



# TOWN OF HAYMARKET PLANNING COMMISSION

## REGULAR MEETING ~ AGENDA ~

Debra Sprehe, Clerk of Council  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

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Wednesday, October 4, 2017

7:00 PM

Council Chambers

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### **1. Call to Order**

### **2. Pledge of Allegiance**

### **3. Moment of Silence**

### **4. Minutes Approval**

- a. Planning Commission - Regular Meeting - Jul 5, 2017 7:00 PM

### **5. Citizens' Time**

### **6. New Business**

- a. #SP2017-003 Haymarket Town Center Redevelopment Final Site Plan

### **7. Old Business**

### **8. Town Council Update**

### **9. Architectural Review Board Update**

### **10. Town Planner Update**

- a. A Dog's Day Out Update
- b. Wood Village LLC Parking Lot Site Plan Update

### **11. Adjournment**



# TOWN OF HAYMARKET PLANNING COMMISSION

## REGULAR MEETING ~ MINUTES ~

Steve Gyurisin, Town Planner  
<http://www.townofhaymarket.org/>

15000 Washington Street, Suite 100  
Haymarket, VA 20169

Wednesday, July 5, 2017

7:00 PM

Council Chambers

A Regular Meeting of the Planning Commission of the Town of Haymarket, VA, was held this evening in the Board Room, commencing at 7:00 PM.

Chairman Matt Caudle called the meeting to order.

### 1. Call to Order

Chairman Matt Caudle: Present, Commissioner James Carroll: Present, Commissioner Maureen Carroll: Present, Councilman Connor Leake: Absent, Commissioner Cathy Pasanello: Present, Commissioner Madhusudan Panthi: Present, Commissioner Steve Shannon: Present.

### 2. Pledge of Allegiance

### 3. Moment of Silence

### 4. Minutes Approval

1. Mayor and Council - Regular Meeting - Jun 5, 2017 7:00 PM

Motion to Approve the Planning Commission's portion of the Town Council's Meeting Minutes from June 5th, 2017

(The Planning Commission's Public Hearing on the proposed Zoning Map)

Result: Approved [Unanimous]

Mover: James Carroll, Commissioner

Seconder: Steve Shannon, Commissioner

Ayes: Panthi, Pasanello, Caudle, Carroll, Carroll, Shannon

Absent: Leake

2. Planning Commission - Regular Meeting - Jun 7, 2017 7:00 PM

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>MOVER:</b>	James Carroll, Commissioner
<b>SECONDER:</b>	Steve Shannon, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

### 5. Citizens' Time

No comments were presented.

### 6. Public Hearings

No comments were presented by those in attendance.

a. SUP#2015-001 (Renewal) - St. Michael's Academy Modular Classrooms at 6735 Fayette Street

<b>RESULT:</b>	<b>CLOSED [UNANIMOUS]</b>
<b>MOVER:</b>	Matt Caudle, Chairman
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

### 7. New Business

1. Consideration of SUP#2015-001 (Renewal) - Modular Classrooms at St, Michael's Academy (6735 Fayette Street)

Minutes Acceptance: Minutes of Jul 5, 2017 7:00 PM (Minutes Approval)

Mr. Gyurisin shares a brief overview of the application, and recommends its approval with the condition to extend the permit for three years as requested once the final permit is considered and approved by the Town Council; the conditions from the 2014 permit would still apply, except for the revised time frame. Given these conditions, the permit would extend for three years from July 10<sup>th</sup>.

Commissioner J. Carroll asks for clarification about ownership of the property, since the SUP would automatically terminate upon a change in ownership.

Pastor David Monroe, Administrator of St. Michael's Academy (7185 Homestead Court, Warrenton) clarifies that St. Paul's Episcopal Church still owns the property, but that St. Michael's leases it, and has done so for years.

Commissioner J. Carroll asks if the number of students is still consistent with that given in the packet; Monroe says that it fluctuates, and that there are 142 enrolled. Mr. Gyurisin clarifies that the conditions from the 2014 permit say that there may be no more than 140; Mr. Monroe says that the Department of Social Services also monitors this, and certifies the ratio of space and staff to students. In answer to the question, he says that the number of students in classes are capped regardless and their times are staggered; the long-term plan is to co-locate this campus with the elementary school campus.

Caudle asks whether the Commission should approve it for 145, so the numbers are consistent. Mr. Gyurisin recommends doing so.

Commissioner J. Carroll makes the motion to forward to the Town Council SUP2015-001 Renewal for the modular classroom at St. Michael's Academy for three years, for 145 students, with a recommendation for approval.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	James Carroll, Commissioner
<b>SECONDER:</b>	Steve Shannon, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

**2. Final Site Plan FSP#2017-002 - a Dog's Day Out (6680 Fayette Street)**

Mr. Gyurisin says that the applicants are present to answer any questions regarding this site plan. He reminds the Commission that this property was rezoned for B-1 use in 2016, and that the Commission has already approved a preliminary site plan. Staff and outside agencies have completed their reviews, and all comments have been addressed on the final site plan. This plan fell under the Ordinance that was in effect until the beginning of June, and Mr. Gyurisin has met with the applicants to address any inconsistencies between the two Ordinances - the relevant change was that the Town Council is no longer involved in site plan approvals under the new Ordinance. Consequently, the applicant has elected to have the site plan considered under the new Ordinance. The site plan has passed all reviews; after the Planning Commission's approval, bonding and easements will be required, but these processes take place internally. His recommendation is to approve this final site plan.

Commissioner Shannon commends the applicants for their due diligence, and for their patience in going through the various Town boards and processes. He would caution the builder carefully to adhere to the VDOT notes given in the agency comments, especially numbers 5,8,16, and 17. He says that all of his concerns have been addressed.

Commissioner J. Carroll asks about the landscaping buffer on the side of the property that abuts residential properties. Chairman Caudle confirms that there would also be a fence present, in addition to trees.

Tucker Travis (Christopher Consultants) shares that Christopher Consultants has had its certified arborist confirm that these trees will provide adequate screening; the trees and fence will provide as much screening as the unmodified (larger) buffer would have provided.

Commissioner M. Carroll asks if the applicants have a timeline in mind.

Minutes Acceptance: Minutes of Jul 5, 2017 7:00 PM (Minutes Approval)

Jim Payne (15073 Valhalla Court, Haymarket) says that he and his wife hope for the facility to be open by this Christmas, or at least some time this winter.

Commissioner Shannon asks which builder the applicants have selected. Mr. Payne answers that they are going through an RFP process right now. Commissioner Shannon asks the applicants to keep the Commission informed going forward, especially when they break ground.

Commissioner M. Carroll asks whether the facility's hiring process will involve Haymarket residents. Mr. Payne answers that since A Dog's Day Out Haymarket will be a franchise location, the owners will be trained initially at a corporate facility. Corporate staff will assist as the business opens, after which Haymarket employees will be phased in.

Chairman Caudle thanks the applicants for their patience with the slow pace of this project, and says that they have gone above and beyond to persevere.

Commissioner Pasanello thanks the applicants, and thinks the building will be a nice addition to the Town.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Maureen Carroll, Commissioner
<b>SECONDER:</b>	James Carroll, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

### 3. Elections & Appointments

#### 1. Re-appointment of Matt Caudle as Chair of the Planning Commission.

Commissioner M. Carroll thanks Chairman Caudle for his consistency and good leadership over the past year, and hopes that the next year will run just as smoothly.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	James Carroll, Commissioner
<b>SECONDER:</b>	Steve Shannon, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

#### 2. Re-appointment of Maureen Carroll as Vice-Chair of the Planning Commission

Commissioner Shannon appreciates the effective and collaborate environment that the leadership of the Planning Commission has fostered, and looks forward to a productive year ahead.

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Matt Caudle, Chairman
<b>SECONDER:</b>	Steve Shannon, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

#### 3. Appointment of Steve Shannon as the Planning Commission's Liaison to the Architectural Review Board



<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Matt Caudle, Chairman
<b>SECONDER:</b>	James Carroll, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

## 8. Old Business

There is no Old Business to discuss.

## 9. ARB & Town Council Update

In the absence of the Liaison to the ARB and Town Council, there are no updates.

## 10. Town Planner Update

Mr. Gyurisin shares that there have been no ARB applications for consideration in July, so the Board may not meet until August. Rainy weather prevented the walking Work Session that was scheduled for this evening, but it has been rescheduled for 5PM on August 2<sup>nd</sup>; after feedback at the Commission's last meeting, Mr. Gyurisin wants the Planning Commission to get some hands-on planning experience, so that it can make some proactive recommendations for the Town.

The biggest project in Town at present is the reconstruction of the SHEETZ facility; currently, its signs are undergoing staff review. There are smaller residential projects in the works as well.

Map changes continue to be handled by the Town manager and the Town attorney, so Mr. Gyurisin has no updates on that.

Commissioner Shannon asks if there has been an update on the gas closure at SHEETZ; Clerk of Council Danielle Kijewski says that according to the information provided to the Town, the best estimate is in the mid-autumn, for about 6 weeks. She says that the information is on the Town web site, but that Town Staff will post it in the Town Hall as well.

Commissioner Shannon also raises the issue of the manhole covers at the Route 55 construction site, and says that he will raise the matter to VDOT. He says that the most current estimate puts the completion of the Diverging Diamond Interchange at the end of the first week of August. (With exception of punch list items.)

Commissioner Panthi raises the issue of the traffic lights, and their timing; Commissioner Shannon tells those present about the major malfunction that happened with the lights the previous week, when all the traffic signals went down. He thanks the Haymarket Police Department for stepping in to direct the traffic; the final signalization will take place this Friday night at 11:00 PM, and he will be VDOT's duty officer for the next two weeks, so hopefully this process will be a smooth one.

Chairman Caudle asks if the Commission could get some drawings of the route ahead of the walking Work Session; the others clarify that these were included in the first packet. Mr. Gyurisin says that these are working drawings, and tells the Commissioners not to be afraid to make notes on them; after the walk, they can look at the VDOT standards and see what changes can be enacted.

Commissioner Pasanello says that she'll not be able to attend, and asks if she can turn in her notes in advance. Mr. Gyurisin says yes, and that they can change the date if that would be better for all. Chairman Caudle says that he will also be out of Town on the 2<sup>nd</sup>, but confirms that the others can attend and make a quorum. Commissioner M. Carroll thinks that it may be necessary to do this across multiple nights.

Chairman Caudle also raises the possibility of getting another speed table in the Town; he'd like to see one on Washington Street. Commissioner Shannon and Mr. Gyurisin say that it is not usual for such a traffic-calming device to be located on a primary road.

Commissioner Shannon says that he will be unable to attend an ARB meeting in August, due to a family commitment.

### 11. Adjournment

#### 1. Motion to Adjourn

<b>RESULT:</b>	<b>ADOPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Madhusudan Panthi, Commissioner
<b>SECONDER:</b>	Maureen Carroll, Commissioner
<b>AYES:</b>	Caudle, Carroll, Carroll, Pasanello, Panthi, Shannon
<b>ABSENT:</b>	Connor Leake

Submitted:

Approved:

\_\_\_\_\_  
Danielle Kijewski, Clerk of Council

\_\_\_\_\_  
Matt Caudle, Chair

Minutes Acceptance: Minutes of Jul 5, 2017 7:00 PM (Minutes Approval)



Town of Haymarket  
15000 Washington Street, #100  
Haymarket, VA 20169  
703-753-2600

**Emily Lockhart**  
TOWN PLANNER

## MEMORANDUM

TO: Planning Commission  
FROM: Emily Lockhart, Town Planner  
DATE: September 28, 2017  
SUBJECT: Town Center Site Plan Update

### UPDATE:

Town Staff has received the Town Center Redevelopment Final Site Plans from the engineering consultant, Rinker Design Associates, PC (RDA). The final site plan is being presented for review at the October Planning Commission Meeting. Improvements to the site plan that received preliminary approval at the Town Council's August 1, 2016 meeting include;

- Increasing front yard public gathering space and improving throat length at the Washington St. entrance, and reorienting the parking;
- Improving on site circulation for our businesses by providing two-way travel behind the building and out to Jefferson Street, and providing two parallel parking spaces near The Very Thing for Her;
- Removing the handicap space in the Police Department parking area and making the curb mountable to the Washington St. entrance for emergencies;
- Improvements to the landscaping features on the entire site.

The Town is currently awaiting comments and approvals from outside agencies. The Town Center final site plan has met all requirements on the Site Plan Checklist. The final site plan will require a parking waiver and landscaping waiver for final approval. The parking and landscaping waivers include;

- Parking waiver for 61 spaces instead of the 70 spaces required by the Zoning Ordinance. Shared Parking Modification, Sec. 58-6.1(a) and Sec. 58-6.1(b).;
- Landscaping waivers for the buffer adjacent to the residential use and the buffer adjacent to the B-1 use, Sec. 58-17.11;
- Landscaping waiver for parking adjacent to public streets, Sec. 58-17.13(c)(1);
- Landscaping waiver for the required trees per 10 parking spaces, Sec. 58-17.13(c)(2).

