AREA CHECK: OK

TOTAL MANAGED TURF AREA TREATED (ac) = 0.00 AREA CHECK: OK

TOTAL PHOSPHORUS REMOVAL REQUIRED ON SITE (lb/yr) = 0.23

TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. B (lb/yr) = 0.05

TOTAL PHOSPHORUS REMOVED WITHOUT RUNOFF REDUCTION PRACTICES IN D.A. B (lb/yr) = 0.00

TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. B (lb/yr) = 0.00

TOTAL PHOSPHORUS LOAD REDUCTION ACHIEVED IN D.A. B (lb/yr) = 0.00

TOTAL PHOSPHORUS REMAINING AFTER APPLYING BMP LOAD REDUCTIONS IN D.A. B (lb/yr) = 0.05

SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS

NITROGEN REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. B (lb/yr) = 0.00

NITROGEN REMOVED WITHOUT RUNOFF REDUCTION PRACTICES IN D.A. B (lb/yr) = 0.00

TOTAL NITROGEN REMOVED IN D.A. B (lb/yr) = 0.00

HINCHEY & BAINES, PLC

ENGINEERING AND LAND PLANNING

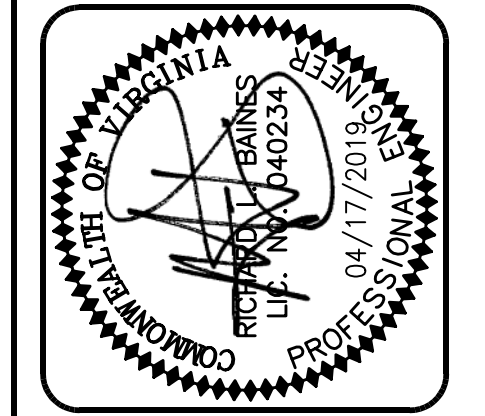
PHONE (540) 829-2220

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125 EAST DAVIS STREET

SUITE 201

CULPEPER, VIRGINIA 22701



STORM WATER MANAGEMENT CALCULATIONS - RRM

AROMA II

SITEPLAN

TOWN OF HAYMARKET, VIRGINIA

Attachment: ALL SHEETS - 4-17-19 (4042 - Morays Vineyard, Aroma II Site Plan Review)

SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:

4-17-2019 PER COMMENTS

SHEET 8 OF 12

FILE NO. 1402

STORMWATER MANAGEMENT NARRATIVE

The Virginia Runoff Reduction Method (VRRM) was used to determine the reduction in runoff volume and the post development pollutant loading. Since the area of development on the site has already been developed the DEQ VRRM Re-Development Compliance Spreadsheet – Version 3.0 was used to calculate the pollutant loading results, treatment volumes, and adjusted CN values.

The entire site was analyzed for water quality and quantity compliance. Permeable pavement has been proposed to provide water quality compliance. The underground gravel reservoir has been sized to retain 100% of the required treatment volume. Additional storage provided in the reservoir allows for the 1-year energy balance equation to be met and for the 10-year discharge flowrate to be decreased from the pre-development condition.

WATER QUALITY ANALYSIS

Permeable pavement was utilized to achieve the required total phosphorous load.

Pre-Development Land Cover
Site Area = 0.32 AC
Impervious cover = 0.13 AC (C Soils)
Managed Turf = 0.19 AC (C Soils)

Post Development Land Cover
Site Area = 0.32 AC
Impervious cover = 0.25 AC (C Soils)
Managed Turf = 0.08 AC (C Soils)

Total Load (TP) Reduction Required (lb/yr) = 0.23

WATER QUALITY COMPLIANCE

Stormwater Best Management Practices
Area to Facility = 0.13 AC
Impervious cover = 0.13 AC
Managed Turf = 0.00 AC

The total required phosphorous load reduction of 0.23 pounds has been achieved.

WATER QUANTITY ANALYSIS

The disturbed area and its contributing drainage area were considered in the analysis.

The Energy Balance Equation was used to determine the Allowable Peak Discharge in accordance with the channel protection regulations.

The contributing drainage areas to the disturbed area for this project were analyzed for the 1-yr and 10-yr 24-hour storms. Pre- and Post-development Runoff Volumes (Rv) and Peak Discharge (qp) were calculated utilizing Hydroflow Hydrographs. An underground stone reservoir was utilized to detain 1-year flows allowing for the energy balance equation to be met and for the 10-year discharge flowrate to be decreased from the pre-development condition.

PRE-DEVELOPMENT

	DA (AC)	CN	P 1yr.	Rv 1 yr. In.	Ac. ft.	qp 1yr.
DA-A	0.33	83	2.5	1.06	0.03	0.57

FORESTED CONDITION

	DA (AC)	CN	P 1yr.	Rv 1 yr. In.	Ac. ft.	qp 1yr.
DA-A	0.33	70	2.5	0.46	0.01	0.23

POST-DEVELOPMENT

	DA (AC)	CN	P 1yr.	Rv 1 yr. In.	Ac. ft.
DA-A	0.33	92	2.5	1.69	0.05

The above results were used in the energy balance equation to determine whether a water quantity volume would be required.

CALCULATE ALLOWABLE DISCHARGE BY ENERGY BALANCE EQUATION:

Calculate Maximum Allowable Discharge.

$$\text{Max. Allowable Discharge} \leq 0.9 \times q_{p\text{-pre}} \times R_{V\text{pre}} / R_{V\text{dev}}$$

$$\text{DA-A } 0.9 \times 0.57 \times 0.03 / 0.04 = 0.38$$

Calculate Minimum Peak Discharge in accordance with 9 VAC 25-870-66 B 3 a. Minimum Peak Discharge = Ratio of Forested Condition to Developed Condition

$$\text{Min. Peak Discharge} = [(q_{p\text{-forest}} \times R_{V\text{forest}}) / R_{V\text{dev}}]$$

$$\text{DA-A } [(0.23 \times 0.01) / 0.04] = 0.06$$

Compare Maximum Allowable Discharge and Minimum Peak Discharge. The Allowable Discharge used shall be the greater of the two.

If the Allowable Discharge is less than the proposed rate, additional water quantity volume is required.

WATER QUANTITY CALCULATIONS FOR CHANNEL PROTECTION

1 YEAR	Allowable Discharge (cfs)	Routed Post-Development Discharge (cfs)
DA-A	0.38	0.02

WATER QUANTITY CALCULATIONS FOR FLOOD PROTECTION (ROUTED THROUGH FACILITIES)

10 YEAR	Pre-Development Discharge (cfs)	Post-Development Discharge (cfs)
DA-A	1.54	1.32

BMP SIZING CALCULATIONS

Permeable Pavement

Equation 7.1 from DFQ SW Design Spec No. 7 was used to determine the depth of stone reservoir:

$$D_s = \text{depth of stone (ft.)}$$

$$P = \text{rainfall depth (ft.) for Treatment Volume (Level 2 - .09 ft.)}$$

$$A_i = \text{Contributing impervious drainfield area (sq. ft.)}$$

$$R_v1 = \text{Volumetric runoff coefficient for impervious cover } = 0.95$$

$$A_p = \text{Area of permeable pavement (sq. ft.)}$$

$$N_r = \text{Porosity of reservoir layer (0.4)}$$

$$D_s = (P \times A_i \times R_v1) + (P \times A_p) / N_r \times A_p$$

$$D_s = (0.09 \times 5742 \times 0.95) + (0.09 \times 5742) / (.4 \times 5742) = 0.44'' \quad 5.5''$$

WATER QUANTITY SUMMARY

The site and its contributing drainage areas were analyzed for the 1-year and 10-year 24-hour storm. Post development peak discharge for the 1-year storm was determined to be less than the calculated allowable discharge from the energy balance equation for drainage area "A". Post development peak discharge was determined to be less than pre-development peak discharge during the 10-year storm event in DA-A.

Stormwater from the site is directed to permeable pavement, stored in an underground stone reservoir, and then infiltrates into the ground. As shown in equation 7.1 above, the required treatment volume would be met with 0.44" (5.5") depth of stone beneath the pervious pavement. However, per the hydroflow analysis, the actual depth must be 0.62" (7.5") in order to partially retain the 10-year storm to bring the 10-year flow rate below the 10-year pre-development flow rate.

9.2. Maintenance Tasks

It is difficult to prescribe the specific types or frequency of maintenance tasks that are needed to maintain the hydrologic function of permeable pavement systems over time. Most installations work reasonably well year after year with little or no maintenance, whereas some have problems right from the start.

The following tasks **must be avoided** on all permeable pavements:

- sanding
- re-sealing
- re-surfacing
- power washing
- storage of snow piles containing sand
- storage of mulch or soil materials
- construction staging on unprotected pavement

Table 7.8. Recommended Maintenance Tasks for Permeable Pavement Practices.

Maintenance Task	Frequency ¹
<ul style="list-style-type: none"> • For the first 6 months following construction, the practice and contributing drainage area should be inspected at least twice after storm events that exceed 1/2 inch of rainfall. Conduct any needed repairs or stabilization. 	After installation
<ul style="list-style-type: none"> • Mow grass in grid paver applications 	At least 1 time every 1-2 months during the growing season
<ul style="list-style-type: none"> • Stabilize the CDA to prevent erosion • Remove any soil or sediment deposited on pavement. • Replace or repair any necessary pavement surface areas that are degenerating or spalling. 	As needed
<ul style="list-style-type: none"> • Vacuum pavement with a standard street sweeper to prevent clogging 	2-4 times per year (depending on use)
<ul style="list-style-type: none"> • Conduct a maintenance inspection • Spot weeding of grass applications 	Annually
<ul style="list-style-type: none"> • Remove any accumulated sediment in pre-treatment cells and inflow points 	Once every 2 to 3 years
<ul style="list-style-type: none"> • Conduct maintenance using a regenerative street sweeper • Replace any necessary joint material 	If clogged

¹ Required frequency of maintenance will depend on pavement use, traffic loads, and surrounding land use.

HYDROGRAPHS - 1-YEAR STORM

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total storage used (cuft)	Hydrograph description
1	SCS Runoff	0.573	2	718	1,150	---	---	---	Pre-development
2	SCS Runoff	0.888	2	716	1,844	---	---	---	To Facility
3	Reservoir	0.000	2	730	0	2	366.51	985	Routing
4	SCS Runoff	0.019	2	718	38	---	---	---	Bypass
5	Combine	0.019	2	718	38	3, 4	---	---	Total Post-development
7	SCS Runoff	0.227	2	718	496	---	---	---	Forested Condition

Hydrograph Report

Hydroflow Hydrographs by Intellisolve v9.23 Wednesday, Mar 27, 2019

Hyd. No. 1

Pre-development
 Hydrograph type = SCS Runoff
 Storm frequency = 1 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 2.50 in
 Storm duration = 24 hrs
 Peak discharge = 0.573 cfs
 Time to peak = 718 min
 Hyd. volume = 1,150 cuft
 Curve number = 83*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.120 x 98) + (0.200 x 74)] / 0.320

Hyd. No. 2

To Facility
 Hydrograph type = SCS Runoff
 Storm frequency = 1 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 2.50 in
 Storm duration = 24 hrs
 Peak discharge = 0.888 cfs
 Time to peak = 716 min
 Hyd. volume = 1,844 cuft
 Curve number = 92*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.240 x 98) + (0.080 x 74)] / 0.320

Hyd. No. 3

Routing
 Hydrograph type = Reservoir
 Storm frequency = 1 yrs
 Time interval = 2 min
 Inflow hyd. No. = 2 - To Facility
 Reservoir name = Permeable Pavement Reservoir
 Peak discharge = 0.000 cfs
 Time to peak = 730 min
 Hyd. volume = 0 cuft
 Max. Elevation = 366.51 ft
 Max. Storage = 985 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

Pond Report

Hydroflow Hydrographs by Intellisolve v9.23 Wednesday, Mar 27, 2019

Pond No. 1 - Permeable Pavement Reservoir

Contours - User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 366.08 ft. Voids = 40.00%

Stage (ft)	Storage (cuft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	366.08	5,742	0	0	0
0.62	366.70	5,742	1,424	1,424	1,424
1.12	367.20	00	574	1,998	1,998
1.22	367.30	1,000	20	2,018	2,018

Culvert / Orifice Structures				Weir Structures					
	[A]	[B]	[C]	[PrRsr]		[A]	[B]	[C]	[D]
Rise (in)	= 0.00	0.00	0.00	0.00	Crest Len (ft)	= 33.00	0.00	0.00	0.00
Span (in)	= 0.00	0.00	0.00	0.00	Crest El. (ft)	= 367.20	0.00	0.00	0.00
No. Barrels	= 0	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert El. (ft)	= 0.00	0.00	0.00	0.00	Weir Type	= Rect	---	---	---
Length (ft)	= 0.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 0.00	0.00	0.00	n/a					
N-Value	= .013	.013	.013	n/a	Exfil. (in/hr)	= 0.660 (By Contour)			
Orifice Coeff.	= 0.60	0.60	0.60	0.60	TW Elev. (ft)	= 0.00			
Multi-Stage	= n/a	No	No	No					

Stage / Storage / Discharge Table	Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	Civ C cfs	PrRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	366.08	---	---	---	---	---	0.00	---	---	---	0.000	---	0.000
0.62	1,424	366.70	---	---	---	---	0.00	---	---	---	---	0.088	---	0.088
1.12	1,998	367.20	---	---	---	---	0.00	---	---	---	---	0.000	---	0.000
1.22	2,018	367.30	---	---	---	---	3.47	---	---	---	---	0.015	---	3.489

Hyd. No. 4

Bypass
 Hydrograph type = SCS Runoff
 Storm frequency = 1 yrs
 Time interval = 2 min
 Drainage area = 0.010 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 2.50 in
 Storm duration = 24 hrs
 Peak discharge = 0.019 cfs
 Time to peak = 718 min
 Hyd. volume = 38 cuft
 Curve number = 84*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.006 x 98) + (0.008 x 74)] / 0.010

Hyd. No. 5

Total Post-development
 Hydrograph type = Combine
 Storm frequency = 1 yrs
 Time interval = 2 min
 Inflow hyd. = 3, 4
 Peak discharge = 0.019 cfs
 Time to peak = 718 min
 Hyd. volume = 38 cuft
 Contrib. drain. area = 0.010 ac

Hyd. No. 7

Forested Condition
 Hydrograph type = SCS Runoff
 Storm frequency = 1 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 2.50 in
 Storm duration = 24 hrs
 Peak discharge = 0.227 cfs
 Time to peak = 718 min
 Hyd. volume = 496 cuft
 Curve number = 70*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.120 x 98) + (0.197 x 74)] / 0.320

HYDROGRAPHS - 10-YEAR STORM

Hydrograph Summary Report

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total storage used (cuft)	Hydrograph description
1	SCS Runoff	1.544	2	718	3,162	---	---	---	Pre-development
2	SCS Runoff	1.899	2	716	4,135	---	---	---	To Facility
3	Reservoir	1.296	2	722	686	2	367.26	2,009	Routing
4	SCS Runoff	0.050	2	716	102	---	---	---	Bypass
5	Combine	1.320	2	722	788	3, 4	---	---	Total Post-development
7	SCS Runoff	0.989	2	718	1,978	---	---	---	Forested Condition

Hydrograph Report

Hydroflow Hydrographs by Intellisolve v9.23 Wednesday, Mar 27, 2019

Hyd. No. 1

Pre-development
 Hydrograph type = SCS Runoff
 Storm frequency = 10 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 4.70 in
 Storm duration = 24 hrs
 Peak discharge = 1.544 cfs
 Time to peak = 716 min
 Hyd. volume = 3,162 cuft
 Curve number = 83*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.120 x 98) + (0.200 x 74)] / 0.320

Hyd. No. 2

To Facility
 Hydrograph type = SCS Runoff
 Storm frequency = 10 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 4.70 in
 Storm duration = 24 hrs
 Peak discharge = 1.899 cfs
 Time to peak = 716 min
 Hyd. volume = 4,135 cuft
 Curve number = 92*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.240 x 98) + (0.080 x 74)] / 0.320

Hyd. No. 3

Routing
 Hydrograph type = Reservoir
 Storm frequency = 10 yrs
 Time interval = 2 min
 Inflow hyd. No. = 2 - To Facility
 Reservoir name = Permeable Pavement Reservoir
 Peak discharge = 1.296 cfs
 Time to peak = 722 min
 Hyd. volume = 686 cuft
 Max. Elevation = 367.26 ft
 Max. Storage = 2,009 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

Hyd. No. 4

Bypass
 Hydrograph type = SCS Runoff
 Storm frequency = 10 yrs
 Time interval = 2 min
 Drainage area = 0.010 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 4.70 in
 Storm duration = 24 hrs
 Peak discharge = 0.050 cfs
 Time to peak = 716 min
 Hyd. volume = 102 cuft
 Curve number = 84*
 Hydraulic length = 0 ft
 Time of conc. (Tc) = 5.00 min
 Distribution = Type II
 Shape factor = 484

* Composite (Area/CN) = [(0.006 x 98) + (0.008 x 74)] / 0.010

Hyd. No. 5

Total Post-development
 Hydrograph type = Combine
 Storm frequency = 10 yrs
 Time interval = 2 min
 Inflow hyd. = 3, 4
 Peak discharge = 1.320 cfs
 Time to peak = 722 min
 Hyd. volume = 788 cuft
 Contrib. drain. area = 0.010 ac

Hyd. No. 7

Forested Condition
 Hydrograph type = SCS Runoff
 Storm frequency = 10 yrs
 Time interval = 2 min
 Drainage area = 0.320 ac
 Basin Slope = 0.0 %
 Tc method = USER
 Total precip. = 4.70 in
 Storm duration = 24 hrs
 Peak discharge = 0.989 cfs
 Time to peak = 718 min
 Hyd. volume =

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION: ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING.