*Parking:* The existing parking is approximately 53 spaces, the Zoning Ordinance requires approximately 70 spaces; the proposed plan includes 61 spaces and would require a waiver if this plan is pursued. Currently, with the day and evening uses, this number of spaces will more than accommodate our uses.

### STAFF RECOMMENDATION:

Staff recommends amending the required 70 spaces of minimum parking as it complies with Sec. 58-6.1(a) and Sec. 58-6.1(b). The approximately 53 spaces currently on site are underutilized as noticed by the staff over the past year. Seasonal changes, time of day, weekday uses and weekend uses do not provide major changes in the

peak parking demands to require the full 70 spaces on the lot. The proposed plan will provide an additional 8 spaces bringing the total to 61 spaces. The office and retail uses currently located on the site will have sufficient parking for peak parking demand hours. Town Hall meetings will have sufficient parking as the peak parking demand at that hour does not compete with any other peak parking demand.

*In accordance with Town Zoning Ordinance Sec. 58-6.1 (a) Modifications to these requirements may be approved if shared parking is provided in accordance with Sec. 58-6.1(b).*

*Sec. 58-6.1(b) Shared parking. The minimum required parking spaces may be reduced if a land owner can provide parking that will be shared by complementary adjacent land uses. Such a proposal must be prepared using the methods set forth in the latest edition of the Shared Parking Manual of the Urban Land Institute (ULI). The necessary calculations and other data that show the suitability of a shared parking proposal must be submitted to the Town in conjunction with a site plan or other applicable development application, and will be evaluated by the Town as part of the normal application review process.*

In summary, the parking requirement is recommended for waiver as this plan still increases the current number of spaces, provides a site that accommodates two-way traffic and additional green space in the front of Town Hall.

*Landscaping:* The existing site has minimal to no landscaping features. The proposed landscaping provides significant aesthetic enhancement to the site and creates a Town Green for the community. Landscaping waivers will be required for the buffer zones along the property boundaries, the number of trees along Washington Street and Jefferson Street and the required landscape strip along Jefferson Street.

Proposed Landscape Species:

Deciduous Trees:

- Platanus acerifolia (London Planetree)
- Gleditsia triacanthos inermis (Thornless Honeylocust)
- Tilia cordata (Littleleaf Linden)

Evergreen Trees:

- Juniperus virginiana (Eastern Red Cedar)

Ornamental Trees:

- Crataegus phaenopyrum (Washington Hawthorne)
- Amelanchier arborea (Downy Serviceberry)

Shrubs:

- Euonymus alatus (Burning Bush)
- Cotoneaster dammeri (Coral Beauty Cotoneaster)
- Viburnum plicatum (Doublefile Viburnum)
- Viburnum carlesii (Koreanspice Viburnum)
- Forsythia x intermedia (Border Forsythia)
- Ilex crenata (Japanese Holly)

The Zoning Ordinance requirements to be waived:

- 1) Sec. 58-17.11: B-1 zoning adjacent to R-1 zoning requires a 25 foot buffer with transparent screening.
  - Property line behind the main Town Hall building backing up to residential unit on Jefferson St.
 Existing Conditions: 6 foot Board Fence.

- Proposed Action: Maintain the existing 6 foot board fence and add a 5 foot landscape buffer of trees and shrubs.
  - Recommendation: Amend the 25 foot buffer requirement, the proposed action complies with Sec. 58-17.8(c). The buffer screen incorporates use of the existing 6' board fence and adds a 5' landscaping strip which will provide sufficient screening to the adjoining property.
- 2) Sec. 58-17.11: B-1 zoning adjacent to B-1 requires a 10 foot buffer with opaque screening.
- Property line north of the main Town Hall building adjacent to B-1 zoning.
  - Proposed Action: Add a 5 foot landscape buffer of trees and shrubs
  - Recommendation: Amend the 10 foot buffer requirement; the proposed action complies with Sec. 58-17.8(c). The use of trees and shrubs in the 5 foot buffer will provide sufficient screening to the adjoining property line.
- 3) Sec. 58-17.13 (c)(1): Parking adjacent to public streets: A continuous landscape strip ten feet in width not inclusive of the sidewalk shall be located between the property line and the parking lot.
- Parking adjacent to Jefferson Street.
  - Proposed action: add a 6'6" landscape buffer along with a sidewalk
  - Recommendation: Amend the 10 foot landscape strip requirement; the proposed action complies with Sec. 58-17.8(c). Currently there is minimal to no landscape buffers along the Jefferson St property line. The 6'6" landscape buffer will provide an aesthetically pleasing screen where one does not currently exist.
- 4) Sec. 58-17.13 (c)(2): Parking adjacent to public streets: Number of trees, there will be one tree for each 30 feet of frontage and shall be planted in the landscape strip.
- London Planetrees planted along the Washington Street Frontage
  - Proposed Action: Plant 7 of the required 8 trees in 25' intervals. The existing building frontage, utility poles, guy wires and proposed feature wall provide obstructions only allowing 7 of the 8 trees to be planted at closer intervals.
  - Recommendation: Amend the 8 tree requirement; the proposed action complies with Sec. 58-17.8(c). An additional tree has been added to the adjacent parking strip. The existing features create a barrier to planting 8 trees. The addition of 7 trees along Washington Street and the 1 adjacent tree will greatly increase the appeal of the property, the landscaping features and provide an attractive curb appeal.
- London Planetrees planted along the Jefferson Street Frontage
  - Proposed Action: Plant 6 of the required 8 trees in 25' intervals. The existing porch frontage (#6630), proposed town sign, proposed feature wall and shared use path provide obstructions only allowing 6 of the 8 trees to be planted at closer intervals.
  - Recommendation: Amend the 8 tree requirement; the proposed action complies with Sec. 58-17.8(c). 6 trees planted along Jefferson St will be an enhancement to the property.

#### STAFF RECOMMENDATION:

Amend the landscape buffer requirements and tree requirements in accordance with Town Zoning Ordinance Sec. 58-17.8(c), which allows for landscaping modifications due to existing site constraints. The proposed landscaping on the Town Center Redevelopment project will be a significant enhancement to the current Town Center property. This landscaping plan will provide a "Town Green" open space for town functions, landscape buffers on all sides of the property which are currently lacking and provide an aesthetically pleasing curb

appeal for our Town Hall building. The modifications in question were discussed above in detail. All landscaping waivers requested provide adequate landscaping features and screening for adjacent properties and comply with Sec. 58-17.8(c).

*In Accordance with Town Zoning Ordinance Sec. 58-17.8 (c): Alternative screens and modifications. Alternative planting programs achieving the objectives of the required screens shall be permitted to allow flexibility in landscape design. The Planning Commission and the Architectural Review Board may approve any of the alternative screens or a combination of the alternatives if the applicant proves that the objective of the screen or screenings has been met. The Planning Commission or Architectural Review Board may reduce or eliminate the requirements for a screen if a landscape plan proposes the use of hedges, shrubs, walls, berms or combination that achieve the same objective of the required screen.*

Additionally, Staff recommends not using the London Planetree along the street landscaping buffers as the tree produces and sheds seed balls similar to the American Sycamore trees. Other canopy trees listed in Sec. 58-17.12 such as Red Maple may be a better alternative, staff suggestions the Planning Commission discuss this matter during their review. (The Required Plant Material List will be listed directly after this report for Planning Commission's use in review.)

In summary, the landscaping requirements are recommended for modification as this plan enhances the landscapes features on the entire site, provides screening and buffers along all property lines and maintains green space in the front of Town Hall.

Attached is the final site plan, site plan requirement checklist and a conceptual drawing of the site plan for your review.

**STAFF RECOMMENDATION:**

Staff recommends approval of the parking and landscaping waivers as the modifications and amendments comply with the Zoning Ordinance Sec. 58-6.1(a), Sec. 58-6.1(b). and Sec. 58-17.8(c). Staff recommends the Planning Commission reviews the Final Site Plan and provides comments to the Town Planner. Approval of the Final Site Plan is recommended once the outside agencies have submitted all comments and Planning Commission has reviewed the plan.

April 6, 2017 Draft

- (f) Screening and buffer yard matrix. The matrix included in section 58-17.11 describes the screening and buffer yard requirements between adjoining land uses.

Sec. 58-17.11 - Screening and buffer yard matrix.

Proposed Land Use	Adjacent District					
	R-1	R-2	B-1	B-2	I-1	C-1
Industrial	40' OS	40' OS	40' OS	40' OS	25' SS	25' OS
Commercial	30' SS	25' SS	10' OS	10' OS	30' OS	15' SS
Residential	X	X	25' TS	20' TS	40' OS	30' TS

Definitions. (refer to section 58-17.9)

TC - Transparent Screen  
 SS- Semitransparent Screen  
 OS- Opaque Screen

Sec. 58-17.12 - Landscaping requirements.

Landscaping, screening and open space regulations are as follows:

#### REQUIRED PLANT MATERIAL LIST

##### Canopy Trees

Common Name	Botanical Name	Function
Ginkgo (male)	Ginkgo biloba	Parking, street, buffer
Thornless Honey Locust	Gleditsia triacanthos inermis	Parking, street
Willow Oak	Quercus phellos	Parking, street, buffer
Littleleaf Linden	Tilia cordata	Parking, street, buffer
Silver Linden	Tilia tomentosa	Parking, street, buffer
Village Green	Zelkova serrata	Parking, street, buffer
Yellowwood	Cladrastis lutea	Parking, street, buffer
Purpleleaf Plum	Prunus cerasifera	Parking, street, buffer
Red Oak	Quercus rubra	Parking, street, buffer
Red Maple	Acer rubrum	Parking, street, buffer
Blackgum	Nyssa sylvatica	Parking, street, buffer
American Chestnut	Castanea dentata	Parking, street, buffer
American Sycamore	Platanus occidentalis	Parking, street, buffer

##### Evergreen Trees



April 6, 2017 Draft

Common Name	Botanical Name	Function
Eastern Red Cedar	<i>Juniperus virginiana</i>	Buffer
White Pine	<i>Pinus strobus</i>	Buffer
Austrian Pine	<i>Pinus nigra</i>	Buffer
Norway Spruce	<i>Picea abies</i>	Buffer
American Holly	<i>Ilex opaca</i>	Buffer
Dark American Arborvitae	<i>Thuja occidentalis nigra</i>	Buffer
Fosters Holly	<i>Ilex festerii</i>	Buffer

### Ornamental Trees

Common Name	Botanical Name	Function
Amur Maple	<i>Acer griseum</i>	Buffer
Flowering Dogwood	<i>Cornus florida</i>	Street, buffer
Washington Hawthorn	<i>Crataegus plaenopyrum</i>	Street, buffer
Flowering Crabapple	<i>Malus</i> (various species)	Street, buffer
Flowering Cherry	<i>Prunus</i> (various species)	Street, buffer
Downy Serviceberry	<i>Amelanchier arborea</i>	Buffer
Shadblow	<i>Amelanchier canadensis</i>	Buffer
Japanese Maple	<i>Acer palmatum</i>	Buffer
Redbud	<i>Cercis canadensis</i>	Buffer
Chaste Tree	<i>Vitex aqnus-castus</i>	Street, buffer
Fringetree	<i>Chionanthus virginicus</i>	Street, buffer
Sassafras	<i>Sassafras albidum</i>	Street, buffer

### Evergreen Shrubs

Common Name	Botanical Name	Function
English Yew	<i>Taxus baccata</i>	Buffer
Japanese Yew	<i>Taxus cuspidata</i>	Buffer
Azalea	(various species)	Buffer
Chinese Holly	<i>Ilex cornuta</i>	Buffer
Japanese Holly	<i>Ilex crenata</i>	Buffer

April 6, 2017 Draft

Rhododendron	(various species)	Buffer
Doublefile Viburnum	Viburnum plicatum	Buffer

### Deciduous and Flowering Shrubs

Common Name	Botanical Name	Function
Azalea	(various species)	Buffer
Cotoneaster	(various species)	Buffer
Forsythia	(various species)	Buffer
Red Twig Dogwood	Cornus sericea	Buffer
Viburnum	(various species)	Buffer
Winterberry	Ilex verticillata	Buffer
Winged Euonymus	(various species)	Buffer

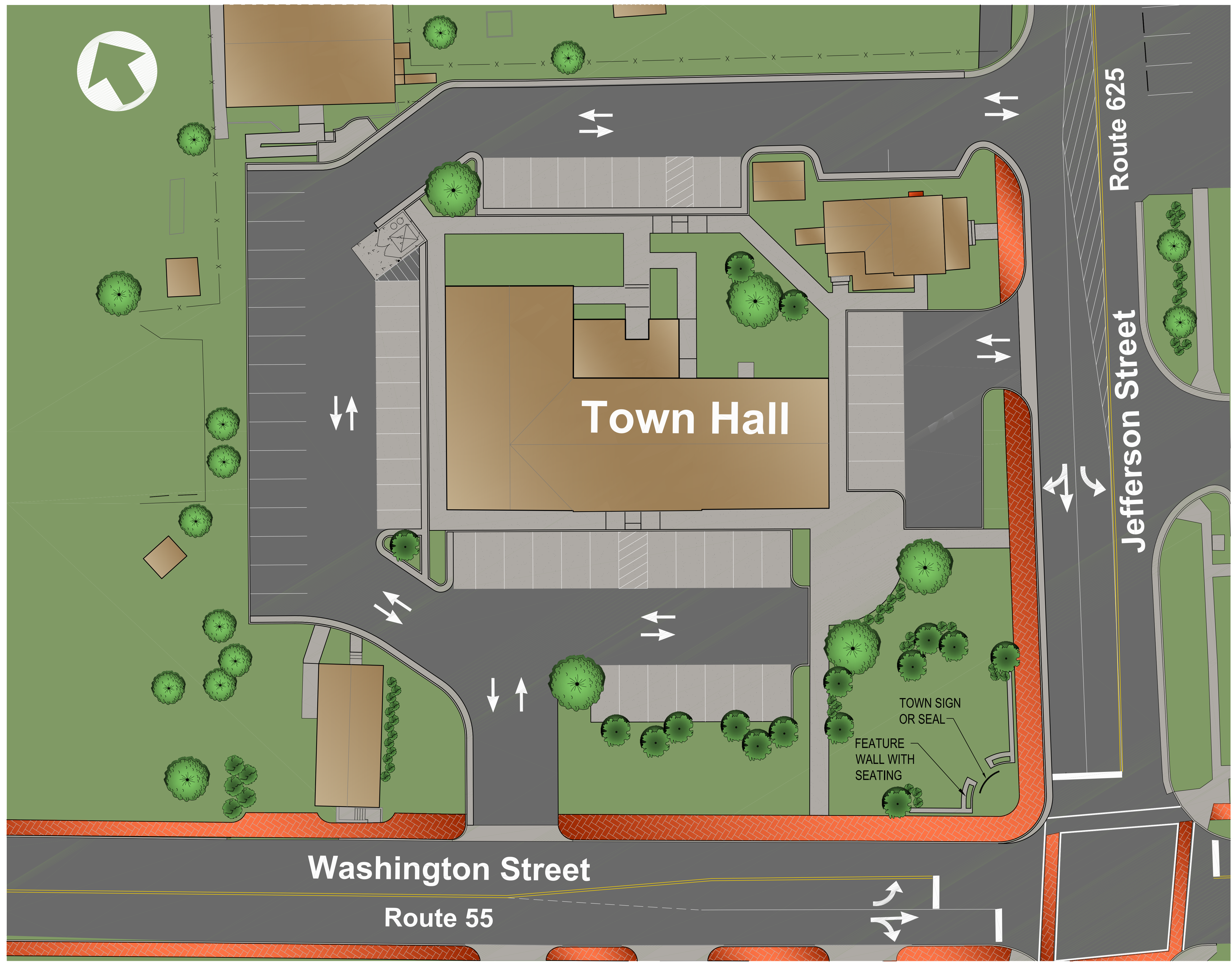
### Ground Cover

Common Name	Botanical Name	Function
Ajuga	Ajuga reptans	Buffer
Crimson Colver	Trifolium incarnatum	Buffer
Daffodils	(various species)	Buffer
Dwarf Cotoneaster	(various species)	Buffer
English Ivy	Hedera helix	Buffer
Ground Juniper	(various species)	Buffer
Native Grasses	Andropogon ternarius	Buffer
Red Poppies	(various species)	Buffer
Pachysandra	Pachysandra terminalis	Buffer
Periwinkle	Vinca minor	Buffer

Sec. 58-17.13 - Parking lot landscaping.

- (a) Generally. All parking areas, parking lots and service stations must be landscaped as described in this section unless otherwise explicitly exempted.
- (b) Perimeter parking lot landscaping. All areas outside the perimeter of the paved area of the parking lot shall be landscaped if they are adjacent to a public or a private street. The requirements of this section shall apply to the enlargement or construction of any parking lot with ten or more parking spaces.
- (c) Parking lots adjacent to public streets.





**Rinker Design Associates, P.C.**  
 Engineering \* Surveying \* Land Planning \* Transportation \* Environmental Services  
 9385 Discovery Boulevard, Suite 200, Manassas VA, 20109 on the web @ www.rdacivil.com  
 Telephone: (703) 368-7373 Fax: (703) 257-5443  
 "Turning Challenges into Opportunities"

**Haymarket Town Center**  
 Scale: 1" = 15'

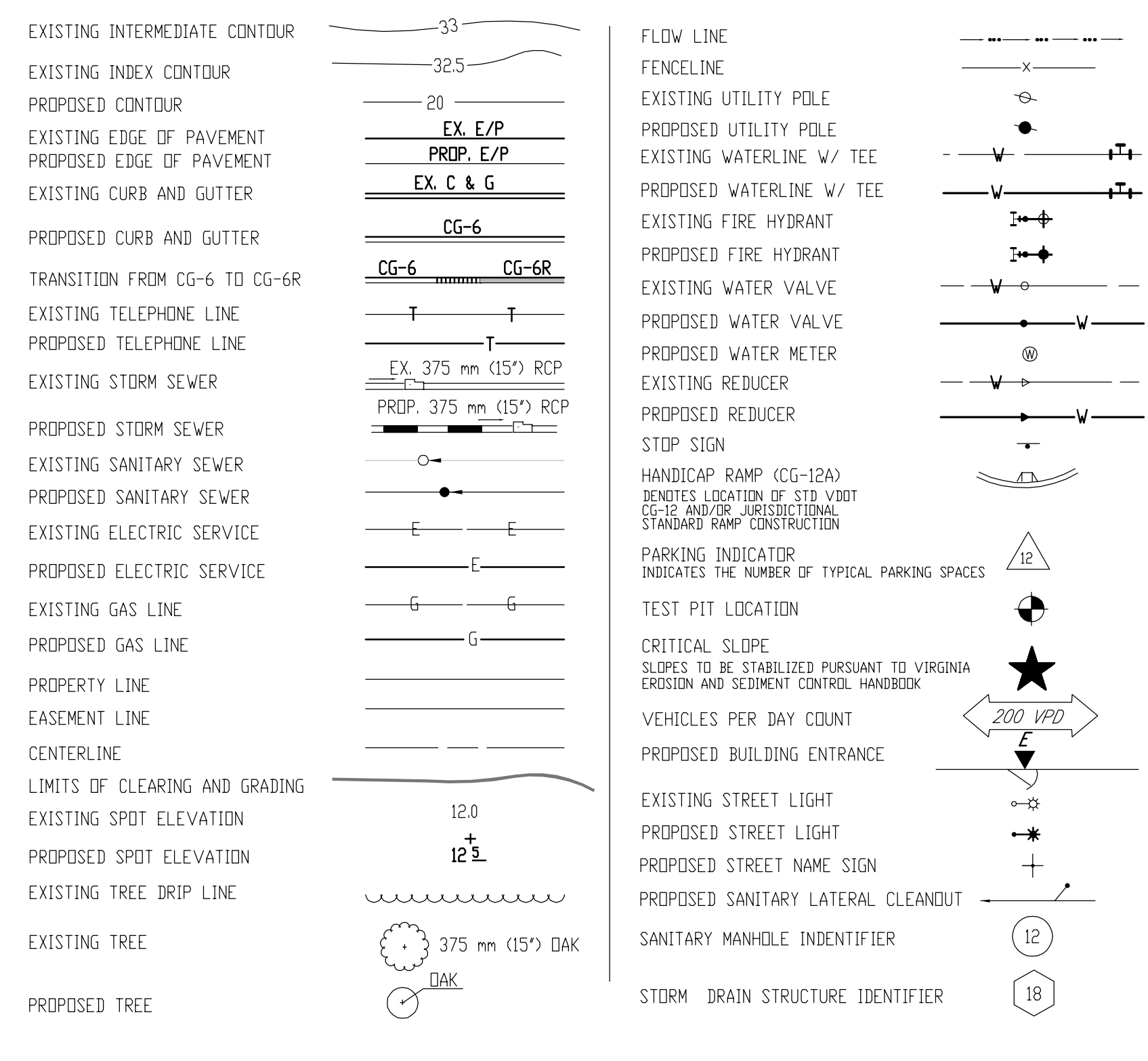
For Illustrative Purposes Only



GENERAL NOTES

- 1. This site has been addressed by the Prince William County Mapping Office as: 15000 WASHINGTON STREET (addresses For subdivision lots shall appear on the approved plat for recordation).
2. Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing.
3. Methods and materials used in the construction of the improvements herein shall conform to the current Town of Haymarket construction standards and specifications and/or current VDOT standards and specifications.
4. The contractor or developer is required to notify the Town of Haymarket Engineer in writing three (3) days prior to the beginning of the construction and specifically request inspection before beginning -- 703-753-2600.
A. Installation of approved erosion control devices.
B. Clearing and Grading.
C. Subgrade excavation.
D. Installing storm sewers or culverts.
E. Setting curb and gutter forms.
F. Placing curb and gutter.
G. Placing other concrete.
H. Placing gravel base.
I. Placing any bituminous surfacing.
J. Installing water mains outside the Service Authority's boundaries.
K. Installing sanitary sewer outside the Service Authority's boundaries.
5. Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to issuance of the site development permit.
6. A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Prince William County, prior to construction in existing State right-of-way, 366-1900.
7. Approval of this plan does not guarantee issuance of an entrance permit by VDOT when such permit is required under State law.
8. The exact location of all guard rails will be determined by VDOT personnel.
9. An approved set of plans and all applicable permits must be available at the construction site.
10. Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
11. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
12. All pavement sections on the approved plans are based on a minimum CBR value of 10.
13. All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the field inspection.
14. All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet.
15. All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied.
16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be provided at the construction site.
17. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the contractor's responsibility to clean streets, alley dust, and to take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
18. Notification shall be given to the appropriate utility Company (Service Authority, Virginia-American Water Company, or Dale Service Corporation) prior to construction of water and/or sanitary sewer lines.
19. All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of Prince William County Service Authority.
20. The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by the Town of Haymarket and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be responsible for honoring these plans and the finished grades in the installation of their utility lines.
21. Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition.
22. Deleted per request of PWCSA.
23. The location of existing utilities shown in these plans are taken from existing records.
24. The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within or contiguous to the existing right-of-way.
25. All utilities placed under existing streets shall be bored or jacked.
26. When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to the Town of Haymarket prior to issuance of grading and/or site development permits.
27. The developer will be responsible for the relocation of any utilities which is required as a result of his project.
28. Before burning, blasting, transportation or storage of explosives in the Town of Haymarket, a permit shall be obtained from the Town of Haymarket.
29. Fire and Rescue Services must be notified immediately in the event that unusual items such as tanks, cylinders, unidentified containers, etc. which could contain potentially hazardous materials are discovered or observed.
30. Sidewalk underdrains shall be installed per the Town of Haymarket.
31. All walkways outside of the right-of-way limits will be maintained by the homeowners association.
32. Maintenance of the Storm Drainage or Storm Water Management facilities located therein shall be pursuant to the Town of Haymarket Zoning Ordinance.
33. If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the issuance of any occupancy permits.
34. These plans identify the location of all known gravestones.
35. Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.
36. Individual sign permits will be required from the Town of Haymarket for all free standing and facade signs prior to erecting the signs.
37. All buffer areas shall be screened according to the Town of Haymarket Zoning Ordinance.
38. For proffers statement and proffers analysis, see section(s) N/A of N/A.
39. For waivers see section(s) C.47 of C.47.
40. Anticipated sewage flows: N/A.
41. Anticipated fire flows: FLOW=4,823 GPM @ 20 PSI (SEE SHEET C.14)
42. Distance to nearest existing school or proposed school site: 0.1 MILES TO HAYMARKET ELEMENTARY SCHOOL