LIST OF PLANT MATERIAL: THE CONTRACTOR WILL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER.

PLANT QUALITY: ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, AND WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN SHEARED REGULARLY, SHALL BE VIGOROUS, HEALTHY, AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE OR INSECT EGGS, AND SHALL HAVE HEALTHY NORMAL ROOT SYSTEMS. PLANTS SHALL BE FRESHLY DUG AND NOT HELD-IN STOCK, NOR STOCK FROM COLD STORAGE. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY. THE SHAPE OF THE PLANT IN GENERAL SHALL CONFORM TO ITS NATURAL GROWTH PROPORTIONS, UNLESS OTHERWISE SPECIFIED. ALL PLANTS INCLUDING CONTAINER-GROWN SHALL CONFORM TO THE BRANCHING, CALIPER, AND HEIGHT SPECIFICATIONS OF THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.

PLANT SPACING: PLANT SPACING IS TO SCALE ON PLAN. NO PLANTS EXCEPT ESPALIERS MATERIAL SHALL BE CLOSER THAN 30 INCHES TO BUILDINGS.

SOIL MIX: SOIL MIX WILL BE 2/3 EXISTING SOIL, 1/3 LEAF MOLD OR EQUAL ORGANIC MATERIAL, THOROUGHLY MIXED AND HOMOGENIZED.

BALL SIZE: THE BALL SIZE SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK.

EXCAVATION: HOLES FOR ALL PLANTS SHALL BE 18 INCHES LARGER IN DIAMETER THAN SIZE OF BALL OR CONTAINER, AND SHALL HAVE VERTICAL SIDES. HEDGES SHALL BE PLANTED IN A TRENCH 12 INCHES WIDER THAN BALL DIAMETER. BEDS FOR MASS PLANTING SHALL BE ENTIRELY ROTOTILLED TO A DEPTH OF 8 INCHES AND SHALL BE 18 INCHES BEYOND THE AVERAGE OUTSIDE EDGE OF PLANT BALLS. ORGANIC MATERIAL (I.E., LEAF MOLD) WILL BE INCORPORATED INTO PLANT BED BY TILLING AGAIN. PROPORTIONS OF SOIL TO ORGANIC MATERIAL WILL BE 2 PARTS TO 1 PART.

PLANTING: BACKFILLING SHALL BE DONE WITH SOIL MIX, REASONABLY FREE OF STONES, SUBSOIL, CLAY, LUMPS, STUMPS, ROOTS, WEEDS, BERMUDA GRASS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THEY SHOULD BE CALLED TO THE ATTENTION OF THE OWNER FOR ADJUSTMENT BEFORE PLANTING. THE PLANT SHALL BE SET PLUMB AND STRAIGHT AND SHALL BE STAKED AT THE TIME OF PLANTING. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS WILL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS WILL BE 1 INCH HIGHER AND TREES WILL BE 3 INCHES HIGHER. REMOVE ROPE FROM AROUND TREE TRUNKS AND LAY BACK BURLAP FROM TOP OF B&B MATERIAL. NYLON OR VINYL ROPE AND/OR BURLAP WILL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING.

TRANSPLANTING TREES BY TREE MACHINES: TREES SHALL BE MOVED BY MACHINES THAT PROVIDE A MINIMUM BALL DIAMETER OF 12 INCHES PER 1 INCH OF TREE CALIPER. HOLES ARE TO BE DUG BY THE SAME SIZE MACHINE AS THE ONE TRANSPORTING THE PLANT. THE PLANT MATERIAL SHALL BE TRANSPORTED IN APPROXIMATELY THE SAME GROWING CONDITION AS IT IS PRESENTLY GROWING, IN TERMS OF SOIL TYPE AND MOISTURE CONTENT. FERTILIZE AND GUY AS DESCRIBED IN THESE PLANS AND SPECIFICATIONS.

TRANSPLANTING EXISTING TREES: HARDWOODS SHOULD BE TRANSPLANTED IN THE LATE FALL FOLLOWING THEIR LEAF DROP. EVERGREENS MAY BE TRANSPLANTED BEGINNING WITH THE FALL COOL-DOWN PERIOD (NORMALLY SEPTEMBER) AND MAY CONTINUE INTO SPRING PRIOR TO ELONGATION OF THE NEW GROWTH. PROPER DIGGING OF A TREE INCLUDES THE CONSERVATION OF AS MUCH OF THE ROOT SYSTEM AS POSSIBLE, PARTICULARLY THE FINE ROOTS. SOIL ADHERING TO THE ROOTS SHOULD BE DAMP WHEN TREE IS DUG, AND KEPT MOIST UNTIL PLANTING. THE SOIL (OR "ROOT") BALL SHOULD BE 12 INCHES IN DIAMETER FOR EACH INCH OF DIAMETER OF THE TRUNK. THE TREE SHOULD BE CAREFULLY EXCAVATED AND THE SOIL BALL WRAPPED IN BURLAP AND TIED WITH ROPE. SOIL AROUND BALLED AND BURLAPPED TREE ROOTS SHOULD BE DUG WITH THE TREE AND NOT JUST PACKED AROUND BARE ROOTS. BALLED AND BURLAPPED PLANT MATERIAL SHALL BE KEPT MOIST.

CULTIVATION: ALL TRENCHES AND SHRUB BEDS SHALL BE CULTIVATED, EDGED, AND MULCHED TO A DEPTH OF 3 INCHES WITH FINE SHREDDED HARDWOOD BARK. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6-INCH GREATER DIAMETER THAN THAT OF THE HOLE. PLANT BEDS ADJACENT TO BUILDINGS SHALL BE MULCHED TO THE BUILDING WALL.

MAINTENANCE: THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND, UP TO THE TIME OF ACCEPTANCE, FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION, BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, STAKING, AND CLEANING UP, AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH, SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.

FERTILIZER: FERTILIZER SHALL BE A SLOW-RELEASE TYPE CONTAINED IN POLYETHYLENE PERFORATED BAGS WITH MICROPOROUS HOLES FOR CONTROLLED FEEDING, SUCH AS "EASY GROW" AS MANUFACTURED BY SPECIALTY FERTILIZER, INC., BOX 355, SUFFERN, NEW YORK, 10901 OR APPROVED EQUAL. THE BAGS SHALL CONTAIN 1 OUNCE OF SOLUBLE FERTILIZER ANALYSIS 16-18-16 PER UNIT TO LAST FOR THREE YEARS AND SHALL BE APPLIED DURING PLANTING AS RECOMMENDED BY THE MANUFACTURER. IF FERTILIZER PACKETS ARE NOT USED, THE CONTRACTOR SHALL APPLY GRANULAR FERTILIZER TO THE SOIL MIX OF 10-6-6 ANALYSIS, 50% ORGANIC, AT THE FOLLOWING RATES:

TREE PITS:
2-3 LBS. PER CALIPER INCH

SHRUB BEDS:
3-5 LBS. PER 100 SQ. FT.

GROUND COVER:
2-3 LBS. PER 100 SQ. FT.

GROUND COVER: ALL AREAS OF GROUND COVER SHALL BE ROTOTILLED TO A DEPTH OF SIX INCHES. APPLY 2 INCHES OF ORGANIC MATERIAL AND ROTOTILL UNTIL THOROUGHLY MIXED. APPLY FERTILIZER AS STATED ABOVE.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CANOPY/SPREAD	REMARKS	TOTAL
TREES:								
TC	2	Tilia cordata	Littleleaf Linden	2-1/2" MIN.	10' MIN.	150 SF	B&B	300 SF
							TOTAL CANOPY AREA OF TREES TO BE PLANTED:	300 SF
SHRUBS:								
IV	5	Ilex verticillata	Winterberry	N/A	24"	N/A	#3	N/A
EA	13	Azalea	Evergreen Azalea	N/A	24"	N/A	#3	N/A

LEGEND

- CANOPY TREE: Tilia cordata/Littleleaf Linden
- Flowering Shrub: Ilex verticillata/Winterberry
- Evergreen Shrub: Azalea/Evergreen Azalea
- Building-Mounted Light Fixture
- Existing Street Lamp

ADJOINING PROPERTY SCREENING

REQUIRED: 30' SEMITRANSSPARENT SCREEN ALONG REAR PROPERTY LINE.

PROVIDED: EXISTING 6' BOARD-ON-BOARD FENCE TO REMAIN AS SCREEN.

REQUESTING WAIVER DUE TO AREA LIMITATIONS AND EXISTING FENCE TO REMAIN AND PROVIDE SCREENING FOR ADJACENT RESIDENTIAL PROPERTY.

INTERIOR PARKING LOT CALCULATIONS

REQUIRED: 1 TREE & 3 SHRUBS PER 10 PARKING SPACES
 14/10 = 1.4 (2 TREES)
 1.4 x 3 = 4.2 (5 SHRUBS)

PROVIDED: 2 CANOPY TREES
 5 SHRUBS

STREET TREE CALCULATIONS

REQUIRED: 1 TREE PER 30' OF FRONTAGE

PROVIDED: 0 TREES

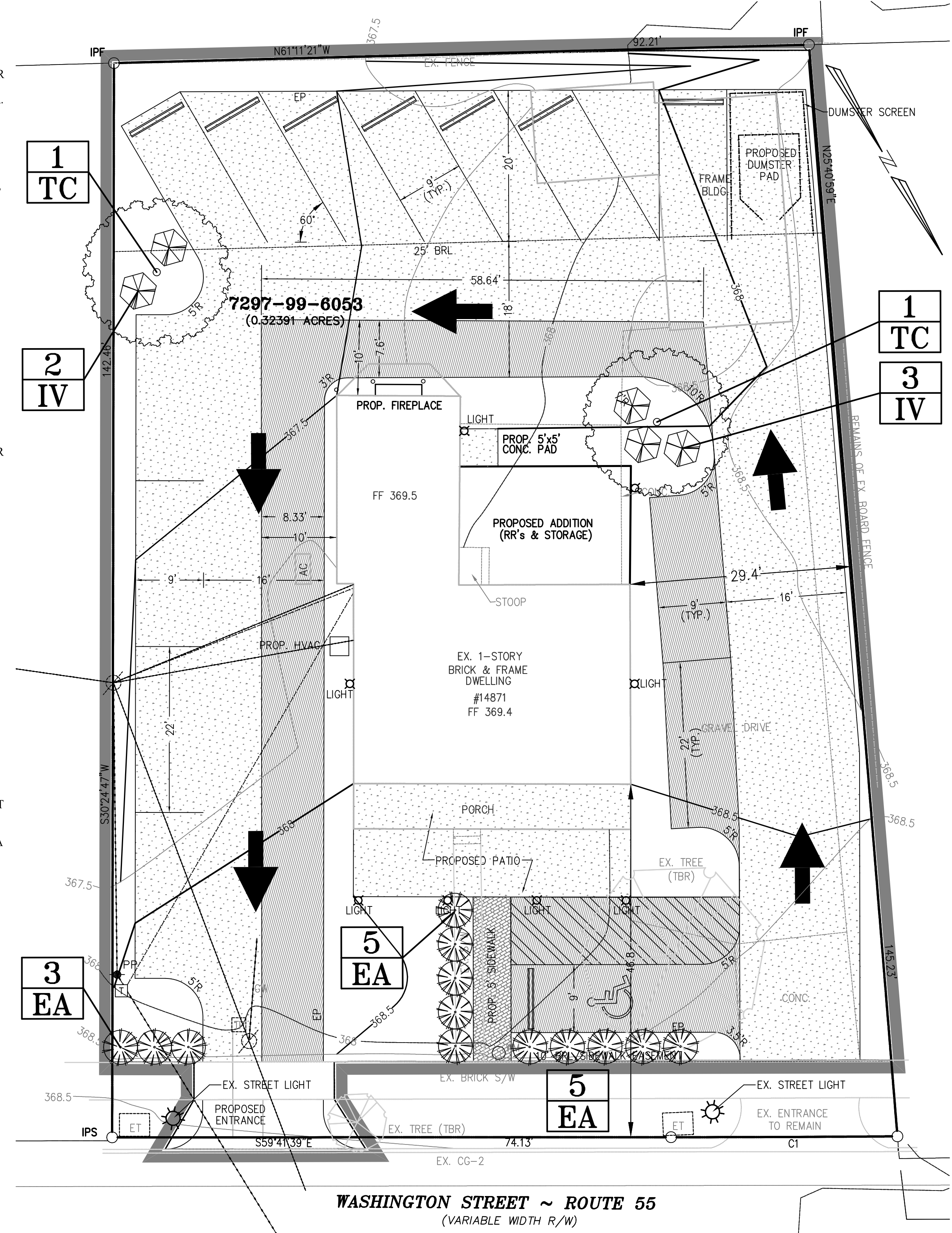
LANDSCAPE ARCHITECT'S CERTIFICATION

THE LANDSCAPE PLAN SHOWN HEREON HAS BEEN PREPARED BY A LICENSED LANDSCAPE ARCHITECT CERTIFIED BY THE COMMONWEALTH OF VIRGINIA DPOR.

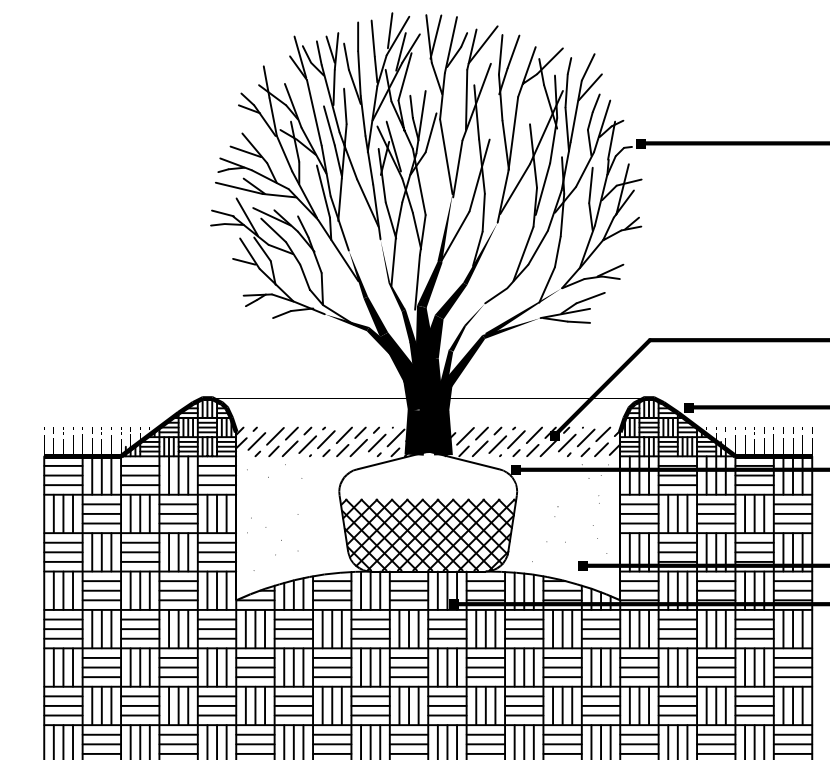
Robert H. Horman
 LANDSCAPE ARCHITECT 001865 4/17/2019
 LICENSE NUMBER DATE

MAINTENANCE:
 DEAD AND DYING TREES AND REPLACEMENTS.
 THE APPLICANT SHALL REPLACE ANY TREES PLANTED ALONG THE FORESTED BUFFER THAT DIE WITHIN THREE (3) YEARS OF PLANTING. IF ANY TREES SHOWN ON THE APPROVED SITE PLAN TO BE PRESERVED OR PLANTED AS PART OF THE PERIMETER BUFFER BECOME DISEASED OR ARE DYING, THEN THE APPLICANT MAY REMOVE THOSE TREES. IF THE REMOVED TREES ARE PART OF THE SCREENING BUFFER AS SHOWN ON THE APPROVED LANDSCAPE/BUFFER PLAN, THEN THE APPLICANT SHALL REPLACE WITH SUCH NUMBER OF TREES AS ARE NECESSARY TO SATISFY THE SCREENING INTENT OF THE APPROVED LANDSCAPE/BUFFER PLAN. THE REPLACEMENT TREES MUST BE EQUIVALENT TO THAT SHOWN ON THE APPROVED PLAN.