LEGEND



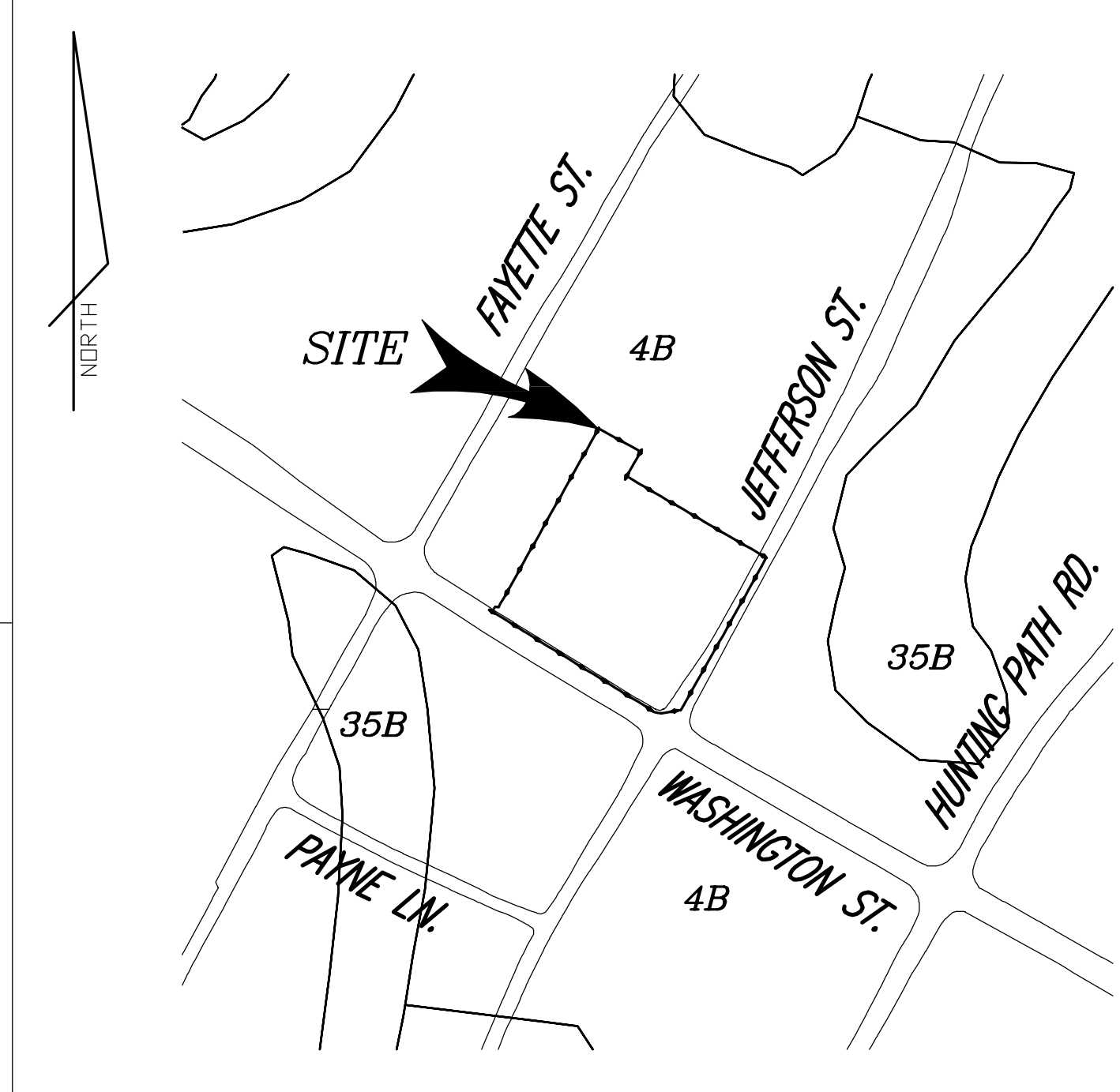
SURVEY AND TOPOGRAPHIC INFORMATION

- 1. Horizontal and vertical control surveys were performed by Rinker Design Associates in 2014.
2. All elevations are based on the 1988 adjustment.
3. Source of topographic mapping is Rinker Design Associates dated 2014.
4. Boundary survey was performed by Rinker Design Associates dated 2014.
5. The application of the professional's seal and signature as required by Section 114 of the STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one-half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility for the work shown herein.

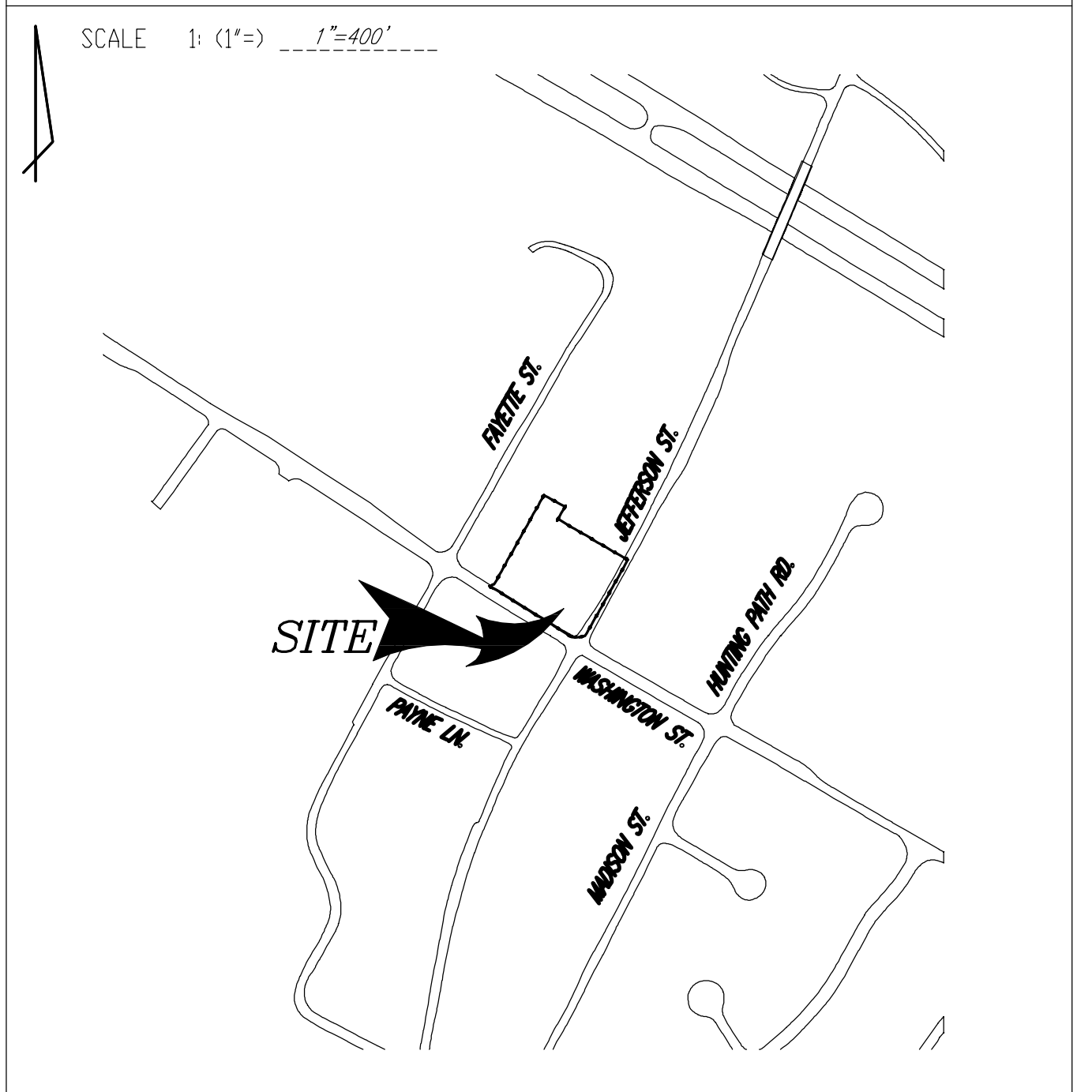
REVIEWED BY: APPROVED BY:

This plan has been reviewed and has been found to be in general conformance with the requirements of Prince William County. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements.

SOILS MAP



VICINITY MAP



1. NO HISTORIC SITES OR CEMETERIES ARE KNOWN TO EXIST WITHIN THE PROJECT LIMITS SHOWN ON THIS PLAN.

2. THE DEVELOPER/BUILDER SHALL CONTACT THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY TO DISCUSS UTILITY PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT. PERMIT REQUIREMENTS FOR INSTALLATION OF WATER AND SANITARY SEWER AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.

SOILS DATA

Table with columns: SOIL #, SOIL NAME, SOIL CAT., SURFACE RUNOFF, EROSION HAZARD, DEPTH TO BEDROCK, SHRINK-FLOODING SWELL, SLOPES. Row 1: 4B, ARCOIA SILT LOAM, 2, MEDIUM, SEVERE, 20-40" SOFT, LOW, NONE, 2-7%.

SHEET INDEX

Table mapping sheet numbers to titles. Includes entries for C.01 COVER, C.02 NOTES AND DETAILS, C.03 DETAILS, C.04 EXISTING CONDITIONS, C.05 DEMOLITION PLAN, C.06 SITE PLAN, C.07 RAMP GRADING, C.08 ROAD PROFILES, C.09 SIGHT DISTANCE PROFILES, C.10 ROAD CONSTRUCTION DETAILS, C.11 TYPICAL SECTIONS, C.12 WATERLINE PROFILES, C.13 SANITARY PROFILES, C.14 PWCSA-SHEETS, C.15 PWCSA-SHEETS, C.16 E&S NOTES AND DETAILS, C.17 E&S NOTES AND DETAILS, C.18 E&S PHASE I, C.19 E&S PHASE II, C.20 STORM PROFILES, C.21 STORM COMPUTATIONS, C.22 NYLOPLAST DETAILS, C.23 STORMTECH DETAILS, C.24 STORMTECH DETAILS, C.25 STORMTECH DETAILS, C.26 STORMTECH DETAILS, C.27 PRE DEVELOPMENT WATERSHED MAP, C.28 POST DEVELOPMENT WATERSHED MAP, C.29 SWM COMPS 1-YEAR, C.30 SWM COMPS 2-YEAR, C.31 SWM COMPS 10-YEAR, C.32 ADEQUATE OUTFALL NOTES & COMPS, C.33 BMP MAP, C.34 BMP COMPS, C.35 BMP COMPS, C.36 BMP COMPS, C.37 BMP COMPS, C.38 POROUS ASPHALT NOTES & DETAILS, C.39 POROUS ASPHALT NOTES & DETAILS, C.40 PAVEMENT PLAN, C.41 FIRE LANE PLAN, C.42 LANDSCAPE NOTES & DETAILS, C.43 LANDSCAPE NOTES & DETAILS, C.44 LANDSCAPE PLAN, C.45 LIGHTING PLAN, C.46 LIGHTING DETAILS, C.47 WAIVERS.

THIS PLAN COMPLIES WITH THE NEW PRINCE WILLIAM COUNTY SERVICE AUTHORITY UTILITY STANDARDS MANUAL, WHICH WENT INTO EFFECT ON FEBRUARY 2017. ALL UTILITY PERMITS ISSUED AFTER THIS DATE MUST COMPLY WITH THE CONSTRUCTION CRITERIA IN THE NEW MANUAL, INCLUDING ANY REVISIONS WHICH HAVE BEEN ISSUED.

DESIGNATED PLANS EXAMINER CERTIFICATE

1ST SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

DESIGNATED PLANS EXAMINER REG. NUMBER DATE

2ND SUBMISSION REVIEWED AND RECOMMENDED FOR SUBMISSION

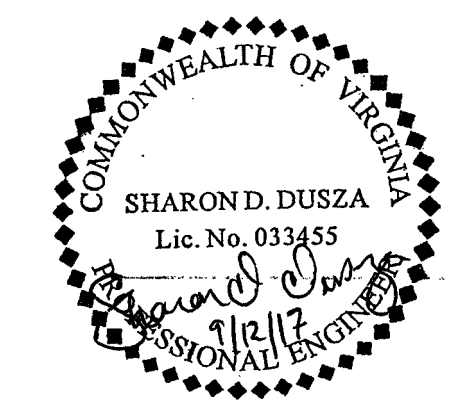
DESIGNATED PLANS EXAMINER REG. NUMBER DATE

REVISIONS

Table with columns: DATE, DESIGNER, NO., DESCRIPTION.

BOND ESTIMATE

Table with columns: ITEM, TOWN BOND, VDOT BOND. Rows include TOTAL CONSTRUCTION COST, ADMINISTRATIVE COST, INFLATION COST, TOTAL PERFORMANCE BOND AMOUNT, TOTAL EROSION & SEDIMENT CONTROL ESCROW, LANDSCAPING ESCROW.

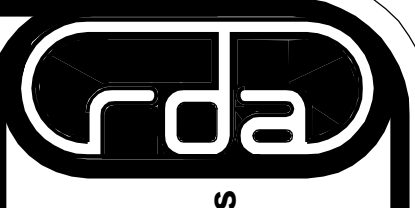


PROFESSIONAL SEAL & SIGNATURE THESE PLANS ARE IN CONFORMANCE WITH PRINCE WILLIAM COUNTY STANDARDS AND ORDINANCES. ANY DEVIATION OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE DIRECTOR OF PLANNING PRIOR TO CONSTRUCTION.