PROTECTION:
 THE APPLICANT SHALL BE RESPONSIBLE FOR AND EMPLOY REASONABLE EFFORTS FOR THE PROTECTION OF THE TOPS, TRUNKS AND ROOTS OF ALL EXISTING TREES, AS WELL AS OTHER VEGETATION ON THE SITE. PROTECTION DEVICES SHALL BE INSTALLED ALONG THE LIMITS OF CLEARING AND GRADING, PRIOR TO ANY CONSTRUCTION OCCURRING ON-SITE. SUCH PROTECTION SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY HAS BEEN COMPLETED, AND SHALL NOT BE REMOVED WITHOUT THE CONSENT OF THE ZONING ADMINISTRATOR.



WASHINGTON STREET ~ ROUTE 55
(VARIABLE WIDTH R/W)

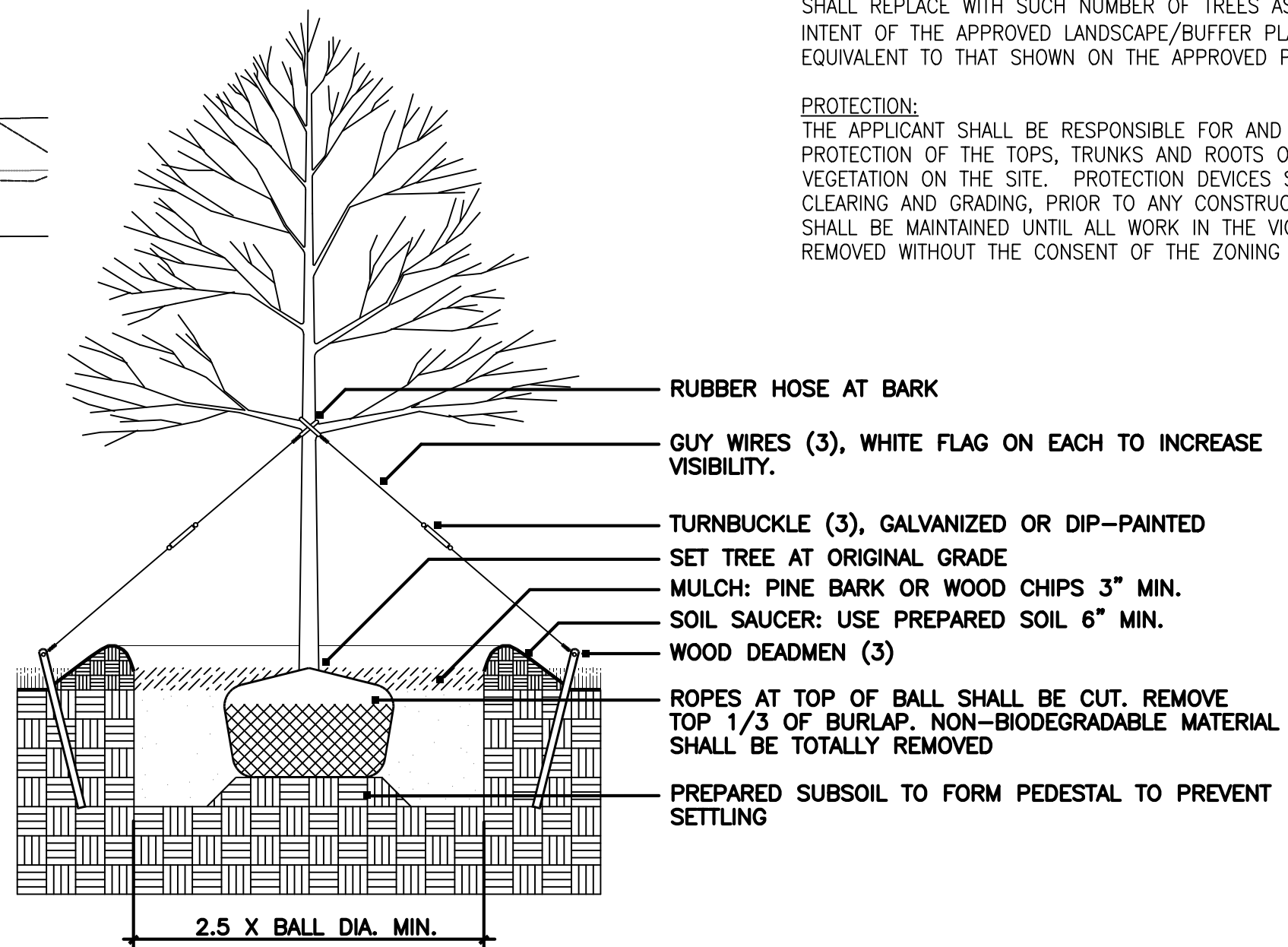


SHRUB PLANTING DETAIL
NOT TO SCALE

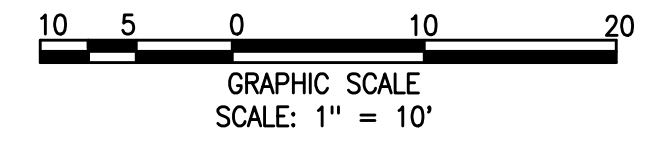
- THIN BRANCHES BY 1/3 RETAINING NORMAL PLANT SHAPE.
- BARK MULCH 3" MIN.
- CREATE SAUCER WITH TOPSOIL 6" MIN.
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.
- GENTLY COMPACTED TOPSOIL MIXTURE
- TAMPED ADMIXTURE BACKFILL

- NOTES:**
- OMIT COLLAR AROUND SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 - INSTALL TOP OF PLANT BALL 2-3" ABOVE FINISH GRADE.
 - TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND PLANT BALL.
 - SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION
 - SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.

- NOTES:**
- RUBBER HOSE MAY BE DELETED IF 3/4" NYLON STRAP IS USED.
 - REMOVE WIRE OR NYLON TWINE FROM BALL
 - INSTALL TOP OF BALL 2" ABOVE FINISH GRADE.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION
 - WRAP TREE TRUNK IF SPECIFIED ON PLANS. (SEE SPECS.)
 - LENGTH OF RUBBER HOSE TO BE 2/3 CIRCUMFERENCE OF TREE.
 - PLACE 2 WOOD STAKES PARALLEL TO STREET.
 - 4" SAUCER WILL BE OUTSIDE OF BACKFILL.
 - SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.



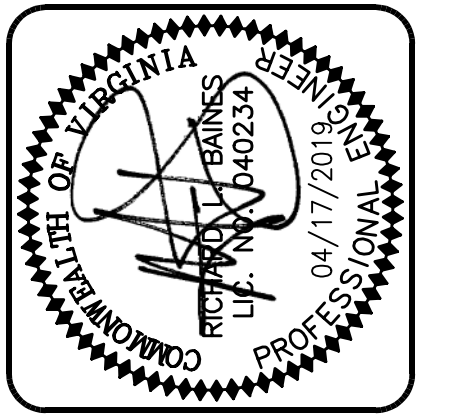
SINGLE-STEM TREE PLANTING DETAIL
NOT TO SCALE



THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!

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HINCHEY & BAINES, PLC
 ENGINEERING AND LAND PLANNING
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 SUITE 201
 CULPEPER, VIRGINIA 22701
 FAX (540) 829-2259



LANDSCAPE AND LIGHTING PLAN
AROMA II
 SITEPLAN
 TOWN OF HAYMARKET, VIRGINIA

SCALE: AS SHOWN
 DATE: 3/27/2019

REVISIONS:
 4-17-2019 PER COMMENTS

SHEET 12 OF 12
 FILE NO. 1402

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION: ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING.

LIST OF PLANT MATERIAL: THE CONTRACTOR WILL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER.

PLANT QUALITY: ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, AND WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN SHEARED REGULARLY. SHALL BE VIGOROUS, HEALTHY, AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE OR INSECT EGGS, AND SHALL HAVE HEALTHY NORMAL ROOT SYSTEMS. PLANTS SHALL BE FRESHLY DUG AND NOT HELD-IN STOCK, NOR STOCK FROM COLD STORAGE. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY. THE SHAPE OF THE PLANT IN GENERAL SHALL CONFORM TO ITS NATURAL GROWTH PROPORTIONS, UNLESS OTHERWISE SPECIFIED. ALL PLANTS INCLUDING CONTAINER-GROWN SHALL CONFORM TO THE BRANCHING, CALIPER, AND HEIGHT SPECIFICATIONS OF THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.

PLANT SPACING: PLANT SPACING IS TO SCALE ON PLAN. NO PLANTS EXCEPT ESPALIÈRED MATERIAL SHALL BE CLOSER THAN 30 INCHES TO BUILDINGS.

SOIL MIX: SOIL MIX WILL BE 2/3 EXISTING SOIL, 1/3 LEAF MOLD OR EQUAL ORGANIC MATERIAL, THOROUGHLY MIXED AND HOMOGENIZED.

BALL SIZE: THE BALL SIZE SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK.

EXCAVATION: HOLES FOR ALL PLANTS SHALL BE 18 INCHES LARGER IN DIAMETER THAN SIZE OF BALL OR CONTAINER, AND SHALL HAVE VERTICAL SIDES. HEDGES SHALL BE PLANTED IN A TRENCH 12 INCHES WIDER THAN BALL DIAMETER. BEDS FOR MASS PLANTING SHALL BE ENTIRELY ROTOTILLED TO A DEPTH OF 8 INCHES AND SHALL BE 18 INCHES BEYOND THE AVERAGE OUTSIDE EDGE OF PLANT BALLS. ORGANIC MATERIAL (I.E., LEAF MOLD) WILL BE INCORPORATED INTO PLANT BED BY TILLING AGAIN. PROPORTIONS OF SOIL TO ORGANIC MATERIAL WILL BE 2 PARTS TO 1 PART.

PLANTING: BACKFILLING SHALL BE DONE WITH SOIL MIX, REASONABLY FREE OF STONES, SUBSOIL, CLAY, LUMPS, STUMPS, ROOTS, WEEDS, BERMUDA GRASS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THEY SHOULD BE CALLED TO THE ATTENTION OF THE OWNER FOR ADJUSTMENT BEFORE PLANTING. THE PLANT SHALL BE SET PLUMB AND STRAIGHT AND SHALL BE STAKED AT THE TIME OF PLANTING. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS WILL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS WILL BE 1 INCH HIGHER AND TREES WILL BE 3 INCHES HIGHER. REMOVE ROPE FROM AROUND TREE TRUNKS AND LAY BACK BURLAP FROM TOP OF B&B MATERIAL. NYLON OR VINYL ROPE AND/OR BURLAP WILL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING.

TRANSPLANTING TREES BY TREE MACHINES: TREES SHALL BE MOVED BY MACHINES THAT PROVIDE A MINIMUM BALL DIAMETER OF 12 INCHES PER 1 INCH OF TREE CALIPER. HOLES ARE TO BE DUG BY THE SAME SIZE MACHINE AS THE ONE TRANSPORTING THE PLANT. THE PLANT MATERIAL SHALL BE TRANSPLANTED IN APPROXIMATELY THE SAME GROWING CONDITION AS IT IS PRESENTLY GROWING, IN TERMS OF SOIL TYPE AND MOISTURE CONTENT. FERTILIZE AND GUY AS DESCRIBED IN THESE PLANS AND SPECIFICATIONS.

TRANSPLANTING EXISTING TREES: HARDWOODS SHOULD BE TRANSPLANTED IN THE LATE FALL FOLLOWING THEIR LEAF DROP. EVERGREENS MAY BE TRANSPLANTED BEGINNING WITH THE FALL COOL-DOWN PERIOD (NORMALLY SEPTEMBER) AND MAY CONTINUE INTO SPRING PRIOR TO ELONGATION OF THE NEW GROWTH. PROPER DIGGING OF A TREE INCLUDES THE CONSERVATION OF AS MUCH OF THE ROOT SYSTEM AS POSSIBLE, PARTICULARLY THE FINE ROOTS. SOIL ADHERING TO THE ROOTS SHOULD BE DAMP WHEN TREE IS DUG, AND KEPT MOIST UNTIL PLANTING. THE SOIL (OR "ROOT") BALL SHOULD BE 12 INCHES IN DIAMETER FOR EACH INCH OF DIAMETER OF THE TRUNK. THE TREE SHOULD BE CAREFULLY EXCAVATED AND THE SOIL BALL WRAPPED IN BURLAP AND TIED WITH ROPE. SOIL AROUND BALLED AND BURLAPPED TREE ROOTS SHOULD BE DUG WITH THE TREE AND NOT JUST PACKED AROUND BARE ROOTS. BALLED AND BURLAPPED PLANT MATERIAL SHALL BE KEPT MOIST.

CULTIVATION: ALL TRENCHES AND SHRUB BEDS SHALL BE CULTIVATED, EDGED, AND MULCHED TO A DEPTH OF 3 INCHES WITH FINE SHREDED HARDWOOD BARK. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6-INCH GREATER DIAMETER THAN THAT OF THE HOLE. PLANT BEDS ADJACENT TO BUILDINGS SHALL BE MULCHED TO THE BUILDING WALL.

MAINTENANCE: THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND, UP TO THE TIME OF ACCEPTANCE, FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION, BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, STAKING, AND CLEANING UP, AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH, SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.

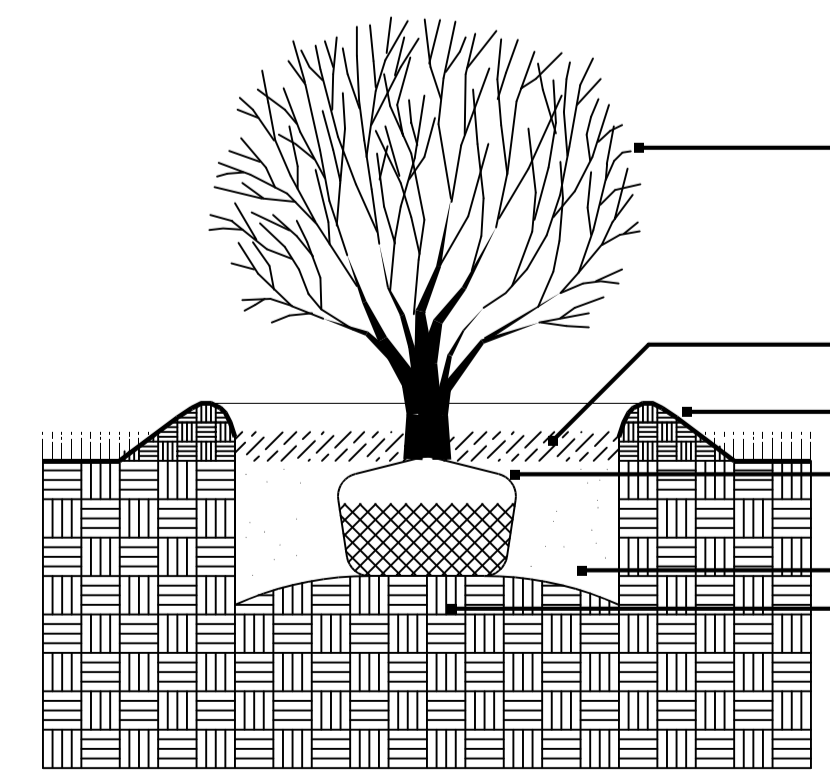
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TREE PITS:
2-3 LBS. PER CALIPER INCH

SHRUB BEDS:
3-5 LBS. PER 100 SQ. FT.

GROUND COVER:
2-3 LBS. PER 100 SQ.FT.

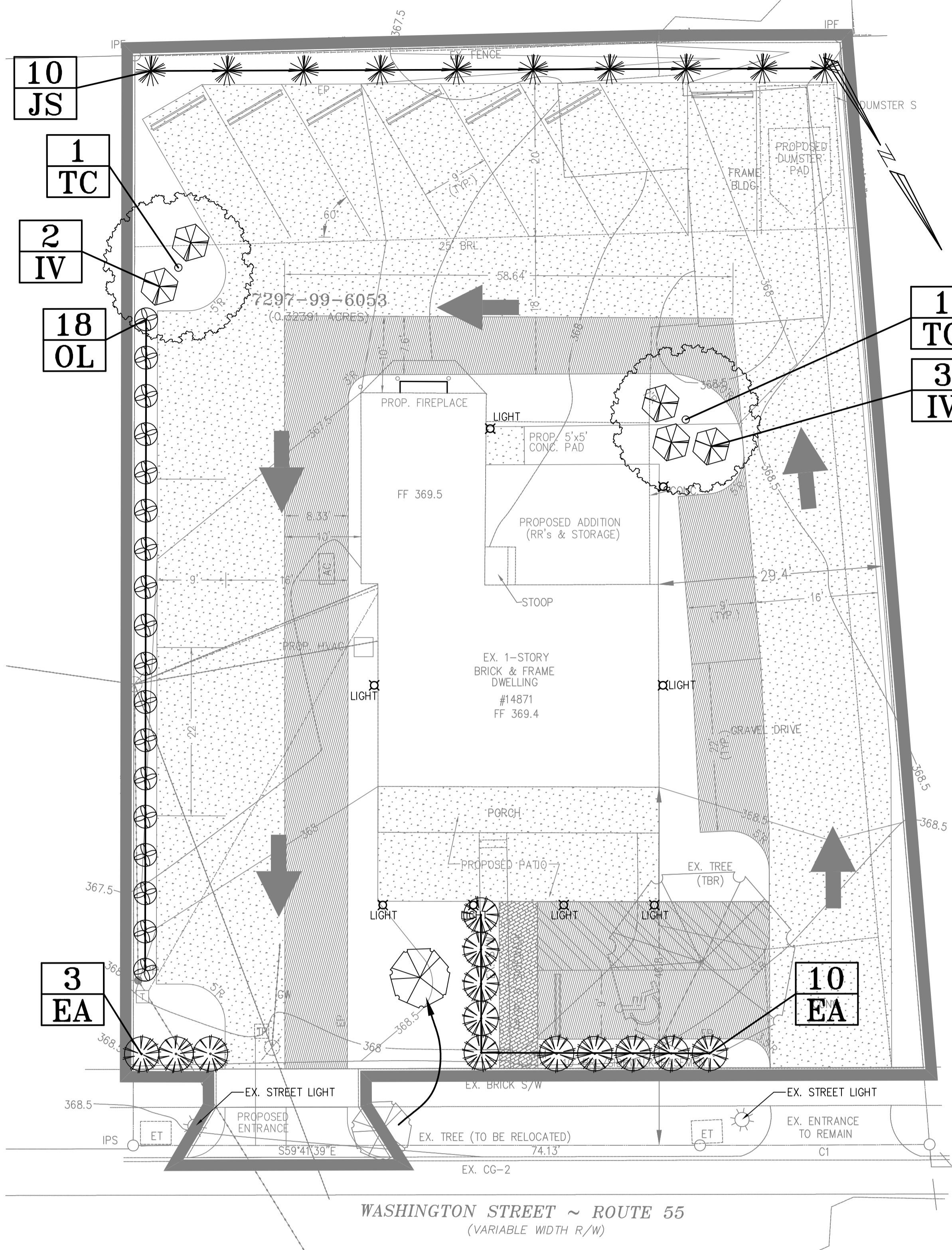
GROUND COVER: ALL AREAS OF GROUND COVER SHALL BE ROTOTILLED TO A DEPTH OF SIX INCHES. APPLY 2 INCHES OF ORGANIC MATERIAL AND ROTOTILL UNTIL THOROUGHLY MIXED. APPLY FERTILIZER AS STATED ABOVE.



SHRUB PLANTING DETAIL
NOT TO SCALE

- THIN BRANCHES BY 1/3 RETAINING NORMAL PLANT SHAPE.
- BARK MULCH 3" MIN.
- CREATE SAUCER WITH TOPSOIL 6" MIN.
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.
- GENTLY COMPACTED TOPSOIL MIXTURE
- TAMPED ADMIXTURE BACKFILL

- NOTES:
- OMIT COLLAR AROUND SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 - INSTALL TOP OF PLANT BALL 2-3" ABOVE FINISH GRADE.
 - TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND PLANT BALL.
 - SOAK PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION
 - SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.



WASHINGTON STREET ~ ROUTE 55
(VARIABLE WIDTH R/W)

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CANOPY/SPREAD	REMARKS	TOTAL
TREES:								
TC	2	Tilia cordata	Littleleaf Linden	2-1/2" MIN.	10' MIN.	150 SF	B&B	300 SF
JS	10	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper		6' MIN.	25 SF	B&B	250 SF
						TOTAL CANOPY AREA OF TREES TO BE PLANTED: 550 SF		
SHRUBS:								
IV	5	Ilex verticillata	Winterberry	N/A	24"	N/A	#3	N/A
EA	13	Azalea	Evergreen Azalea	N/A	24"	N/A	#3	N/A
OL	18	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	N/A	24"	N/A	#3	N/A

LEGEND

- CANOPY TREE: Tilia cordata/Littleleaf Linden
- EVERGREEN TREE: Juniperus scopulorum 'Skyrocket'/Skyrocket Juniper
- EVERGREEN SHRUB: Prunus laurocerasus 'Otto Luyken'/Otto Luyken Laurel
- Flowering Shrub: Ilex verticillata/Winterberry
- Evergreen Shrub: Azalea/Evergreen Azalea
- Building-mounted Light Fixture
- Existing Street Lamp

ADJOINING PROPERTY SCREENING

REQUIRED: 30' SEMITRANSSPARENT SCREEN ALONG REAR PROPERTY LINE.

PROVIDED: REAR YARD: EXISTING 6' BOARD-ON-BOARD FENCE TO REMAIN AND 10 PROPOSED SKYROCKET JUNIPERS.

SIDE YARD: 18 EVERGREEN SHRUBS.

INTERIOR PARKING LOT CALCULATIONS

REQUIRED: 1 TREE & 3 SHRUBS PER 10 PARKING SPACES
14/10 = 1.4 (2 TREES)
1.4 x 3 = 4.2 (5 SHRUBS)

PROVIDED: 2 CANOPY TREES
5 SHRUBS

STREET TREE CALCULATIONS

REQUIRED: 1 TREE PER 30' OF FRONTAGE

PROVIDED: 0 TREES

REQUESTING WAIVER DUE TO INTERFERENCE WITH PROPOSED ENTRANCE AND SIGHT DISTANCE REQUIREMENTS.

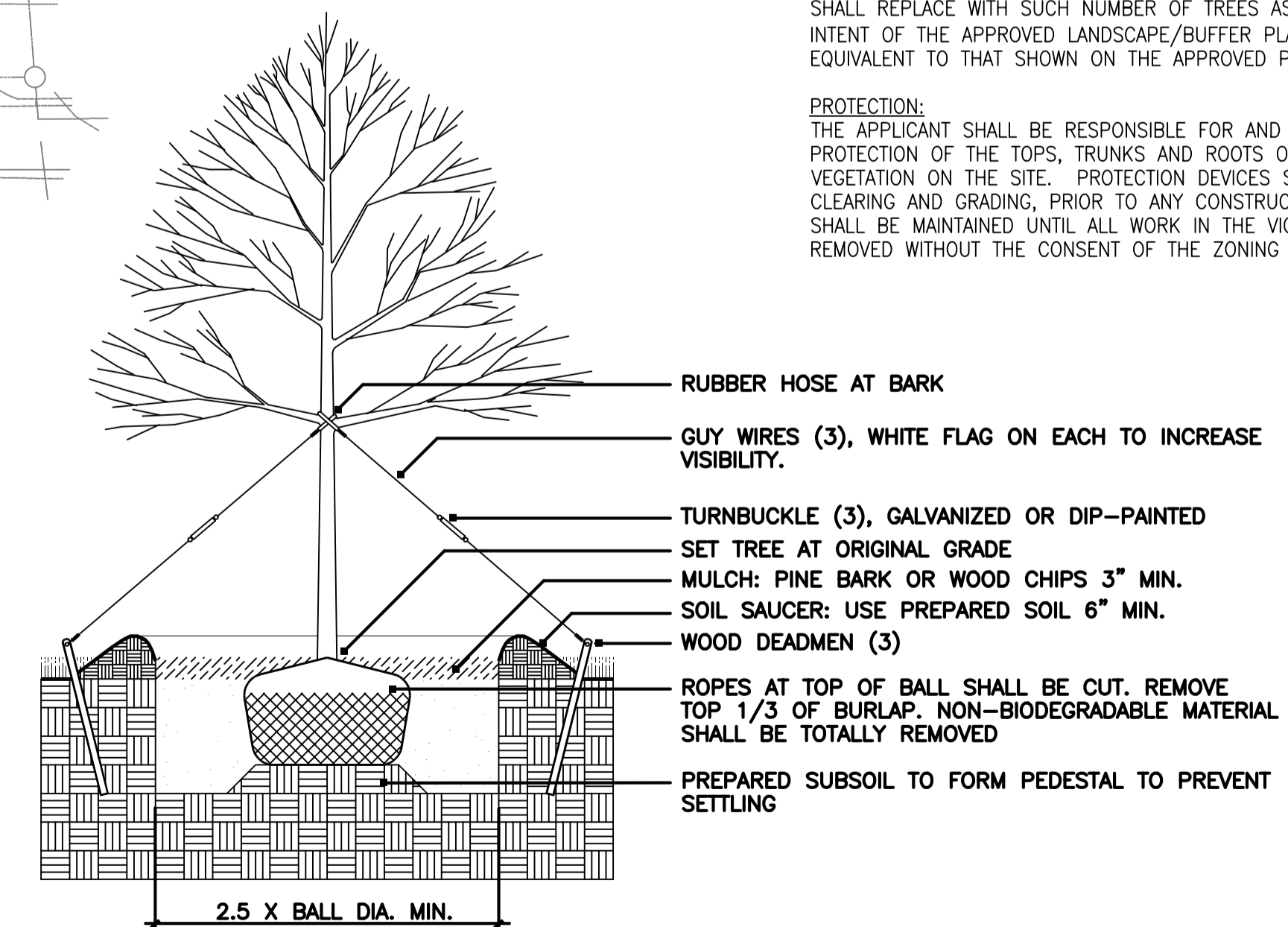
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Robert H. ... 001865 5/13/2019
LANDSCAPE ARCHITECT LICENSE-NUMBER DATE

MAINTENANCE: DEAD AND DYING TREES AND REPLACEMENTS. THE APPLICANT SHALL REPLACE ANY TREES PLANTED ALONG THE FORESTED BUFFER THAT DIE WITHIN THREE (3) YEARS OF PLANTING. IF ANY TREES SHOWN ON THE APPROVED SITE PLAN TO BE PRESERVED OR PLANTED AS PART OF THE PERIMETER BUFFER BECOME DISEASED OR ARE DYING, THEN THE APPLICANT MAY REMOVE THOSE TREES. IF THE REMOVED TREES ARE PART OF THE SCREENING BUFFER AS SHOWN ON THE APPROVED LANDSCAPE/BUFFER PLAN, THEN THE APPLICANT SHALL REPLACE WITH SUCH NUMBER OF TREES AS ARE NECESSARY TO SATISFY THE SCREENING INTENT OF THE APPROVED LANDSCAPE/BUFFER PLAN. THE REPLACEMENT TREES MUST BE EQUIVALENT TO THAT SHOWN ON THE APPROVED PLAN.

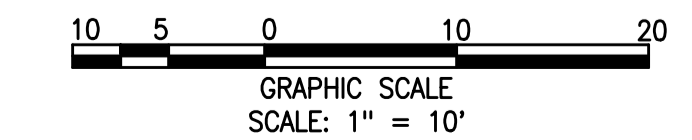
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SINGLE-STEM TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- RUBBER HOSE MAY BE DELETED IF 3/4" NYLON STRAP IS USED.
 - REMOVE WIRE OR NYLON TWINE FROM BALL.
 - INSTALL TOP OF BALL 2" ABOVE FINISH GRADE.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION
 - WRAP TREE TRUNK IF SPECIFIED ON PLANS. (SEE SPECS.)
 - LENGTH OF RUBBER HOSE TO BE 2/3 CIRCUMFERENCE OF TREE.
 - PLACE 2 WOOD STAKES PARALLEL TO STREET.
 - 4" SAUCER WILL BE OUTSIDE OF BACKFILL.
 - SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS.

- RUBBER HOSE AT BARK
- GUY WIRES (3), WHITE FLAG ON EACH TO INCREASE VISIBILITY.
- TURNBUCKLE (3), GALVANIZED OR DIP-PAINTED
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 3" MIN.
- SOIL SAUCER: USE PREPARED SOIL 6" MIN.
- WOOD DEADMEN (3)
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING

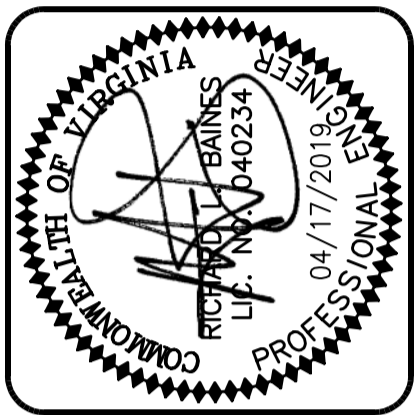


GRAPHIC SCALE
SCALE: 1" = 10'

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!

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125 EAST DAVIS STREET
SUITE 201
CULPEPER, VIRGINIA 22701



LANDSCAPE AND LIGHTING PLAN
AROMA II
SITEPLAN
TOWN OF HAYMARKET, VIRGINIA

SCALE: AS SHOWN

DATE: 3/27/2019

REVISIONS:
4-17-2019 PER COMMENTS

SHEET 12 OF 12
FILE NO. 1402



Emily K. Lockhart
Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart

DATE: May 16, 2019

SUBJECT: SUP#2019-003, Wonderful Haymarket, LLC – 14901 Washington Street

Please see the attached Special Use Permit Application and Narrative submitted by Jeffrey Moon, on behalf of Wonderful Haymarket, LLC. The application will be heard at a Joint Public Hearing on June 3, 2019 at 6:00pm. The public notice will run in the local newspaper May 22, 2019 and May 29, 2019. A Staff Report will be posted on the website and sent to the Planning Commission by May 22, 2019.

Please take note that the application is being presented in the packet for informational purposes and as a courtesy for the Planning Commission to have additional review time. If you have any questions or concerns please contact me via email or phone at Town Hall.



PRD 4/11/2019 RB SUP# 2019

SPECIAL USE PERMIT APPLICATION

NOTE: This application must be filled out completely and all submission requirements must be met before the application can be accepted and scheduled for review/Public Hearing.

RECEIVED APR 11 2019 TOWN OF HAYMARKET

NAME OF BUSINESS/APPLICANT: Wonderful Haymarket LLC

SITE ADDRESS: 14901 Washington Street, Haymarket, VA 20169

ZONING DISTRICT: R-1 R-2 B-1 B-2 I-1 C-1 SITE PLAN PROPOSED: Yes No

PROPOSED USE(S): Dental Office CODE SECTION(S) #: _____

BRIEF DESCRIPTION OF ACTIVITY: *In the space below or in an attached narrative, please describe in detail the proposed activity including size and type of proposed/existing structures, hours of operation, type of clientele, number of vehicles anticipated to visit the site during an average workday and any other changes that will affect the nature or appearance of the structure(s) or site.*
This is a Non-Disturbance Special Use Permit application to use the building as a Dental Office Facility

Supporting Documentation (attached): Narrative (addressing criteria of Section 58-9(d)) Plan/Plat

ADDITIONAL INFORMATION FOR HOME OCCUPATIONS (SUBJECT TO SECTION 58-16):

TYPE OF STRUCTURE: SFD TH TOTAL FLOOR AREA OF MAIN STRUCTURE: _____ (sq. ft.)

FLOOR AREA DEVOTED TO HOME OCCUPATION: _____ (sq. ft.)