TOWN OF HAYMARKET COVER SHEET

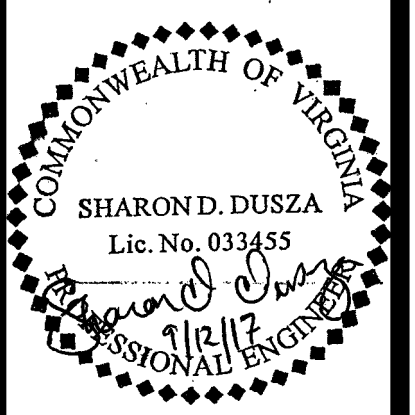
Project Name: HAYMARKET TOWN CENTER REDEVELOPMENT. Project Number: XXXX. Subdivision or Site Plan Name: HAYMARKET TOWN CENTER REDEVELOPMENT. Market Name: HAYMARKET TOWN CENTER REDEVELOPMENT. Present Zoning & Use: B-1, OFFICE. Date of Plan: JULY 26, 2017. Contact: Kimberley Murray, Phone: 703-753-2800. Contact: Sharon Duszka, Phone: 703-368-7373. Total Area: 1.63 ACRES. Project Area: 1.55 ACRES. Disturbed Area: 1.55 ACRES. In pervious Area: 1.17 ACRES. BMP Storage/Acre: cf/ac.





Rinker Design Associates, P.C.

9485 Discovery Boulevard, Suite 200, Manassas, VA 20108 Telephone: (703) 368-7373 Fax: (703) 257-5443



NOTES AND DETAILS HAYMARKET TOWN CENTER REDEVELOPMENT TOWN OF HAYMARKET, VIRGINIA

REVISIONS: DATE: SEPTEMBER 2017 SCALE: AS SHOWN DESIGN: JDH DRAFT: JDH CHECKED BY: SDD ARCH: JOHN F. HELTZEL JOB NUMBER: 14-096-01 C.02

Attachment: Final Site Plan Pages (301) : #SP2017-003 Haymarket Town Center Redevelopment Final Site Plan

SITE TABULATIONS (FOR THIS PLAN ONLY)

Table with 2 columns: G.P.I.N., ZONE, SITE ADDRESS, TOTAL SITE AREA, AREA OF PROPOSED ROW. Values include 7298-90-0216, B-1, 15000, 15004, 15010, 15020, AND 15026 WASHINGTON ST., AND 6630 JEFFERSON ST., 1.63 ACRES, 1,892 SF.

PROJECT AREA 1.55 ACRES (DISTURBED) MINIMUM LOT SIZE N/A

BUILDING SETBACKS FROM: 10' OF ANY STREET RIGHT-OF-WAY SIDE/REAR: IF ABUTTING ANY STREET RIGHT-OF-WAY: 10' IF ABUTTING COMMERCIAL/OFFICE DISTRICT: 0' IF ABUTTING AGRICULTURAL/RESIDENTIAL DISTRICT: 25'

BUFFER REQUIREMENTS 25' WIDE BUFFER WITH AN OPAQUE SCREENING (ADJACENT TO RESIDENTIAL) - SEE LANDSCAPING PLAN AND DETAILS (SHEETS C.42-C.44) 10' WIDE BUFFER WITH NO SCREENING (ADJACENT TO COMMERCIAL) - SEE LANDSCAPING PLAN AND DETAILS (SHEETS C.42-C.44)

MAXIMUM LOT COVERAGE ALLOWED: 85% (56,903 SF) PROVIDED: 75% (50,530 SF)

OPEN SPACE (MINIMUM REQUIREMENTS) REQUIRED: 15% (10,042 SF) PROVIDED: 25% (16,415 SF)

\*NOTE: ALL INTERIOR AND PERIPHERAL PARKING LOT LANDSCAPING AND TREE CANOPY COVER REQUIREMENTS HAVE BEEN MET.

FAR MAX. FAR: N/A FAR PROVIDED: 20,968 SF / 81,022 SF = 0.26

LANDSCAPING TABULATION SEE LANDSCAPING PLAN AND DETAILS (SHEETS C.42-C.44)

BUILDING HEIGHT ALLOWED (PER ZONING): 35' MAX. NEW ADDITION TO MUNICIPAL BUILDING HEIGHT: APPROX. 32'

BUILDING AREA APPROXIMATE SQUARE FOOTAGE OF EXISTING USES TO REMAIN: 19,886 SF (ASSUME 2 STORIES PER BUILDING) PROPOSED SQUARE FOOTAGE OF BUILDING ADDITION: 1,082 SF (2 STORY) TOTAL PROPOSED SQUARE FOOTAGE: 20,968 SF

BUILDING USES MUNICIPAL BUILDING (#15014 & #15000 WASHINGTON ST.): EX. 2-STORY BUILDING & PROP. 2-STORY ADDITION FIRST FLOOR = 6,105 SF (EX. BLDG.) + 629 SF (PROP. ADDITION) = 6,734 SF SECOND FLOOR = 6,105 SF (EX. BLDG.) + 453 SF (PROP. ADDITION) = 6,558 SF TOTAL = 13,292 SF OFFICE (#15020 WASHINGTON ST.): EX. 2-STORY BUILDING TOTAL = 1,814 SF RETAIL (#6630 JEFFERSON ST. & #15026 WASHINGTON ST.): TOTAL = 4,238 SF + 1,624 SF TOTAL = 5,862 SF

PARKING TABULATION EXISTING PARKING: 53 SPACES 49 STANDARD SPACES 4 ADA ACCESSIBLE SPACES REQUIRED PARKING: MUNICIPAL BUILDING & OFFICE (#15020, #15014, & #15000): 1 SPACE/300 SF = (15,106 SF)/300 = 50.4 SPACES RETAIL (#15026 & #6630): 1 SPACE/250 SF = (5,862 SF)/250 = 23.4 SPACES TOTAL REQUIRED = 73.8 SPACES (PROVIDE 70) PROPOSED PARKING: 61 SPACES (TOTAL) (WAYER REQUESTED) 58 STANDARD SPACES (INCLUDES COMPACT PARKING SPACES. SEE BELOW FOR COMPACT PARKING SPACES) 3 ADA ACCESSIBLE SPACES (3 HC SPACES REQUIRED FOR PARKING LOTS WITH 51-75 SPACES) COMPACT PARKING SPACES: 10 COMPACT SPACES ARE INCLUDED IN THE PROPOSED LAYOUT. 16.4% OF PARKING SPACES ARE COMPACT.

ESTIMATED TRAFFIC VOLUME TRIPS GENERATED BY A SITE CONSISTING OF OFFICE AND RETAIL USE ARE COMPUTED USING "GENERAL OFFICE BUILDING (710)" AND "APPAREL STORE (876)" TRIP GENERATION RATES: WEEKDAY TRIPS PER 1,000 SF GFA (710): LN(TRIPS) = 0.77 x LN(15,106 SF/1,000 SF) + 3.65 TRIPS = 312 VPD WEEKDAY TRIPS PER 1,000 SF GFA (876): TRIPS = 66.40 VPD x (5,862 SF/1,000 SF) TRIPS = 390 VPD TOTAL SITE TRIPS: 312 VPD + 390 VPD = 702 VPD

GENERAL NOTES

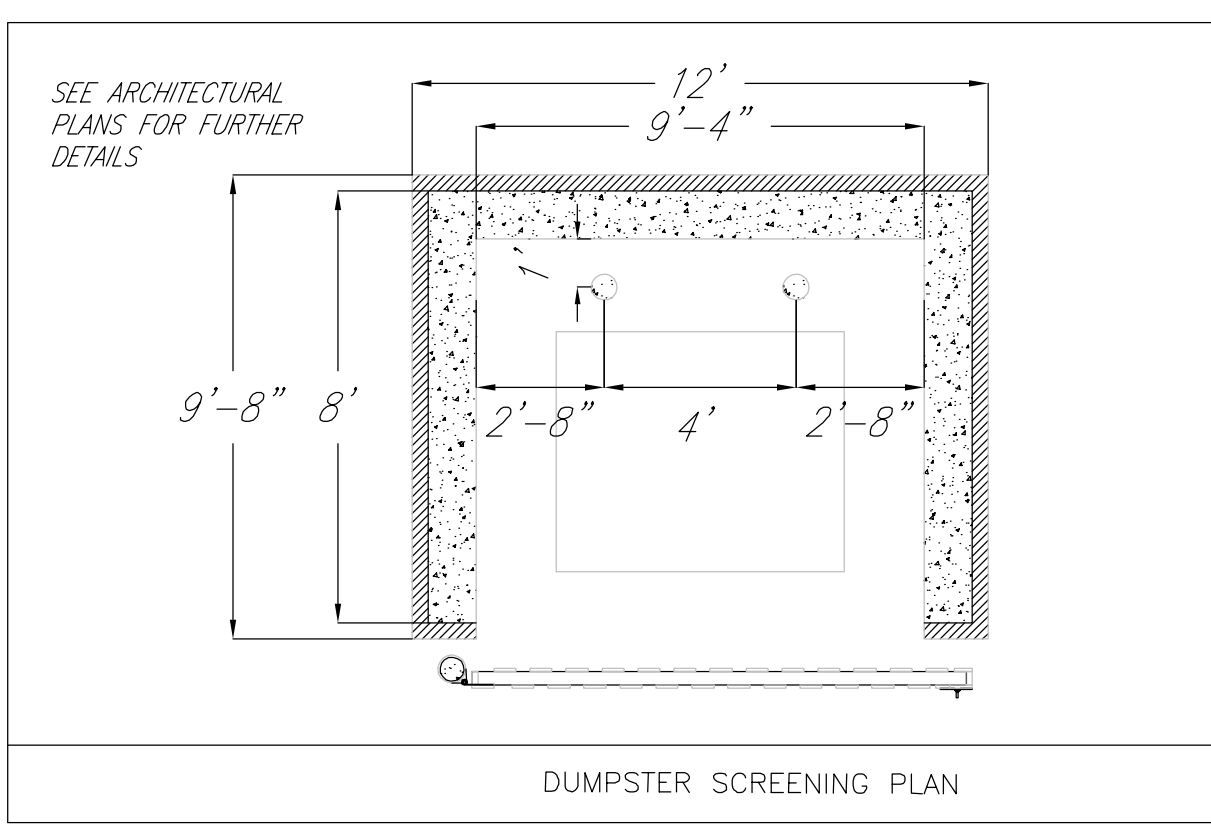
- 1. THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF "TOWN OF HAYMARKET VA" AS RECORDED IN DB 2892 DP 1537 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY, VIRGINIA.
2. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A FIELD RUN SURVEY BY RINKER DESIGN ASSOCIATES, P.C. IN OCTOBER 2014.
3. CONTOUR INTERVAL = 1 FOOT TAKEN FROM TOPOGRAPHIC SURVEY BY THIS OFFICE IN OCTOBER 2014 AND DECEMBER 2016 ON NOV 1983 DATUM.
4. ACCORDING TO FEMA'S FLOOD INSURANCE RATE MAP FOR PRINCE WILLIAM COUNTY, VIRGINIA AND INCORPORATED AREAS DATED JANUARY 5, 1995 ON COMMUNITY PANELS NO. 51153C 0059D AND 51153C 0067D, THE PROPERTIES SHOWN HEREON LIE IN A FLOOD ZONE "X", WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. THERE ARE NO MAPPED PRINCE WILLIAM COUNTY 100-YEAR FLOODPLAINS OR FLOOD HAZARD AREAS LOCATED WITHIN THE SITE.
5. THERE ARE NO MAPPED RESOURCE PROTECTION AREAS (RPA) LOCATED WITHIN THE SITE.
6. A SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT BY DMY ENGINEERING CONSULTANTS, INC.
7. THERE ARE NO KNOWN GRAVE SITES, CULTURAL OR HISTORICAL RESOURCES WITHIN THE LIMITS OF THE PROJECT.
8. TO THE BEST OF OUR KNOWLEDGE, NO HAZARDOUS WASTES, TOXIC SUBSTANCES OR PETROLEUM PRODUCTS HAVE BEEN GENERATED, UTILIZED, STORED, TREATED OR DISPOSED OF ON THIS SITE.
9. THE REQUIREMENTS OF THE TOWN'S CHESAPEAKE BAY PRESERVATION ORDINANCE AND DETENTION REQUIREMENTS HAVE BEEN MET ON-SITE BY THE USAGE OF POROUS CONCRETE.
10. BUILDING PADS / FOUNDATIONS SHALL NOT BE BUILT INSIDE ANY EASEMENT.
11. "INLET SHAPING" TO BE PERFORMED ON ALL STORM DRAINAGE INLETS PRIOR TO FINAL PAVING. NO GUTTER PAN IS TO BE BUILT ADJACENT TO THE INLETS PRIOR TO FINAL PAVING IN ORDER TO ALLOW FOR PROPER WATER FLOW INTO INLETS. PLACE SILT FENCE ONLY AS NECESSARY ALONG OUTSIDE OF CURB TO PREVENT SILTATION AND CONCENTRATED FLOWS ON STREETS.
12. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURES TO CARRY OUT THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
13. THE SUBJECT PARCELS ARE LOCATED WITHIN THE OLD AND HISTORIC HAYMARKET DISTRICT OVERLAY.
14. SIDEWALK PROPOSED ALONG JEFFERSON STREET TO BE STAMPED CONCRETE AND STAINED TO RESEMBLE BRICK.
15. SIDEWALK PROPOSED ALONG WASHINGTON STREET TO BE BRICK SIDEWALK.
16. SITE LIGHTING SHALL COMPLY WITH THE TOWN OF HAYMARKET ZONING ORDINANCE.
17. SIGN CONSTRUCTION SHALL COMPLY WITH THE TOWN OF HAYMARKET ZONING ORDINANCE ARTICLE IX.