NUMBER / TYPE OF VEHICLES: _____

NUMBER / TYPE OF EQUIPMENT AND METHOD OF STORAGE (i.e. garage, accessory storage, etc.): _____

OFF-STREET PARKING SPACES PROVIDED: _____ NO. OF EMPLOYEES WORKING FROM SITE: _____

FEE: \$500 Residential \$200 Residential In-Home Business
 \$350 Commercial (no land disturbance) \$1,500 Commercial (land disturbance)

APPLICANT/PERMIT HOLDER INFORMATION			PROPERTY OWNER INFORMATION		
Jeffrey Moon			Jeffrey Moon		
Name			Name		
4372 Thomas Brigade Ln			4372 Thomas Brigade Ln		
Address			Address		
Fairfax	VA	22033	Fairfax	VA	22033
City	State	Zip	City	State	Zip
8042440019			8042440019		
Phone#(s)			Phone#(s)		
jmoon@vcu.edu			jmoon@vcu.edu		
Email Address			Email Address		

Attachment: 20190516123448 (4038 : SUP#2019-003, Wonderful Haymarket, LLC - 14901 Washington Street -- Informational Purposes)



TOWN OF HAYMARKET
SPECIAL USE PERMIT APPLICATION

SUP# _____

APPLICANT / PROPERTY OWNER CONSENT

*****REQUIRED*****

I, as owner or authorized agent for the above-referenced parcel, do hereby certify that I have the authority to make the foregoing application and that the information provided herein or attached hereto is correct and a true representation of the activity and method of operation described. Construction of any improvements described herein and as shown on the attached plat, plan and/or specifications will comply with the ordinances of the Town of Haymarket, any additional restrictions and/or conditions prescribed by the Planning Commission or the Town Council, and all other applicable laws.

[Signature]
Applicant Signature

[Signature]
Property Owner Signature

4/8/2019
Date

4/8/2019
Date

OFFICE USE ONLY

DATE FILED: April 11, 2019 FEE AMOUNT: \$ _____ DATE PAID: _____

DATE TO ZONING ADMINISTRATOR: April 12, 2019 STAFF REVIEW COMPLETE: May 8, 2019

APPLICABLE ZONING ORDINANCE SECTION(S) / RECOMMENDED CONDITIONS:

Emily R. Lockhart
ZONING ADMINISTRATOR

May 08, 2019
DATE

DATE TO PLANNING COMMISSION: May 16, 2019 PUBLIC HEARING DATE: June 3rd, 2019
* via Agenda Packet at 6:00pm

RECOMMEND APPROVAL RECOMMEND DENIAL NO RECOMMENDATION

RECOMMENDED CONDITIONS:

CHAIRMAN

DATE

DATE TO TOWN COUNCIL: _____

PUBLIC HEARING DATE: _____

APPROVED DENIED

CONDITIONS:

To: The Planning Commission and the Town Council of Haymarket, Virginia
 From: Jeff Moon, member of Wonderful Haymarket LLC
 Date: 7 May 2019
 Purpose: Application for Special Use Permit - 14901 Washington St. Haymarket, VA 20169

Dear Town of Haymarket Planning Commission and Town Council members,

First, I would like to say that it has been exciting to witness the growth of the town, and feel honored to be able to serve the great community through the years at my current practice. My current office and I are thankful that the community has given us the trust and support we needed to remain a successful business, and friend of the community. Our intent is to continue to provide the best care and service to our growing community in the new, larger location within the town limits.

We applied for Special Use Permit at the location 14901 Washington St, Haymarket VA. The mentioned property is currently in the zoning district of B-1, and the proposed intent is to use the property in its entirety for operating a Dental Office facility upon the receipt of your approval.

14901 Washington St is a beautiful property built in 1987, which we will preserve and maintain. We would like to increase the square footage of the building by enclosing the existing drive-through area at the rear of the building, but the front that faces the main street will remain wholly preserved and untouched. The proposed extension of the back will increase the square footage from approximately 2,834 (current) to approximately 4,755 (proposed).

The property already possesses 28 parking spots, which satisfies and exceeds the 24 required parking spots defined by the Town of Haymarket Zoning Ordinance. We also do not foresee any disruption to current traffic patterns, since the patient appointment times will be staggered throughout the day. There are also two separate entrances to the property from the intersecting roads (one from Washington Street, and a second on Madison Street) to further manage the traffic volume on either street.

We verified that the building already has adequate utility, drainage and other facilities necessary for the operation of the business. The business will only be operational during the daytime (the business hours of operation will be Monday through Saturday, 8AM to 5PM), quiet, and professional and respectful in its presentation of the property; we have no reason to believe there will be any negative impacts to the surrounding area in any way, including the residences nearby. One of the unique aspects of our dental office is our Saturday hours. We are one of the very few dental offices in the area to offer Saturdays hours which addresses the need of our rapidly growing community.

Our business will ensure to protect and enhance the health and general welfare of the community and its neighboring areas by providing exceptional care and sharing overall health related knowledge with everyone.

Thank you for your time, we would love to continue to assist in making the town healthier each day.

Jeff Moon and Staff



7 May 2019



Emily K. Lockhart
Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart

DATE: May 16, 2019

SUBJECT: SUP#2019-001, Williams Holdings, 6604 & 6608 Jefferson Street Special Use Permit

Please find attached the following documents in regards to application SUP#2019-001, as previously distributed.

SUP#2019-001 Staff Report

Applicant Materials:

SUP Application

Applicant Narrative

Applicant Presentation Slides and Elevations

UPDATED Applicant Presentation Slides and Elevations. – to be presented at the Meeting

Please take note that the original documents have been included for reference and the applicant will provide additional presentation slides and elevations at the May 22nd meeting, to address the comments heard at the Planning Commission Public Hearing April 22, 2019. Due to the significant changes to the application, the applicant has been asked to submit an amendment to the original application. The new application will be readvertised on June 5th, 2019 and June 12th, 2019 for a NEW public hearing on June 17th, 2019 at 7:00 pm, if authorized by the Planning Commission at May 22nd's regularly scheduled meeting.



Emily K. Lockhart
Town Planner and Zoning Administrator

MEMORANDUM

TO: Planning Commission

FROM: Emily K. Lockhart

DATE: April 9, 2019

SUBJECT: SUP#2019-001 – 6604 Jefferson Street and 6608 Jefferson Street, Williams Holdings, Mixed-Use Development

Application Summary:

Applicant, Williams Holdings, has submitted the attached Special Use Permit application to construct 45,630 GSF mixed-use building with 28 residential units, at 6604 and 6608 Jefferson Street, Haymarket. The applicant's intent is to meet growing housing needs for adult populations while providing pedestrian friendly retail spaces that encourage access by foot.

The applicant has provided a Development Narrative, Proposed Concept Plan and additional documents to support the mixed-use development.

The Zoning Ordinance requires the following standards are considered and met prior to approval.

- (1) *The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*
- (2) *The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*
- (3) *The proposed use shall not adversely affect the use or values of surrounding properties and structures.*
- (4) *The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.*
- (5) *Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*
- (6) *Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.*

In addition, Article XIX, Use & Design Standards (Sec 58 -19.2.)

h) Additional standards for the B1 district.

- (1) *Any new buildings shall be street-oriented with pedestrian entrances from the street, and compatible with the surrounding development.*

(2) *Maximum lot coverage: Forty-five percent including building and all paved areas.*

(t) *Retail. The following general standards shall apply to all retail uses:*

(1) *No outdoor display of goods shall be permitted.*

Comprehensive Plan Excerpts

Historical Walking Central Portion of Town

This portion of Haymarket houses the old Town Hall, now the Haymarket museum, and the historic old post office. Development here should be carefully considered and should reflect the architecture that lines Washington Street and defines historic Haymarket. Architectural styles and building sizes should include Colonial, Federalist, and Folk Victorian with Greek revival and Italianate architectural details. Visual interest should be encouraged through the use of height variations ranging from one to three stories. Retail and professional buildings should be arranged in a “walk-around” manner, with parking off-site. In essence, development in this area should create a town center with a historical feel in which residents and visitors can walk, shop, eat, conduct business and relax. Restoration of the old post office will be required as part of any development plan. Consideration must be made to the utility of maintaining town hall in this portion of town or moving it to another location. From this point in town, all other structures should begin to look “newer”.

Town Planner Analysis of Impacts

(1) *The proposed use at the stipulated location shall be in accordance with the official policies of an adopted comprehensive plan, and with any specific element of such plan.*

Response: The Comprehensive Plan provides the following statement for the purpose and the intent of the Neighborhood Town Center as proposed in the 2008 Comprehensive Plan:

Neighborhood/Town Center – Development of a center within the Town is proposed to provide a convenient focus for community activities and services such as neighborhood stores, offices and restaurants. A cluster of dwellings, stores, and local institutions has grown at the intersection of Washington Street and Jefferson Street as a result of convenient location, traffic flow, and nearby residential development. In addition, some portions of Washington Street west from the intersection of Washington Street and Hunting Path are proposed as Neighborhood/Town Center commercial areas with a visual connection of brick sidewalks and period street furniture.

Features of community development needed to strengthen Haymarket’s Town Center include:

1. *Provisions for expansion of retail stores and offices serving Town residents in a manner consistent with an appropriate village character for the Center;*

2. *Provision of additional off-street parking and loading facilities to serve commercial development, including a public parking lot to limit parking needs at individual sites;*
3. *Preservation of architecturally significant structures including older residential and commercial structures as well as the Old Town Hall and Old Post Office buildings;*
4. *Beautification activities including additional landscaping, new street furniture (lights, benches, trashcans) and brick sidewalks;*
5. *The elimination of distracting signs;*
6. *Repair and improve maintenance of sidewalks serving the residents adjacent to the Town Center;*
7. *The construction of new structures that are carefully integrated with older, existing buildings and do not overpower the existing Streetscape or pose a threat to the center's character.*

With the above intent in mind, it is the Town Planner's understanding that the proposed mixed-use development will provide an expansion of retail services to the Town, offer off-street parking to service the development, architectural features to celebrate the Town's history, and a walkable destination for current and future residents.

- (2) *The proposed use shall be in accordance with the general purpose and intent of the applicable zoning district requirements.*

Response: The Zoning Ordinance provides the following statement for the purpose and the intent of the Town Center Business District;

ARTICLE X. - TOWN CENTER DISTRICT B-1
Sec. 58-10.1. - Intent.

The Town Center District, B-1, provides primarily for retail shopping and personal services to be developed either as a unit or in individual parcels oriented to attracting pedestrian shoppers, tourism and local convenience. Recognizing the economic value of the existing historical area, it shall further be the intent of the district to encourage the retention and rehabilitation of structures and uses in the district that have historic and/or architectural significance. The range, size, hours of operation, lighting, signs and other developmental aspects of permitted uses may be limited in order to enhance the general character and historic nature of the district.

It is the Town Planner's understanding that the proposed mixed-use development will be in accordance with the general purpose and intent of the B-1 zoning district by providing additional retail shops and services to the Town residents which will also act as attractive pedestrian destinations. The residential portion of the project will provide an opportunity to blend the Town Center district with the surrounding residential district to create a less intrusive blending of the districts.

The Planning Commission shall consider the appropriate number of residential units for the mixed-use development. The applicant has currently proposed 28 units, which will be a combination of one to three-bedroom units.

(3) The proposed use shall not adversely affect the use or values of surrounding properties and structures.

The proposed use fronts Jefferson Street with a commercial business located at 6590 Jefferson Street and a residential use at 6610 Jefferson Street. Across Jefferson Street are several commercial properties with a variety of retail businesses, professional offices and small restaurants. The parcels abutting the property on the rear are three residential lots, currently under development.

The proposed mixed-use structure will have three stories of residential properties above the first-floor retail uses. The structure's elevations will be visually appealing on all sides and conform to all Architectural Review Board requirements and guidelines.

There is no indication the proposed-mixed-use structure will decrease the values of the surrounding properties, however for the most accurate information an additional study on the economic value would need to be performed. There is an indication that the residential property located at 6610 Jefferson Street could be affected by the development's traffic flow and commercial uses during the pm hours. However, the proposed commercial development is a by-right use.

(4) The proposed use shall not adversely affect the health, safety or general welfare of persons residing or working in the neighborhood.

There is no indication of any adverse effects on the health, safety, or general welfare of the persons residing or working in the neighborhood based on the SUP Package submitted for the mixed-use structure.

(5) Pedestrian and vehicular traffic generated by the proposed use shall not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.

The proposed mixed-use development will provide off-street parking for the retail spaces and the residential units. The applicant is requesting a parking wavier for the on-site parking requirements. The apartments on the second, third and fourth floor require 1.5 spaces per dwelling unit (Sec 58-6.1) and the retail space requirements vary based of the use type from 1 space per 300 GFA (Office/Low Intensity) to 1 space per 100 GFA (restaurant use). The applicant has provided 63 spaces on site to accommodate the uses. Of the 63 spaces, 42 spaces will be required for the residential uses and 21 will remain for the retail spaces. It is recommended by the Town Planner that the applicant develop a shared parking agreement to present to the Planning Commission for the parking wavier to be considered. Pedestrian traffic will have access to the property via the sidewalk improvement project along Jefferson Street.

The vehicular traffic along Jefferson Street will be impacted with the new entry/exit and added vehicular trips. Proper traffic studies and impact analysis shall be prepared along with projected vehicle trips per day. Since Jefferson Street is a high-volume route, it will be pertinent to not impede traffic, rather the improvements shall enhance the movement and flow through the site and intersections.

(6) Utility, drainage, parking, loading and other necessary facilities provided to serve the proposed use shall be adequate.

Utilities, drainage, loading zones and other necessary facilities will be addressed at the site plan phase. The parking shall be addressed by the Planning Commission during the SUP process, as the parking currently proposed may not adequately suffice. It is recommended that the applicant provide a shared parking agreement as a means of justification for the wavier and as a point of discussion for the Planning Commission.

Planner Recommendation:

As the building and parking lot are currently proposed the impervious surfaces will exceed the allotted amount in the Business-1 district. As proposed the Town Planner does not recommend approval of the plan until the lack of adequate green space and parking justifications can be sufficiently provided. In addition, the Town Planner recommends the quantity of the residential units be reduced to better address adequate parking for the retail spaces.

In general, the Town Planner is in support of the project as it will enhance the Town Center and provide a blended mixed-use development to our Town Core. Through the Special Use Permit process and the site plan process, the Town Planner highly recommends the addition of green space, reducing the number of residential units from 28 to 24 or less, to address the building massing, parking and lack of greenspace.

The Town Planner recommends the Planning Commission defer a decision until the May meeting after all public comments can be adequately addressed and the planner's comments can be considered and addressed.

WILLIAMS HOLDINGS

Michelle Williams · 15385 Bull Run Estates Drive
 Email: williamsholdings@live.com · Phone: 703-795-9820

Town of Haymarket
 Planning Commission
 15000 Washington St. Suite 100
 Haymarket, VA 20169

4/4/2019

DEAR PLANNING COMMISSION MEMBERS,

Please see the following information for review of the special use permit and certificate of appropriateness for approval to build a 45,630 GSF brick front building with brick gates to enter the parking area. The building intent will be to use new materials reminiscent of older style buildings to meet growing housing needs for adult populations surrounding Haymarket that enjoy small town living. The building design is expected to encourage strolling traffic with retail easy to access by foot, while providing adequate parking for guests outside the town of Haymarket.

BUILDING SCOPE

- Excavate lots in preparation for construction
- Build a mixed use building on Jefferson Street
- Building size 44,640 SF = 6,714 SF (Retail) + 472 SF (Property Mgt Office) + 347 SF (Lobby) + 573 SF (Equipment Room) + 12,178 SF (Floor One Condos) + 12,178 SF (Floor Two Condos) + 10,545 SF (Floor 3 Condos) + 1,633 SF (Terrace)
- Type: Brick front, clapboard, hardboard or wood like siding
- 4 story no higher than 50'
- 28 Condos + 5 Retail Spaces + 1 Property Mgt Office + 1 Equipment Room
- Ingress/egress: Front of Jefferson Street with two entrances
- 63 Parking spaces total for shared use between residential and retail
- Expected population are professionals or over 55 and older population
- Elevator in rear center and stairwell
- Landscaped around perimeter inside parking lot and in the front of building brick entrances
- Expected completion: June 2020

I have visited the neighbor in 6610 Jefferson Street and discussed the proposed plan. She expressed hope that the property would have some useful and attractive improvements after sitting vacant for many years.

I met with the Store Manager of the “Details for the Home” store at 6590 Jefferson Street and she loved the concept and thought additional retail on Jefferson would increase her sales with strolling traffic. I have included two slides on these neighbors adjacent to the lots. I have also included a slide on the aerial view of the two properties.

To provide more details of the elevation and building floors, I have included the Architect’s sketches to enable the committees to gain understanding of the vision and specifications to be defined. We believe it will compliment the town vision and make the center of town more “cohesive” encouraging interest in the town center.

PROPOSED MATERIALS FOR THE BUILDING

- Brick Front
- Brick Base
- Hardboard, clapboard or wood-look siding (product undetermined at this time) consistent in quality and texture or Hardboard Siding on sides and rear
- Metal Awnings over retail spaces and over 4th floor terrace
- Columns on rooftop terrace and iron rails
- Nano type doors on the front of Retail spaces to encourage retail traffic to shop and eat
- Parking lot is asphalt
- Brick entrances to parking area

Planning construction for a building of this size is a very expensive and arduous process for an owner. There are substantive preliminary exercises using skilled engineers prior to purchase and during the purchase process. To minimize our costs and encourage an aesthetic result, we will ensure compliance with the Planning Commission and the Architectural Review Board at each juncture of the construction process.

Williams Holdings requests special exceptions for the project.

- First, the parking lot is expected to hold 63 parking spaces that are intended to be shared amongst residents and retail customers. We request a special exception from the Prince William County standard of 1 parking per 100 SF. We expect to have adequate parking during the day for customers and in the evening, the town parking lot can serve as overflow parking for retail/restaurant parking in the evenings.
- Second, the guidelines require a 25’ landscaping edge on the left side where the residential home is currently located. We would request a special exception for a

10' barrier in the rear of the property and 5' on each side of the property. The justification for this is that the 6610 Jefferson St. lot is the only residential lot on this section of Jefferson St. and likely to change to commercial in the future. This would enable us to provide enough parking for the residents and the retail customers. Retail businesses will not rent space if they do not feel their customers have adequate parking.

- Finally, to maximize the most efficient use of space for the building and its residents, we believe the building can be built on the front property line per guidance but would like to formally request the placement of the building to once again, maximize the lot's full potential for parking.

We also saw in the easement from the Town of Haymarket that the town agreed to pave the driveway entering the property as part of the easement settlement. This improvement is still be needed.

Thank you for the opportunity to be a part of the town's overall vision. If you have any questions, do not hesitate to contact me. We look forward to working with the town to enhance the town's vision.

Sincerely,

Michelle Williams

Michelle Williams
President, Williams Holdings

- Slides enclosed.

Special Use Permit and Certificate of Appropriateness Application for Williams Holdings

- Williams Holdings, Michelle Williams
- 703-795-9820
- williamsholdings@live.com
- 15385 Bull Run Estates Dr., Haymarket, VA 20169

- Request Special Use Permit with exceptions & Certificate of Appropriateness approval to build a four story mixed use building of 5 retail spaces & one office on the ground floor plus 28 condo units on upper three floors with a roof terrace in the building front

Building Project Scope

- Excavate lots in preparation for construction
- Build a mixed use building on Jefferson Street
- Building size 44,640 SF = 6,714 SF (Retail) + 472 SF (Property Mgt Office) + 347 SF (Lobby) + 573 SF (Equipment Room) + 12,178 SF (Floor One Condos) + 12,178 SF (Floor Two Condos) + 10,545 SF (Floor 3 Condos) + 1,633 SF (Terrace)
- Type: Brick front, clapboard, hardboard or wood like siding
- 4 story no higher than 50'
- 28 Condos + 5 Retail Spaces + 1 Property Mgt Office + 1 Equipment Room
- Ingress/egress: Front of Jefferson Street with two entrances
- 63 Parking spaces total for shared use between residential and retail
- Expected population are professionals or over 55 and older population
- Build building to the front property line
- Elevator in rear center and stairwell
- Landscaped around perimeter inside parking lot and in the front of building brick entrances
- Expected completion: June 2020

6604 & 6608 Jefferson Street Property Photo next to Neighbor 6610 Jefferson Street



Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings

6604 & 6608 Jefferson Street Property Photo next to Neighbor 6590 Jefferson Street

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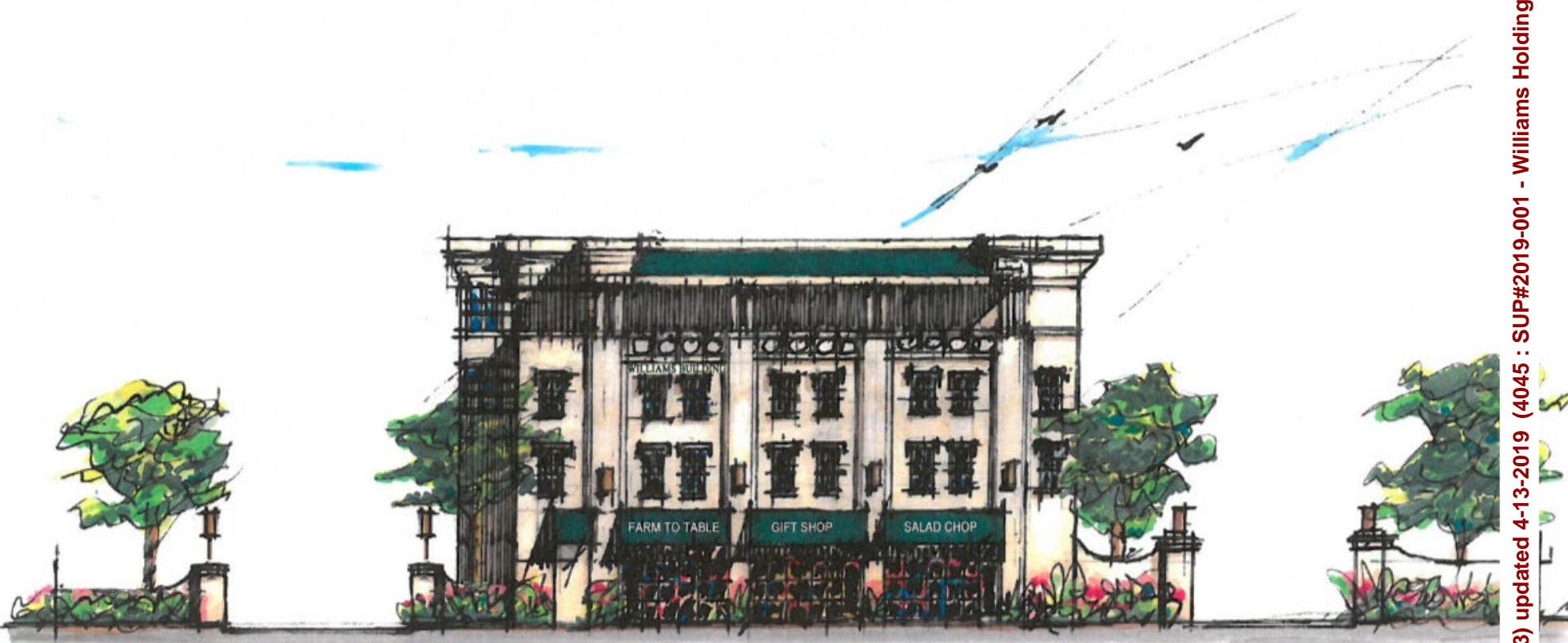


Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings

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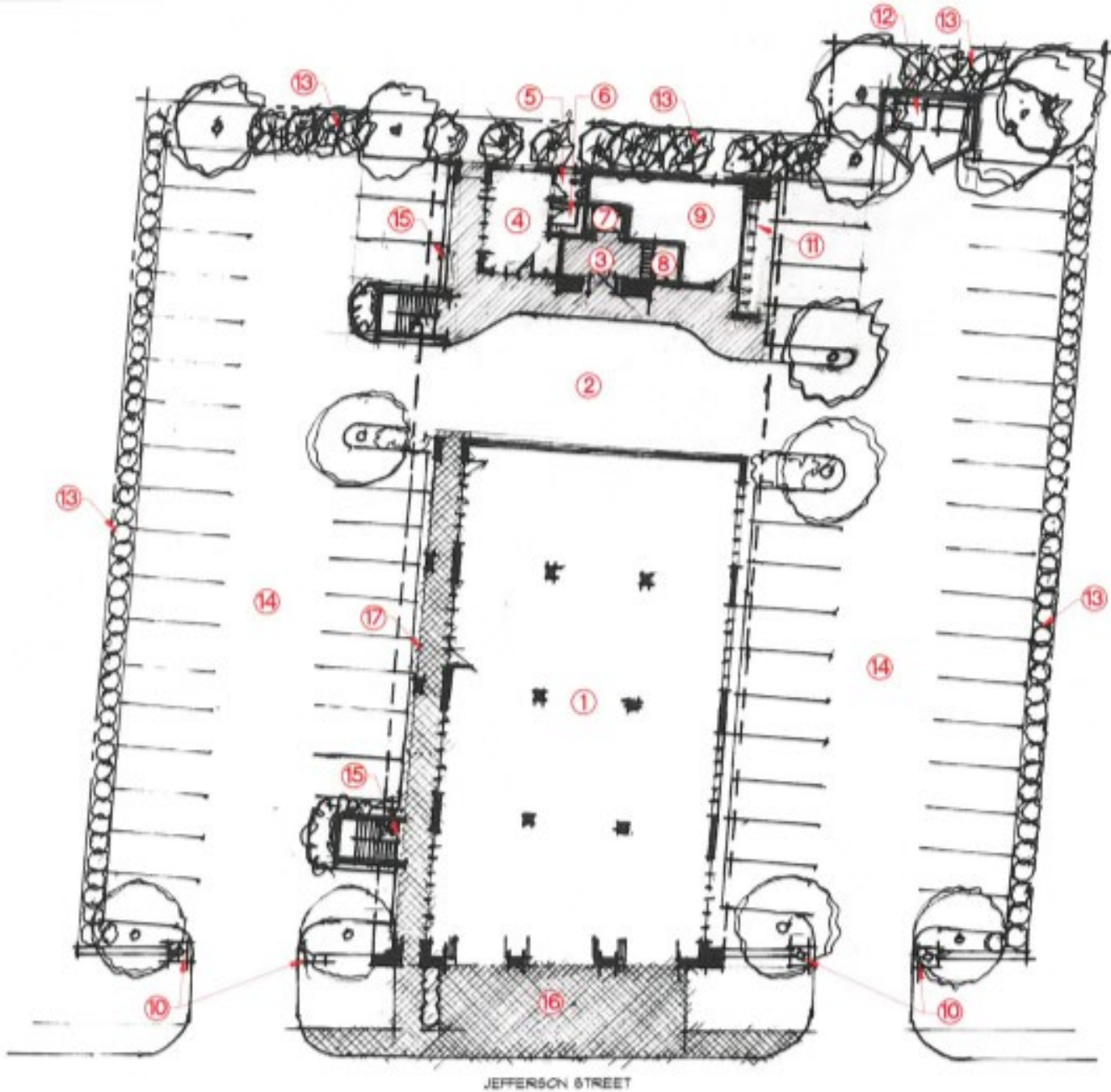


Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings



The Williams Building

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings



RETAIL LEVEL PLAN

0 8' 16' 32'

RETAIL AREA: 6,714 SF
 MICHELLE OFFICE: 472 SF
 LOBBY: 341 SF
 EQUIPMENT ROOM: 513 SF

26 RESIDENTIAL UNITS:
 9 ONE BEDROOM UNITS
 19 TWO BEDROOM UNITS

KEY NOTES

- 1. RETAIL AREA
- 2. PORTE-COCHERE
- 3. LOBBY
- 4. MICHELLE OFFICE
- 5. RESTROOM
- 6. STORAGE
- 7. ELEVATOR
- 8. MAIL BOXES
- 9. EQUIPMENT ROOM, JANITOR CLOSET, ELEVATOR, ELECTRICAL, SPRINKLE
- 10. ENTRY PIERS WITH LIGHTS
- 11. ELECTRIC METERS
- 12. TRASH DUMPSTER AREA WITH GATE
- 13. EVERGREEN SCREEN
- 14. PARKING AREA
- 15. STAIRS UP TO RESIDENTIAL
- 16. PUBLIC TERRACE AND SIDE WALK

JEFFERSON STREET

WILLIAMS BUILDING
 6604 AND 6608 JEFFERSON STREET
 ST. LOUIS, MISSOURI 63114

201900
 P1

REVIEW
 REVIEW
 04/02/09
 04/02/09

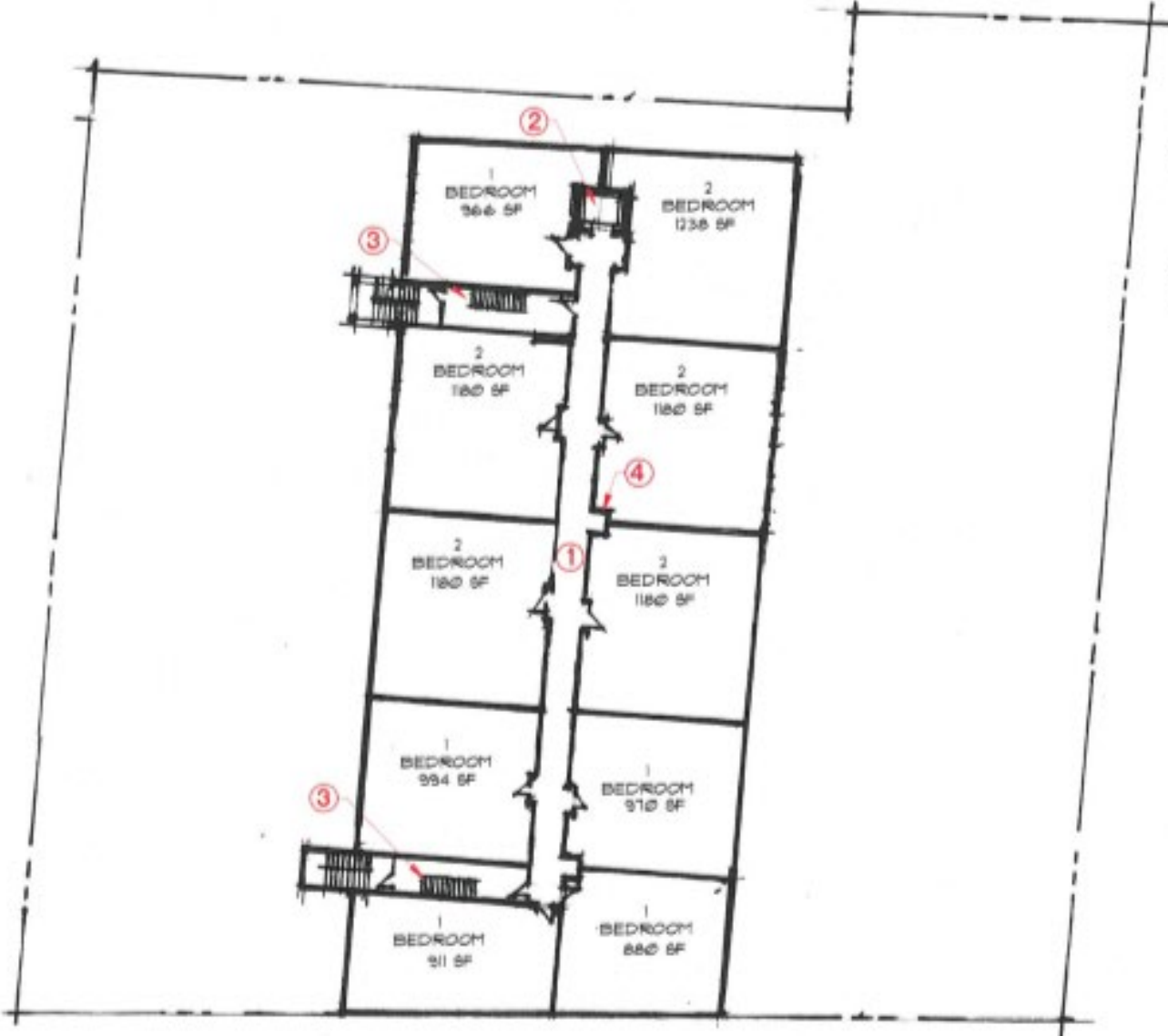
Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings
 Architect: MICHELLE I. VANHORN AND ASSOCIATES LTD. TEL: 314.299.2167

RESIDENTIAL SECOND LEVELS FLOOR PLAN



RESIDENTIAL AREA: 12,178 SF

- KEY NOTES**
- 1. HALLWAY
 - 2. ELEVATOR
 - 3. FIRE STAIRS
 - 4. JANITOR CLOSET



WILLIAMS BUILDING
 6604 AND 6608 JEFFERSON STREET
 FALLS CHURCH, VA 22034

201900
 P2

REVIEW 04/02/2019
 REVIEW 04/10/2019

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings
 Architect: WILLIAMS B. WILLIAMS ASSOCIATES LLC.