ROAD NOTES

- V1. A PERMIT MUST BE OBTAINED FROM THE OFFICE OF THE RESIDENT ENGINEER, VIRGINIA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF HAYMARKET BEFORE ANY CONSTRUCTION IS STARTED ON WASHINGTON STREET AND JEFFERSON STREET. ENTRANCE PERMITS ARE REQUIRED FOR STATE ROADS. APPROVAL OF THIS PLAN DOES NOT GUARANTEE ISSUANCE OF AN ENTRANCE PERMIT BY VDOT WHEN SUCH PERMIT IS REQUIRED UNDER STATE LAW.
V2. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING ROAD TO THE SHOULDER, TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER ON THE ROADWAY.
V3. STANDARD GUARDRAILS AND/OR HANDRAILS SHALL BE INSTALLED AT HAZARDOUS LOCATIONS AS DESIGNATED DURING FIELD REVIEW BY THE COUNTY INSPECTOR OR VDOT.
V4. ADDITIONAL DITCH LININGS OR SILTATION AND EROSION CONTROL MEASURES SHALL BE PROVIDED, AT THE DEVELOPER'S EXPENSE, AS DETERMINED NECESSARY BY VDOT OR PRINCE WILLIAM COUNTY DURING FIELD REVIEW. ALL COSTS SHALL BE ASSUMED BY THE DEVELOPER.
V5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING ROADS, SIDEWALKS, AND UTILITIES WHICH OCCUR AS A RESULT OF PROJECT CONSTRUCTION WITHIN OR CONTIGUOUS TO EXISTING RIGHT OF WAY.
V6. OPEN CUTTING OF PAVED OR SURFACE TREATED ROADS IS NOT PERMITTED. ALL UTILITIES, WHICH WILL BE PLACED UNDER EXISTING STREETS ARE TO BE BORED OR JACKED. ANY EXCEPTIONS, DUE TO EXTENUATING CIRCUMSTANCES, ARE TO BE ADDRESSED AT THE PERMIT STAGE.
V7. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. THE CONTRACTOR SHALL SUBMIT A SIGNAGE, STRIPING AND/OR SIGNALIZATION PLAN TO VDOT A MINIMUM OF THIRTY DAYS PRIOR TO PERMIT APPLICATION. THE CONTRACTOR SHALL NOT COMMENCE CONSTRUCTION OF ANY PAVEMENT COURSE WITHIN A R.O.W. WITHOUT AN APPROVED STRIPING PLAN.
V8. OVERLAY OF EXISTING PAVEMENT, IF REQUIRED, SHALL BE MINIMUM OF 1.5" DEPTH; ANY COSTS ASSOCIATED WITH PAVEMENT OVERLAY, OR THE MILLING OF EXISTING PAVEMENT TO OBTAIN REQUIRED DEPTH, SHALL BE ASSUMED BY THE CONTRACTOR.
V9. WHEN POSSIBLE, ALL LIGHTS ARE TO BE KEPT OUT OF THE ROADWAY "CLEAR ZONE" PER VDOT REQUIREMENTS. IF ANY LIGHTS OR OTHER SIGN POSTS ARE PLACED WITHIN THE "CLEAR ZONE" THEY SHALL BE REQUIRED TO MEET NCHRP 350 CRASH CRITERIA.
V10. NO PARKING PERMITTED ON PUBLIC ROADS.
V11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY PROTECT THE PUBLIC FROM ONGOING CONSTRUCTION OPERATIONS AND PROVIDE A SAFE WORK ENVIRONMENT IN ACCORDANCE WITH OSHA AND OTHER FEDERAL, STATE, AND LOCAL ORDINANCES.
V12. ALL RIGHT-OF-WAY DEDICATED FOR PUBLIC USE SHALL BE CLEAR AND UNENCUMBERED.

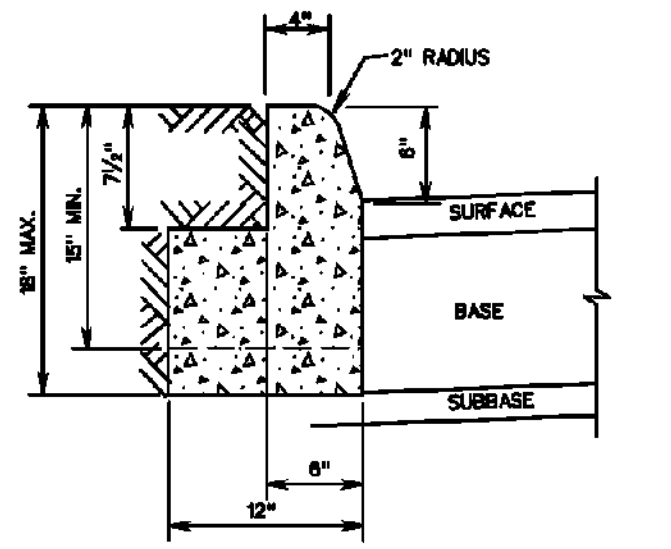
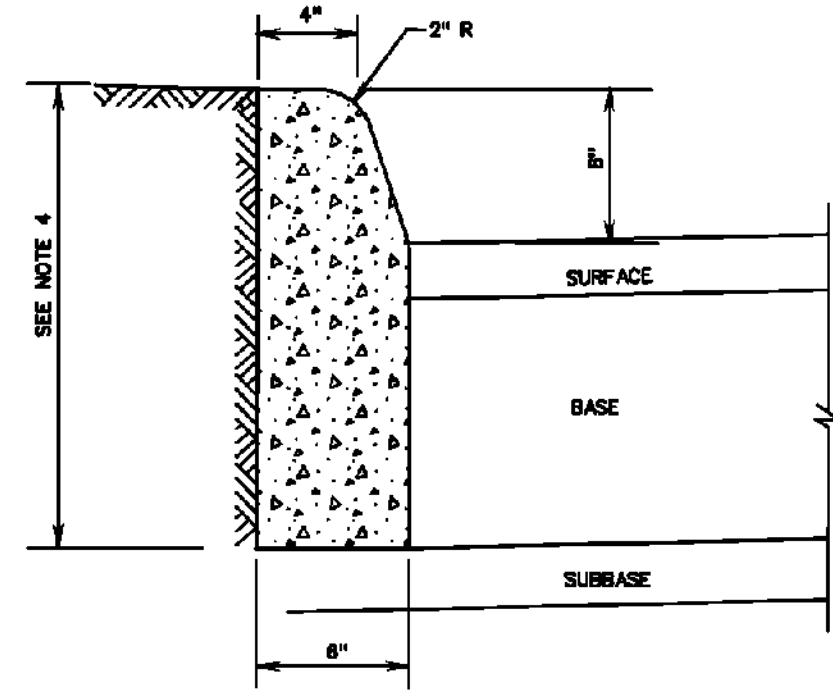
CONSTRUCTION NOTES

- C1. ALL CONSTRUCTION, METHODS, AND MATERIALS SHALL CONFORM TO THE CURRENT TOWN OF HAYMARKET, PRINCE WILLIAM COUNTY SERVICE AUTHORITY, AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY NOTES OR DETAILS HEREON.
C2. GENERAL DIMENSIONS: ALL RADI AND DIMENSION LINES ARE TO BE FROM THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS OTHERWISE NOTED. ALL RADI SHALL BE 5.5' UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING DIMENSIONS. ALL STANDARD PARKING SPACES SHALL BE 9 FEET WIDE BY 18 FEET DEEP UNLESS OTHERWISE NOTED.
C3. ALL ACCESSIBLE SPACES SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. H.C. SPACES SHALL BE A MINIMUM OF 8' WIDE. H.C. ACCESS AISLE SHALL BE A MINIMUM 8' WIDE FOR VAN ACCESSIBLE SPACES AND 5' WIDE FOR ALL OTHER ACCESS AISLES. SEE DETAILS ON SHEET C.40.
C4. THE CURB & GUTTER SHALL HAVE UNIFORM SECTIONS, APPROXIMATELY TEN (10) FEET IN LENGTH, AND NO SECTION SHALL BE LESS THAN SIX (6) FEET IN LENGTH.
C5. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE TOWN OF HAYMARKET SIGN ORDINANCE REQUIREMENTS AND REQUIRE A SEPARATE REVIEW & PERMIT.
C6. ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST VERSION OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK."
C7. SUBBASE DEPTH AND PAVEMENT CROSS-SECTION MAY BE REVISED ONCE THE SUBGRADE SOIL TESTS ARE COMPLETED.
C8. AT LEAST ONE (1) COPY OF THE APPROVED PLANS, WITH REVISIONS AND ALL APPLICABLE PERMITS, MUST BE KEPT ON SITE AT ALL TIMES.
C9. ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE FRAMES AND COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES IN THE AREAS AFFECTED BY THE CONSTRUCTION.
C10. NOTIFY THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION, THE TOWN OF HAYMARKET, OR ANY OTHER AUTHORITY ISSUING PERMITS.
C11. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER OF COMPLYING WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
C12. CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED AT THE CONSTRUCTION SITE.
C13. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN SHOULD BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND VIRGINIA WORK AREA PROTECTION MANUAL (WAPM).
C14. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF ROADWAY, DRIVES, BUILDINGS, OR OTHER STRUCTURAL AREAS BEFORE PLACING CONTROLLED FILL.
C15. PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. CLEAN STREETS, ALLAY DUST, AND TAKE WHATEVER MEASURES ARE NECESSARY TO INSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
C16. PROTECT THE PUBLIC FROM ONGOING CONSTRUCTION OPERATIONS AND PROVIDE A SAFE WORK ENVIRONMENT IN ACCORDANCE WITH OSHA AND OTHER FEDERAL, STATE, AND LOCAL ORDINANCES.
C17. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL REQUIRED PERMITS AND ENSURING THAT ALL APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES AND CONDUCTED A SITE VISIT TO VERIFY THAT EXISTING CONDITIONS HAVE NOT CHANGED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE EXISTING SITE CONDITIONS THAT VARIES FROM THE EXISTING CONDITION INFORMATION SHOWN ON THE PLAN.
C18. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
C19. ALL TOPSOIL SHALL BE REMOVED AND STOCKPILED IN AN AREA APPROVED BY THE OWNER OR DISPOSED OF AT A SUITABLE LANDFILL. UPON COMPLETION OF CONSTRUCTION, TOPSOIL, A MINIMUM OF SIX (6) INCHES IN DEPTH, SHALL BE SPREAD OVER AREAS DISTURBED BY CONSTRUCTION.
C20. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED. STOCKPILING OF SOIL WILL BE ALLOWED IN APPLICABLE LOCATIONS.
C21. DURING CONSTRUCTION AND UNTIL SUCH A TIME VEGETATION IS REESTABLISHED, THE CONTRACTOR SHALL KEEP EXPOSED DIRT AREAS WITHIN THE LIMITS OF CONSTRUCTION AND STOCKPILE AREAS, DAMPENED TO PREVENT BLOWING AND PROVIDE DUST CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND FOLLOWING CONSTRUCTION, UNTIL SUCH TIME AS PROPER VEGETATION IS REESTABLISHED.
C22. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND/OR ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSION OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH A NOTIFICATION HAS NOT BEEN GIVEN.
C23. IF CONSTRUCTION IS PHASED THE CONSTRUCTION ENTRANCE WILL REMAIN FUNCTIONAL OR BE RELOCATED WITHIN THE SITE AT THE DIRECTION OF THE INSPECTOR TO MAINTAIN ADEQUATE ERS MEASURES TO PREVENT SEDIMENT FROM ENTERING JEFFERSON STREET.
C24. ALL STANDARD STREET NAME SIGNS, TRAFFIC CONTROL DEVICES, AND STREET LIGHTS SHALL BE PROVIDED BY THE CONTRACTOR.
C25. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR RETAINING WALL ABOVE 2 FEET PRIOR TO CONSTRUCTION. A BUILDING PERMIT SHALL BE OBTAINED FROM THE BUILDING DIVISION IN ACCORDANCE WITH DCSM SECTION 710.06 PRIOR TO CONSTRUCTION OF THE RETAINING WALL.





- NOTES:**
1. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
  2. CONCRETE TO BE CLASS AS F CAST IN PLACE, 4000 PSI IF PRECAST.
  3. CURB HAVING A RADIUS OF 300 FEET OR LESS (ALONG FACE OF CURB) WILL BE PAID FOR AS RADIAL CURB.
  4. THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 3" (3" DEPTH OR INCREASED AS MUCH AS 3" (3" DEPTH IN ORDER THAT THE BOTTOM OF CURB WILL COINCIDE WITH THE TOP OF A COURSE OF THE PAVEMENT SUBSTRUCTURE. OTHERWISE, THE DEPTH IS TO BE 18" AS SHOWN. NO ADJUSTMENT IN THE PRICE IS TO BE MADE FOR A DECREASE OR AN INCREASE IN DEPTH.
  5. CO-2 IS TO BE USED ON ROADWAYS MEETING THE REQUIREMENTS FOR CO-6 AS SHOWN IN APPENDIX A OF THE VDOT ROAD DESIGN MANUAL, IN THE SECTION ON GS URBAN STANDARDS.