RESIDENTIAL THIRD LEVELS FLOOR PLAN

0 8' 16' 32' N

RESIDENTIAL AREA: 12,718 SF

- KEY NOTE**
1. HALLWAY
 2. ELEVATOR
 3. FIRE STAIRS
 4. JANITOR CLOSET

REVIEW REVIEW

04/10/2019 04/10/2019

WILLIAMS BUILDING
6604 AND 6608 JEFFERSON STREET
HAYMARKET, VA 20160

2019002 P3

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings

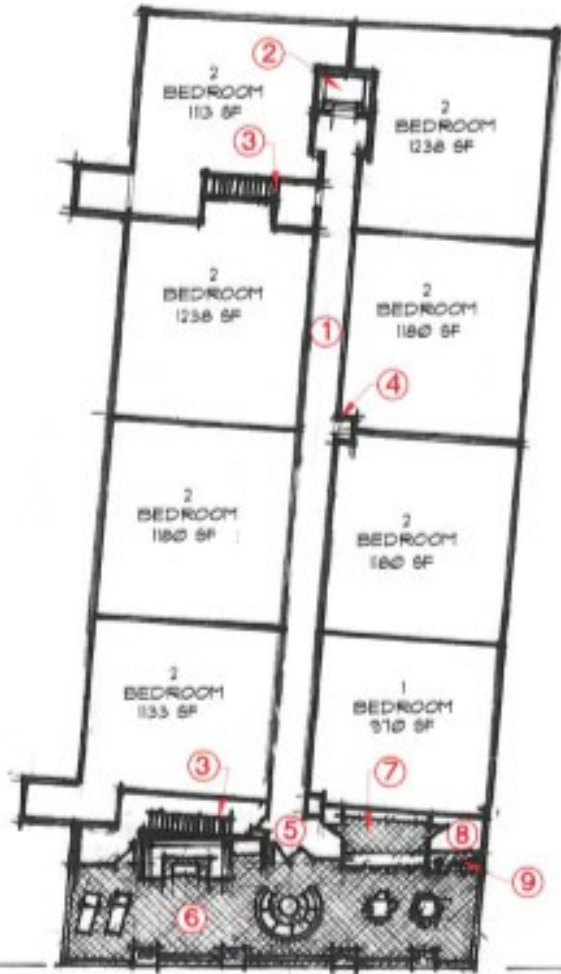
RESIDENTIAL 4th LEVEL AND ROOF TOP TERRACE FLOOR PLAN

0 8' 16' 32' 

RESIDENTIAL AREA: 10,545 SF
ROOFTOP TERRACE: 1,633 SF

KEY NOTES

- 1. HALLWAY
- 2. ELEVATOR
- 3. FIRE STAIRS
- 4. JANITOR CLOSET
- 5. VESTIBULE
- 6. ROOF TOP TERRACE
- 7. BAR
- 8. STORAGE
- 9. POWDER ROOM



04/27/2019
04/10/2019

REVIEW
REVIEW

WILLIAMS BUILDING
6604 AND 6608 JEFFERSON STREET
HAYMARKET, VA 20169

2019003
P4

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings



JEFFERSON STREET ELEVATION



WILLIAMS BUILDING
 6604 AND 6608 JEFFERSON STREET
 HANOVER, VA 23060

2019003
 P5

REVIEW
 REVIEW
 04/02/2019
 04/02/2019

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings



SOUTHWEST ELEVATION



WILLIAMS BUILDING
 6604 AND 6608 JEFFERSON STREET
 Haymarket, VA 20169

2019003
 P6

REVIEW
 REVIEW
 04/02/2019
 04/10/2019

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings



NORTHWEST ELEVATION

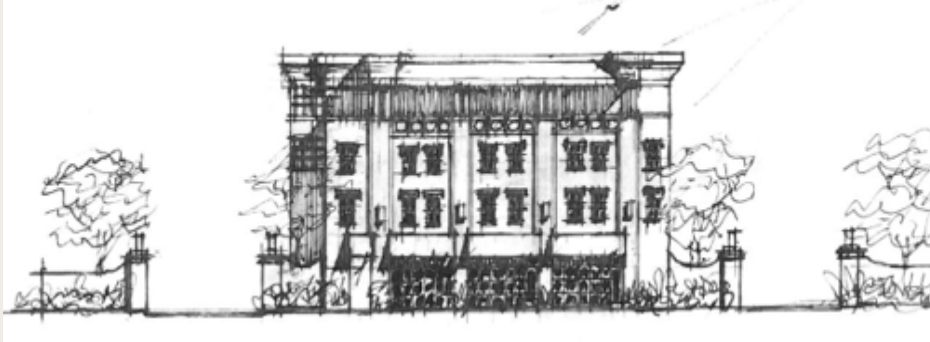
REVIEW REVIEW
 04/10/2019 04/10/2019

WILLIAMS BUILDING
 6604 AND 6608 JEFFERSON STREET
 ST. LOUIS, MO 63110

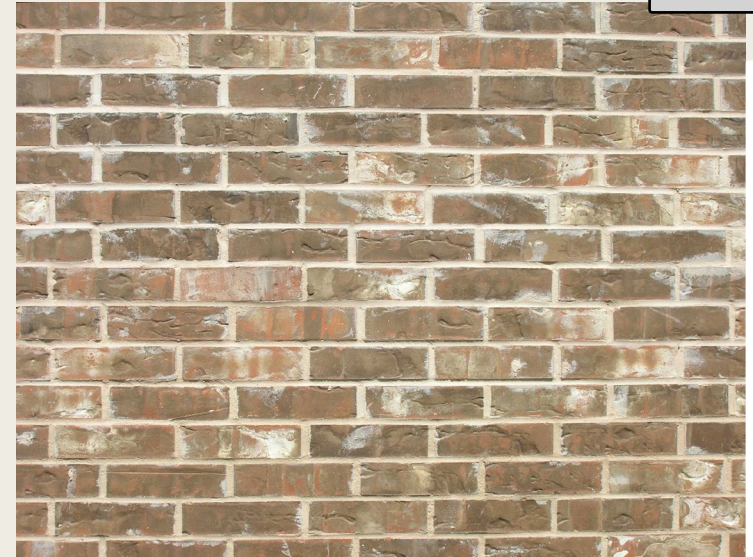
201900
 P7

Attachment: SUP Slides (3) updated 4-13-2019 (4045 : SUP#2019-001 - Williams Holdings
 Architects Mitchell I. O'Brien and Associates IIIA. net: mitchob2@aol.com

Proposed Materials



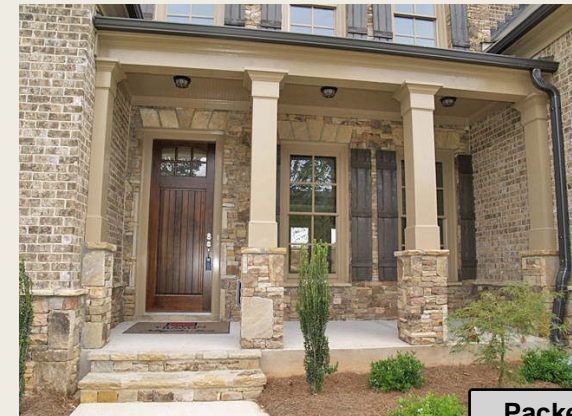
- Brick Front
- Brick Base
- Hardboard, clapboard or wood-look siding (product undetermined at this time) consistent in quality and texture or Hardboard Siding on sides and rear
- Metal Awnings over retail spaces and over 4th floor terrace
- Columns on rooftop terrace and iron rails with flower boxes
- Nano type doors on the front of Retail spaces to encourage retail traffic to shop and eat
- Parking lot is asphalt
- Brick entrances to parking area



Gutters

Martin Senour
Paints™ 45-2 Oriental
Silk*

Martin Senour
Paints™ 22-4
Cheshire Brown*



Packet Pg. 48

SAMPLE BUILDING ONLY WITH APPLIED COLORS

Requests for Special Exceptions

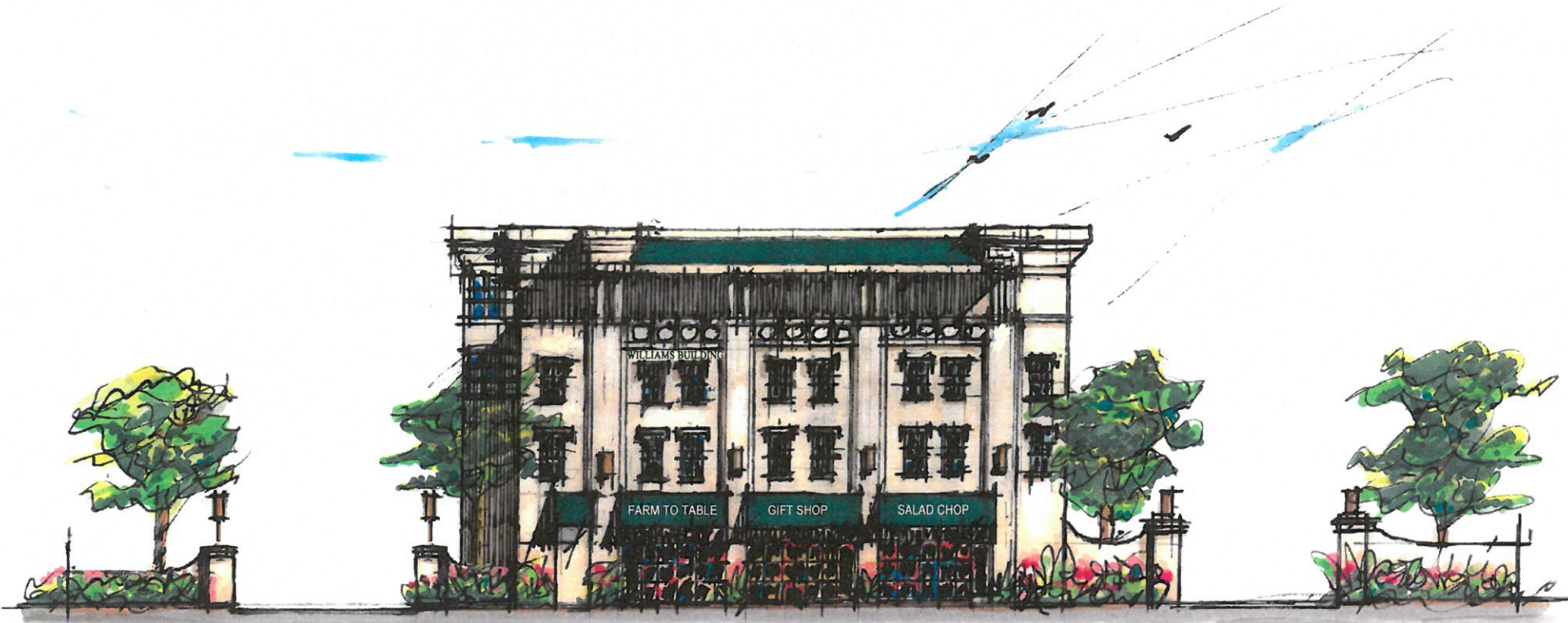
- Parking lot will hold 63 parking spaces pending site plan development. Request special exception for parking requirement.
 - 1 space per 1 BR Condo Unit and = 9 spaces
 - 1.5 for 2 BR Condo Unit totaling = 29 spaces
 - 25 spaces remain for retail store parking. For optimal retail use, we request a shared parking agreement.
- If additional parking is needed for retail in the evening, the Town Center parking lot could suffice for overflow
- It is requested that the landscape edge be reduced from guidance of 10' to 5' on each side of the property and 10' (consistent with the neighbor in the rear) in the rear to maximize parking on entire lot for residents and retail around the perimeter.
- Building proposed to be built on property line in front to utilize use of property for maximum parking.

Neighbors

- Ms. Williams met Ms. Bailey to the left facing the lot and she expressed positive interest to get the lot front and sides looking better. She shared the architectural designs with her and she commented it will look very nice.
- Ms. Williams spoke to the store Manager, “Details for the Home” and showed her the mixed use concept. She said she thought it would be a nice compliment to her store to add more retail on Jefferson St. with strolling traffic.
- I left my contact information for both neighbors in the event they had any questions or concerns. No concerns were expressed by either neighbor at this time.

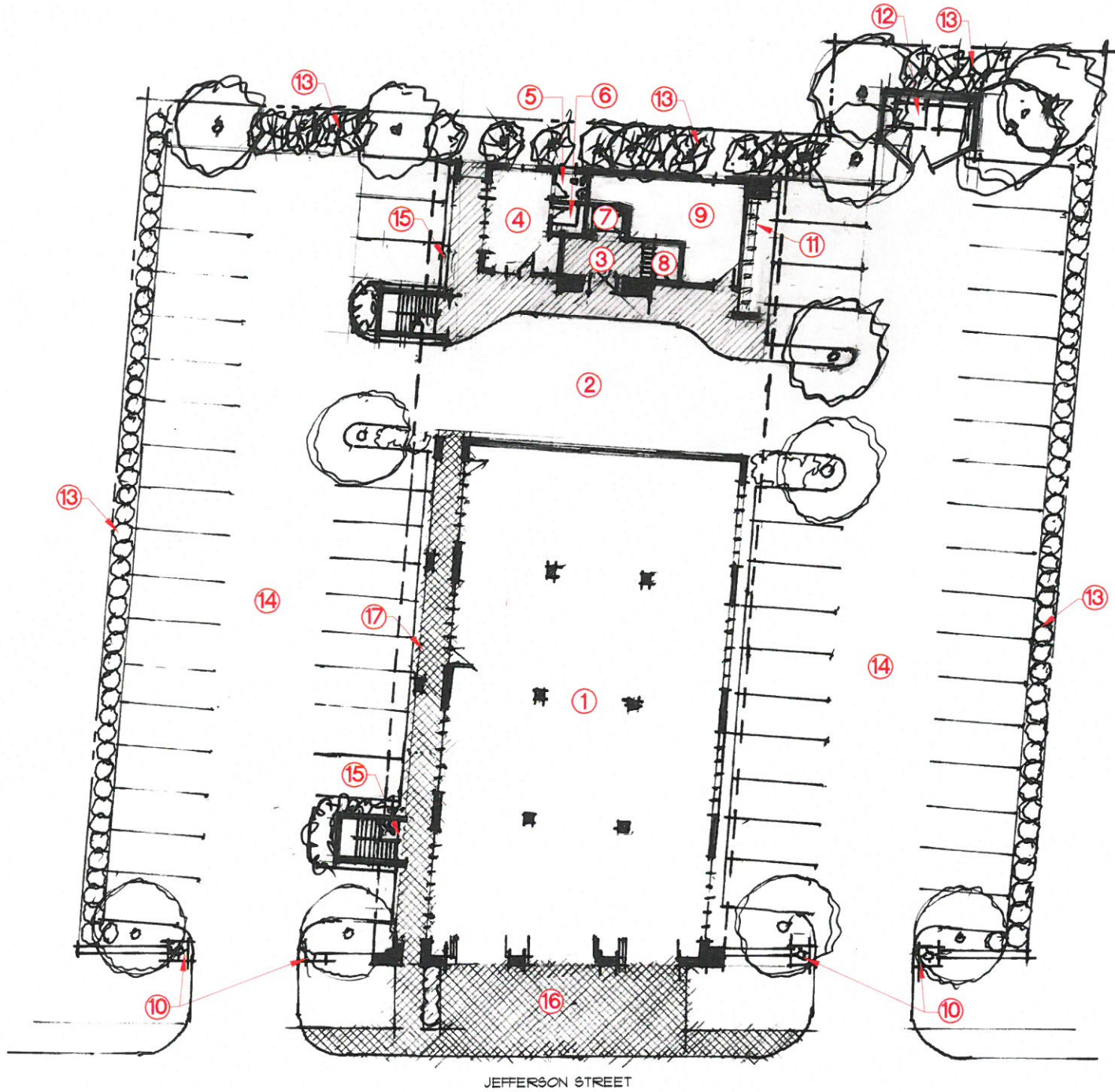
Other Information and Questions?

- The town has an easement settlement to repave the driveway. This improvement will still be needed. We would like to work with the town on the design that will fit with our ingress/egress designs.
- We would build the building on the front property line in accordance with the existing town guidelines
- Questions?



The Williams Building

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RETAIL LEVEL PLAN



RETAIL AREA: 6,714 SF
 MICHELLE OFFICE: 472 SF
 LOBBY: 347 SF
 EQUIPMENT ROOM: 573 SF

28 RESIDENTIAL UNITS:

9 ONE BEDROOM UNITS
 19 TWO BEDROOM UNITS

KEY NOTES

1. RETAIL AREA
2. PORTE-COCHERE
3. LOBBY
4. MICHELLE OFFICE
5. RESTROOM
6. STORAGE
7. ELEVATOR
8. MAIL BOXES
9. EQUIPMENT ROOM, JANITOR CLOSET, ELEVATOR, ELECTRICAL, SPRINKLE
10. ENTRY PIERS WITH LIGHTS
11. ELECTRIC METERS
12. TRASH DUMPSTER AREA WITH GATE
13. EVERGREEN SCREEN
14. PARKING AREA
15. STAIRS UP TO RESIDENTIAL
16. PUBLIC TERRACE AND SIDE WALK

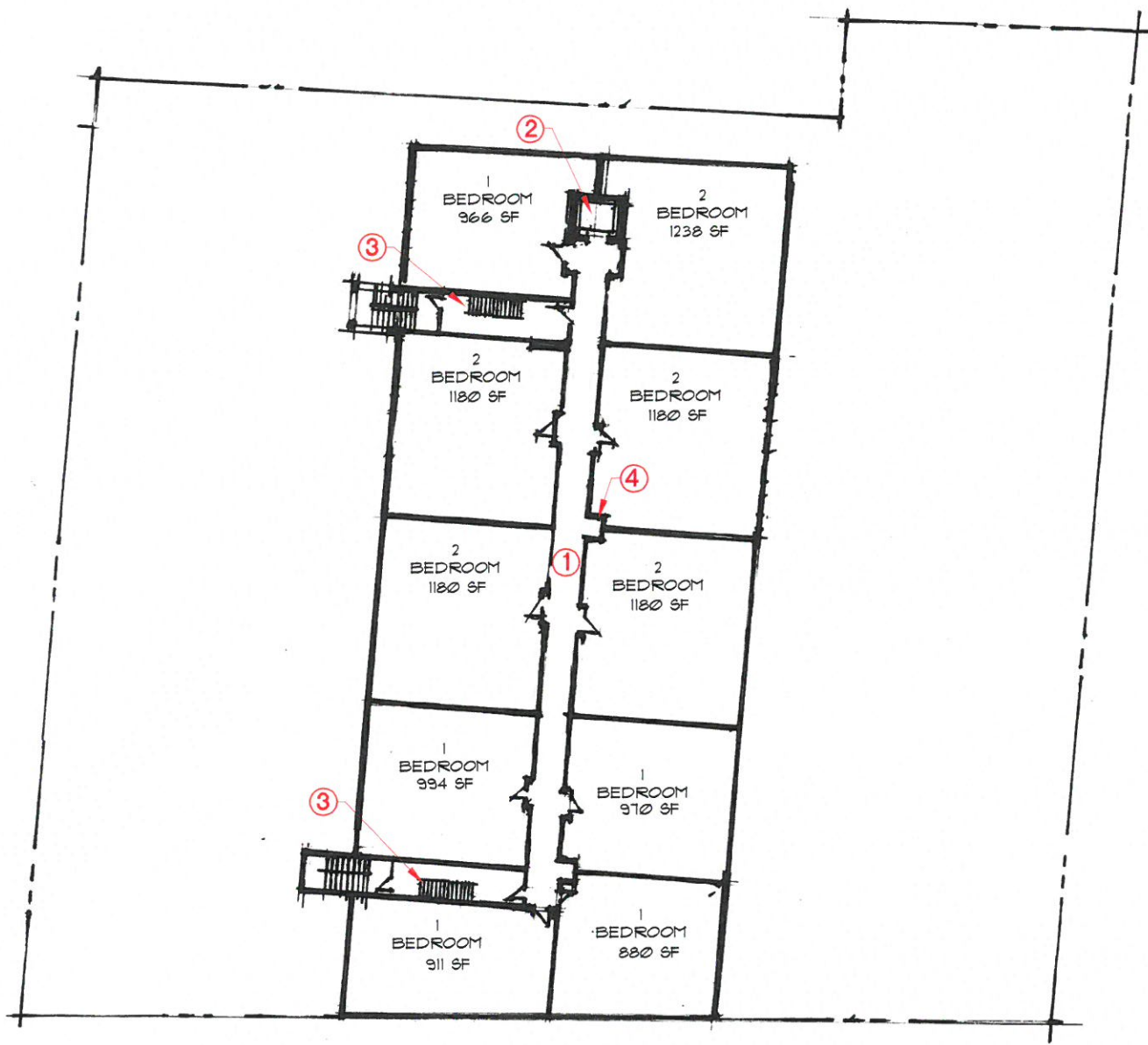
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REVIEW	REVIEW	04/10/2019 04/10/2019
WILLIAMS BUILDING 6604 AND 6608 JEFFERSON STREET Haymarket, VA 20169		
2019003		
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Attachment: Williams Building updated drawings color 4-10-2019 (4045 : SUP#2019-001 - Williams

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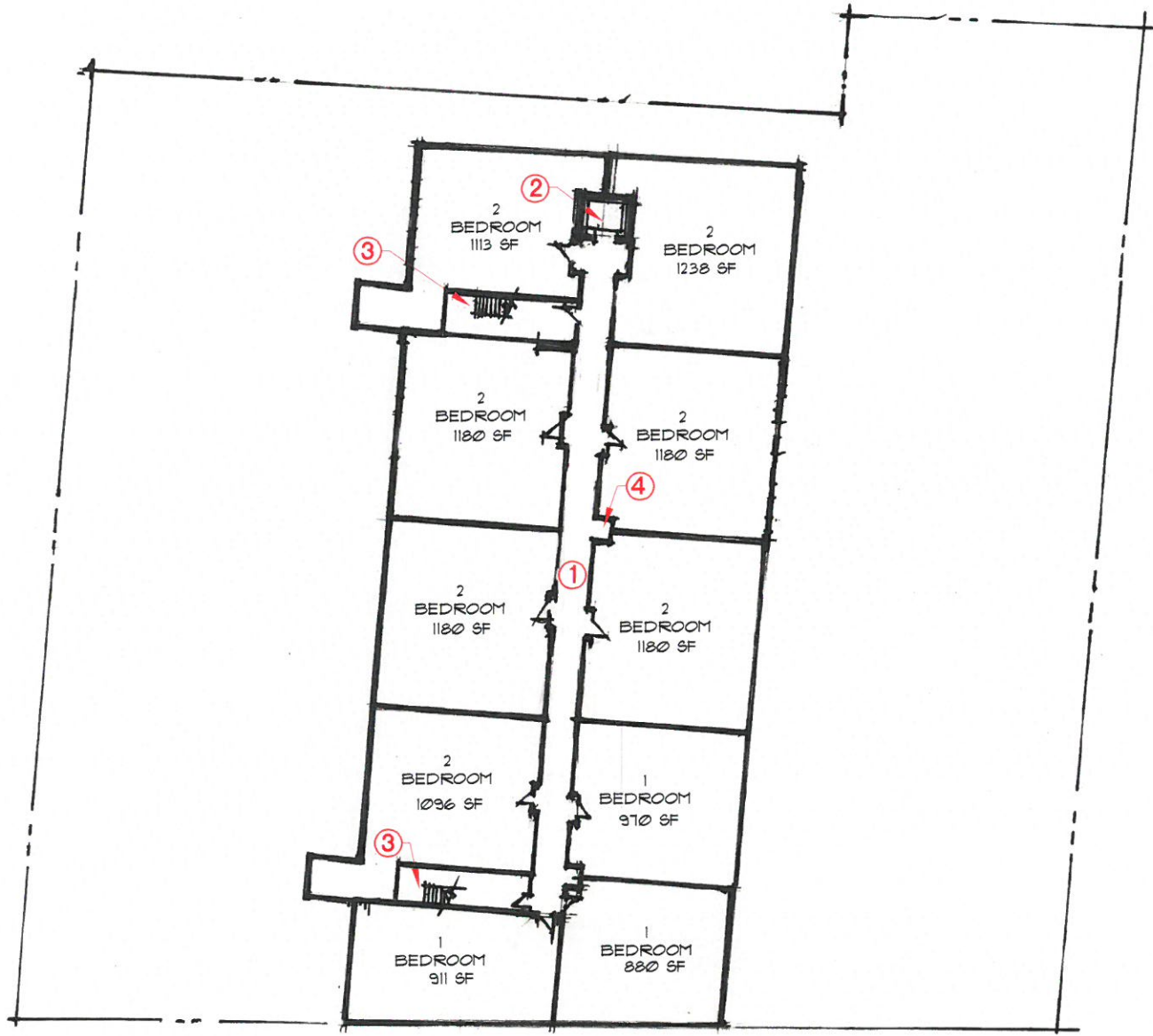
RESIDENTIAL SECOND LEVELS FLOOR PLAN

0 8' 16' 32' 
 RESIDENTIAL AREA: 12,178 SF

- KEY NOTES**
1. HALLWAY
 2. ELEVATOR
 3. FIRE STAIRS
 4. JANITOR CLOSET

P2	2019003	WILLIAMS BUILDING 6604 AND 6608 JEFFERSON STREET Haymarket, VA 20169	REVIEW REVIEW 04/10/2019 04/10/2019	7.1.e architect michael i. oxman and associates ltd. Phone (540) 668-7445 Fax (540) 668-9000 net: mllrce@iaci.com
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Attachment: Williams Building updated drawings color 4-10-2019 (4045 : SUP#2019-001 - Williams



RESIDENTIAL THIRD LEVELS FLOOR PLAN

0 8' 16' 32' N

RESIDENTIAL AREA: 12,178 SF

- KEY NOTES**
1. HALLWAY
 2. ELEVATOR
 3. FIRE STAIRS
 4. JANITOR CLOSET

REVIEW 04/02/2019
 REVIEW 04/10/2019

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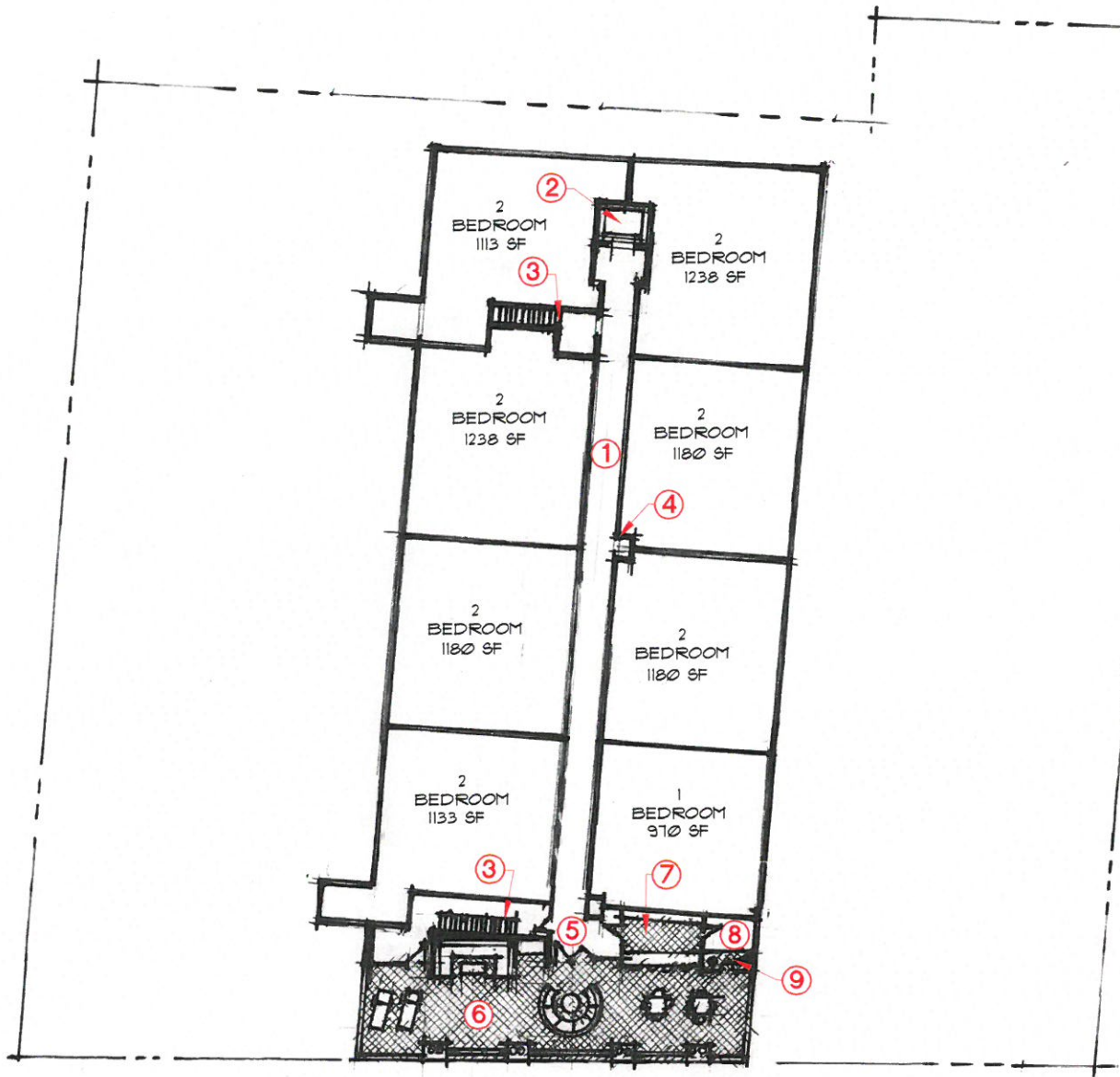
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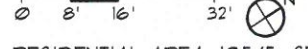
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Attachment: Williams Building updated drawings color 4-10-2019 (4045 : SUP#2019-001 - Williams

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RESIDENTIAL 4th LEVEL AND ROOF TOP TERRACE FLOOR PLAN



RESIDENTIAL AREA: 10,545 SF
ROOFTOP TERRACE: 1,633 SF

KEY NOTES

1. HALLWAY
2. ELEVATOR
3. FIRE STAIRS
4. JANITOR CLOSET
5. VESTIBULE
6. ROOF TOP TERRACE
7. BAR
8. STORAGE
9. POWDER ROOM

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P4

REVIEW
REVIEW

04/10/2019
04/10/2019

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JEFFERSON STREET ELEVATION



REVIEW
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P5

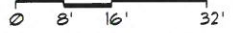
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SOUTHWEST ELEVATION



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P6

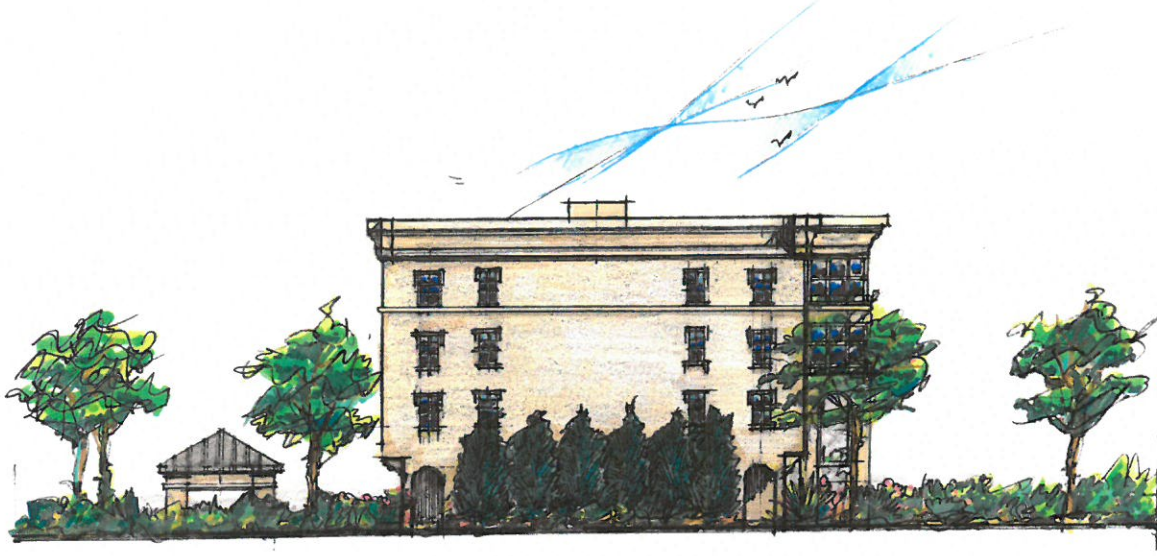
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04/10/2019

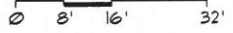
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NORTHWEST ELEVATION



P7

2019003

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