ACCEPTABLE ALTERNATIVE IF CURB IS EXTRUDED

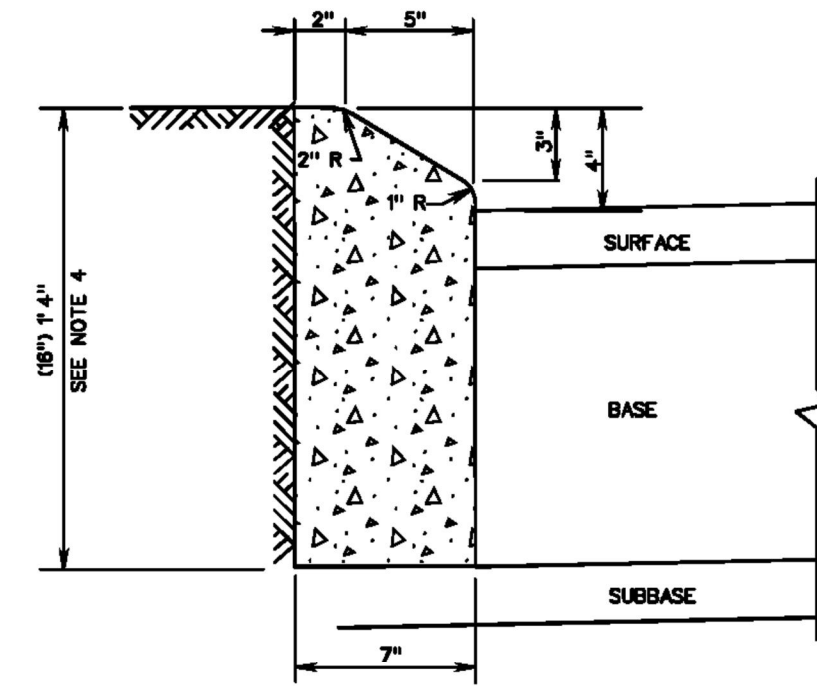
**STANDARD 6" CURB**

VIRGINIA DEPARTMENT OF TRANSPORTATION

VDOT ROAD AND BRIDGE STANDARDS  
REVISION DATE SHEET 1 OF 1  
201.01

2016 ROAD & BRIDGE STANDARDS

CO-3



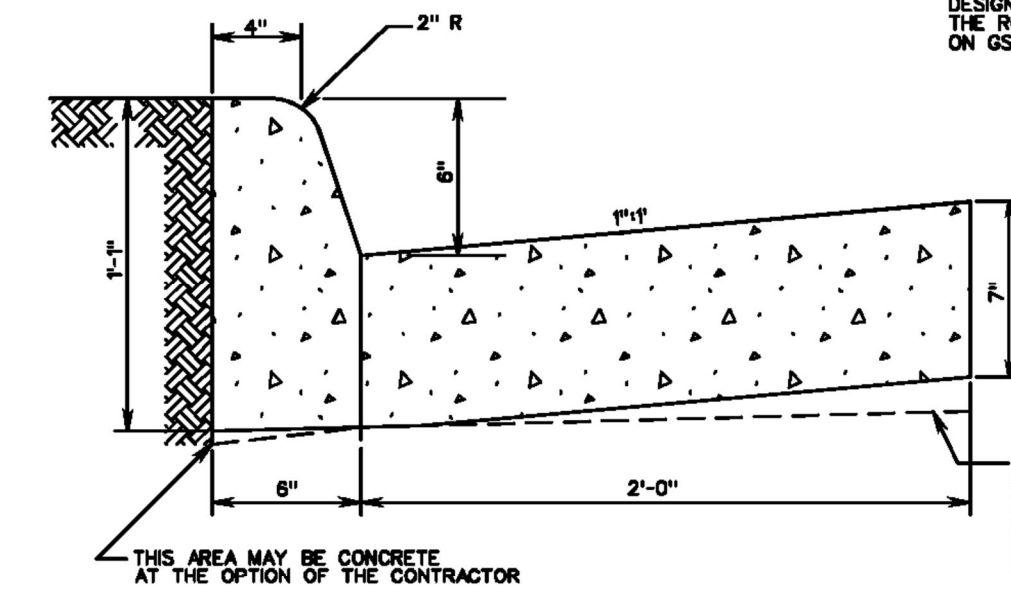
- NOTES:**
1. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
  2. CONCRETE TO BE CLASS AS F CAST IN PLACE, 4000 PSI IF PRECAST.
  3. CURB HAVING A RADIUS OF 300 FEET OR LESS (ALONG FACE OF CURB) WILL BE PAID FOR AS RADIAL CURB.
  4. THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 3" (3" DEPTH OR INCREASED AS MUCH AS 3" (3" DEPTH IN ORDER THAT THE BOTTOM OF THE CURB WILL COINCIDE WITH THE TOP OF A COURSE OF THE PAVEMENT SUBSTRUCTURE. OTHERWISE, THE DEPTH IS TO BE 18" AS SHOWN. NO ADJUSTMENT IN THE PRICE IS TO BE MADE FOR A DECREASE OR AN INCREASE IN DEPTH.
  5. CO-3 IS TO BE USED ON ROADWAYS MEETING THE REQUIREMENTS FOR CO-7 AS SHOWN IN APPENDIX A OF THE VDOT ROAD DESIGN MANUAL IN THE SECTION ON GS URBAN STANDARDS.
  6. WHEN THIS STANDARD IS TO BE TIED INTO EXISTING BARRIER CURB, THE TRANSITION IS TO BE MADE WITHIN 2' OF THE CHANGE IN STANDARDS CAN BE MADE AT REGULAR INTERVALS.

**STANDARD 4" CURB**

VIRGINIA DEPARTMENT OF TRANSPORTATION

VDOT ROAD AND BRIDGE STANDARDS  
SHEET 1 OF 1 REVISION DATE  
201.02

2016 ROAD & BRIDGE STANDARDS



- NOTES:**
1. THIS ITEM MAY BE PRECAST OR CAST IN PLACE.
  2. CONCRETE TO BE CLASS AS F CAST IN PLACE, 4000 PSI IF PRECAST.
  3. COMBINATION CURB & GUTTER HAVING A RADIUS OF 300 FEET OR LESS (ALONG FACE OF CURB) SHALL BE PAID FOR AS RADIAL COMBINATION CURB & GUTTER.
  4. FOR USE WITH STABILIZED OPEN-GRADED DRAINAGE LAYER, THE BOTTOM OF THE CURB & GUTTER SHALL BE CONSTRUCTED PARALLEL TO THE SLOPE OF SUBBASE COURSES AND TO THE DEPTH OF THE PAVEMENT.
  5. ALLOWABLE CRITERIA FOR THE USE OF CO-6 IS BASED ON ROADWAY CLASSIFICATION AND DESIGN SPEED AS SHOWN IN APPENDIX A OF THE ROAD DESIGN MANUAL IN THE SECTION ON GS URBAN STANDARDS.

THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED PARALLEL TO THE SLOPE OF SUBBASE COURSES PROVIDED A MINIMUM DEPTH OF 7" IS MAINTAINED.

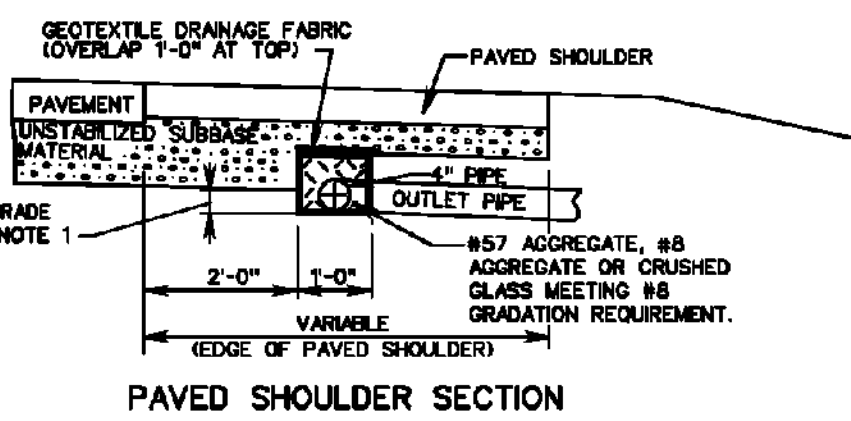
**COMBINATION 6" CURB AND GUTTER**

VIRGINIA DEPARTMENT OF TRANSPORTATION

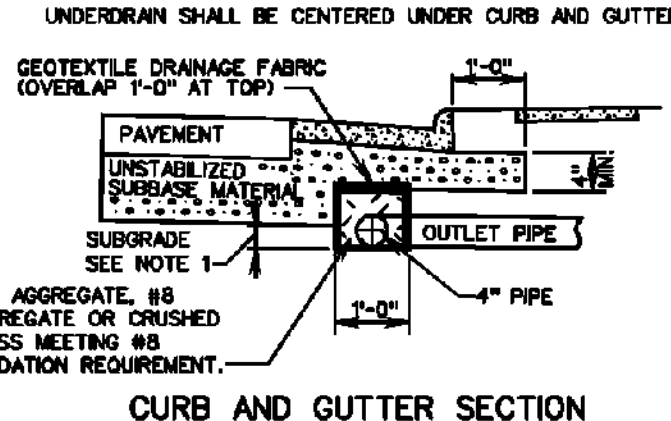
VDOT ROAD AND BRIDGE STANDARDS  
REVISION DATE SHEET 1 OF 1  
201.03

2016 ROAD & BRIDGE STANDARDS

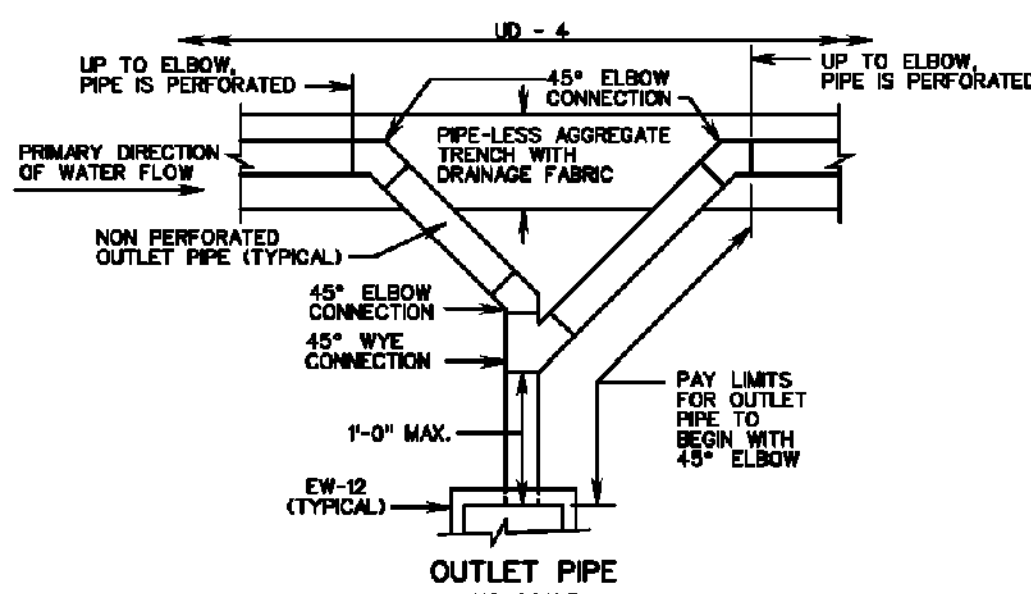
UD-4



PAVED SHOULDER SECTION



CURB AND GUTTER SECTION

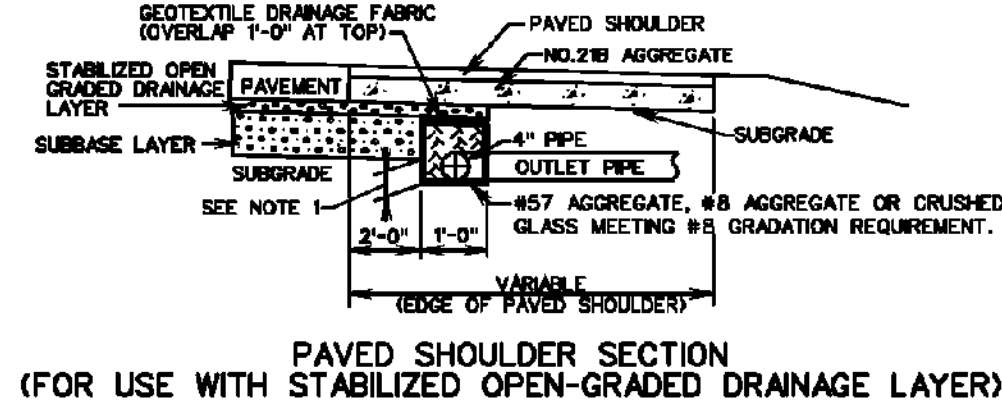


**STANDARD PAVEMENT EDGEDRAIN**

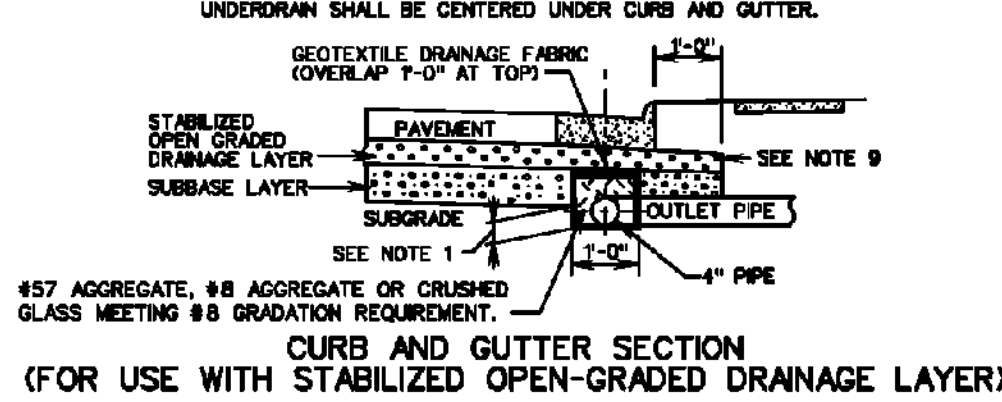
VIRGINIA DEPARTMENT OF TRANSPORTATION

VDOT ROAD AND BRIDGE STANDARDS  
SHEET 1 OF 2 REVISION DATE  
102.06

2016 ROAD & BRIDGE STANDARDS



PAVED SHOULDER SECTION (FOR USE WITH STABILIZED OPEN-GRADED DRAINAGE LAYER)



CURB AND GUTTER SECTION (FOR USE WITH STABILIZED OPEN-GRADED DRAINAGE LAYER)

- NOTES:**
1. 4" MINIMUM, PROVIDED ATTAINING MINIMUM 4" OF AGGREGATE ON TOP OF PIPE.
  2. WHEN THE LONGITUDINAL PERFORATED PIPE CONNECTS DIRECTLY INTO A DRAINAGE STRUCTURE (DRAIN INLET, MANHOLE, ETC.), NON-PERFORATED OUTLET PIPES ARE NOT REQUIRED.
  3. INVERT ELEVATION AT OUTLET END OF OUTLET PIPE TO BE A MINIMUM OF 1'-0" ABOVE INVERT ELEVATION OF RECEIVING DITCH OR STRUCTURE.
  4. ALL CONNECTIONS (ELBOWS, WYES, ETC.) WITHIN PAY LIMITS FOR OUTLET PIPE ARE TO BE OF THE SAME CRUSHING STRENGTH AS THE OUTLET PIPE.
  5. OUTLET PIPES ARE TO BE INSTALLED ON ONE SIDE OF THE DESIRED GRADE AND LOCATED EVERY 300' MAXIMUM OR AS NOTED ON PLANS.
  6. OUTLET PIPE TO BE SECURELY CONNECTED TO EW-12 OR OTHER DRAINAGE STRUCTURE.
  7. WITHIN THE LIMITS OF A COMMERCIAL ENTRANCE, NON-PERFORATED PIPE SHALL BE UTILIZED IN LIEU OF PERFORATED PIPE.
  8. THE LENGTH OF PIPE BETWEEN THE WYE CONNECTION AND THE EW-12 SHALL BE LIMITED TO NO MORE THAN 7'-0" TO PERMIT CAMERA INSPECTION OF THE MAIN LINE IN EITHER DIRECTION.
  9. IN SITUATIONS WHEN FULL DEPTH OF STABILIZED OPEN-GRADED MATERIAL CANNOT BE MAINTAINED UNDER CURB AND GUTTER, NO. 2 1/2 AGGREGATE SHALL BE USED UNDER CURB AND GUTTER. NO. 2 1/2 AGGREGATE MAY ALSO BE USED FROM TOP OF STABILIZED OPEN-GRADED MATERIAL LAYER AND CURB AND GUTTER.

**STANDARD PAVEMENT EDGEDRAIN**

VIRGINIA DEPARTMENT OF TRANSPORTATION

VDOT ROAD AND BRIDGE STANDARDS  
SHEET 1 OF 1 REVISION DATE  
240 258 501 701

2016 ROAD & BRIDGE STANDARDS

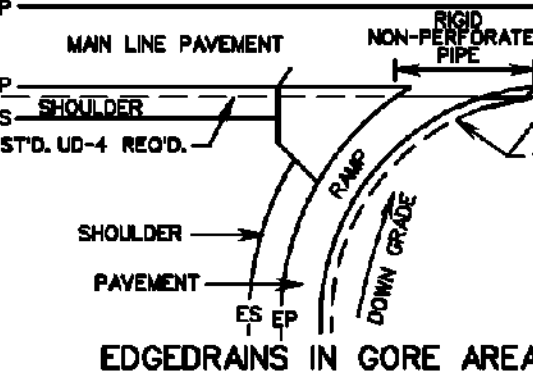
LONGITUDINAL PERFORATED PIPE UD-4

TYPE OF PIPE	CRUSHING STRENGTH
SMOOTH WALL PVC	M.W.T. 4" NOM. DIAMETER .103
CORRUGATED PE	AASHTO M-292

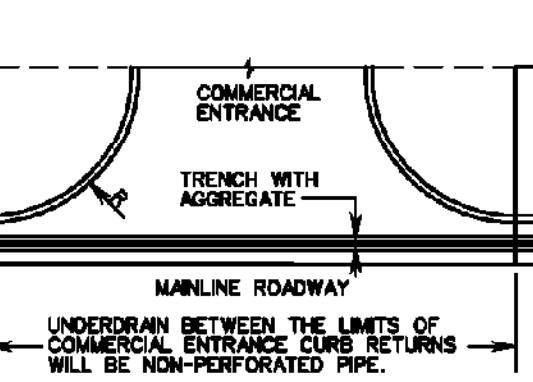
NON-PERFORATED OUTLET PIPE FOR USE UNDER COMMERCIAL ENTRANCES AND FOR OUTLETS

TYPE OF PIPE	CRUSHING STRENGTH
SMOOTH WALL PVC	.103
SMOOTH WALL PE	70 PSI MWM

4" WALL THICKNESS (MIN) - INCHES  
MWM TESTED ACCORDING TO ASTM D-2412 AT 0.2% DEFLECTION.



EDGEDRAINS IN GORE AREAS



COMMERCIAL ENTRANCES AND SIDEWALKS

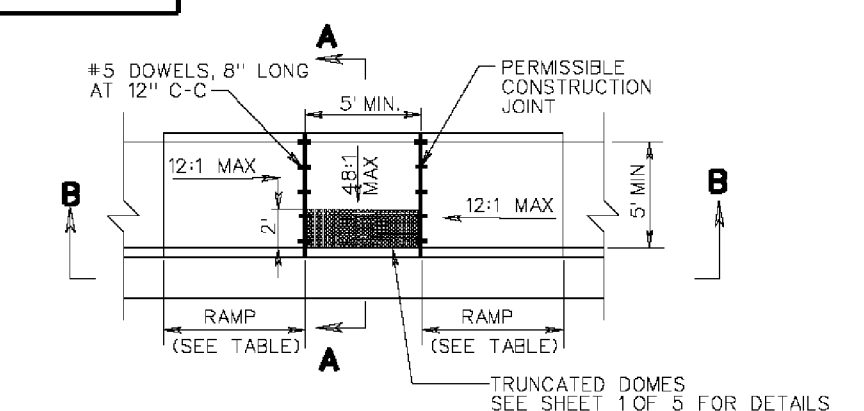
**STANDARD PAVEMENT EDGEDRAIN**

VIRGINIA DEPARTMENT OF TRANSPORTATION

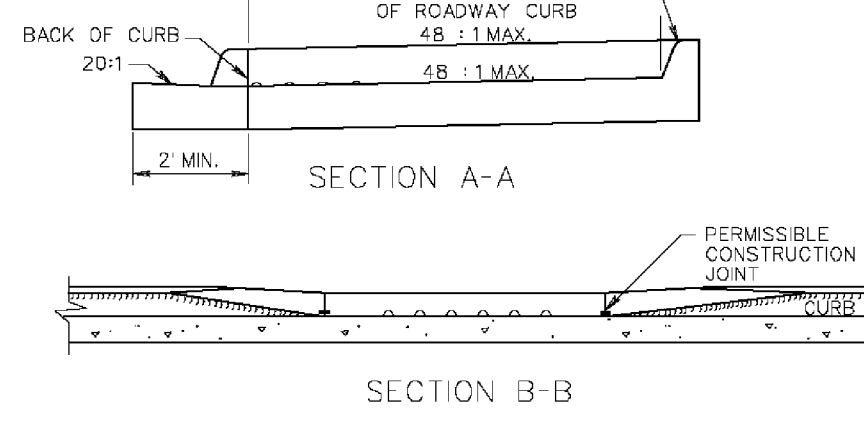
VDOT ROAD AND BRIDGE STANDARDS  
REVISION DATE SHEET 2 OF 2  
102.07

2016 ROAD & BRIDGE STANDARDS

CO-12



SECTION A-A



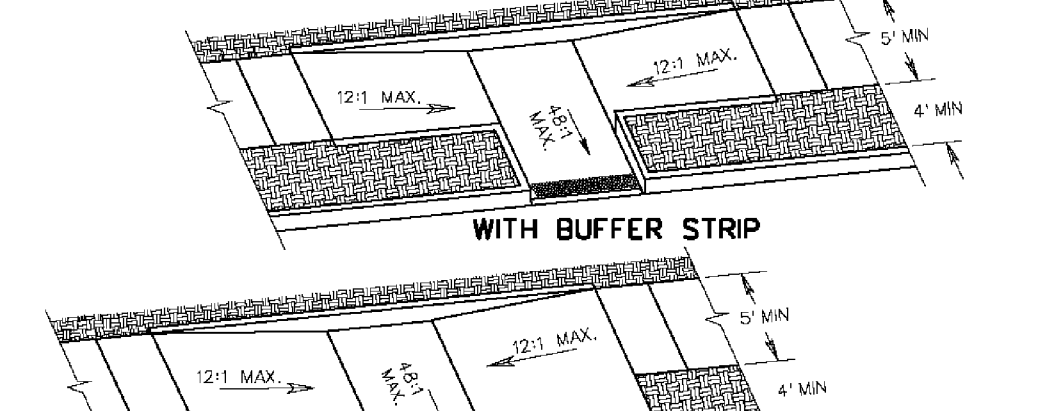
SECTION B-B

NOTES: FOR GENERAL NOTES ON THE DETECTABLE WARNING SURFACE, SEE SHEET 1 OF 2.

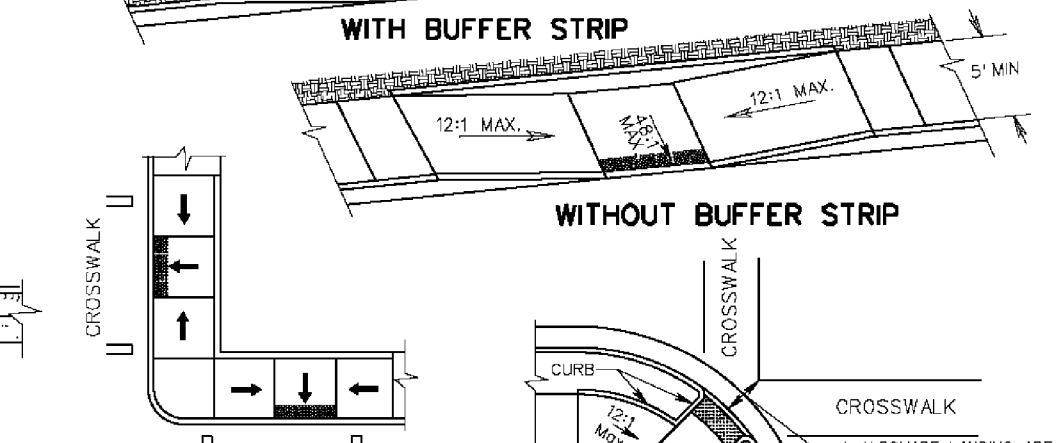
**TYPE B PARALLEL APPLICATION**

ROADWAY GRADE IN PERCENT	MINIMUM RAMP LENGTH IN FEET
0	4 4 5
1	5 5 7
2	5 5 9
3	6 6 9
4	8 8 12
5	10 10 15
6	14 14 15

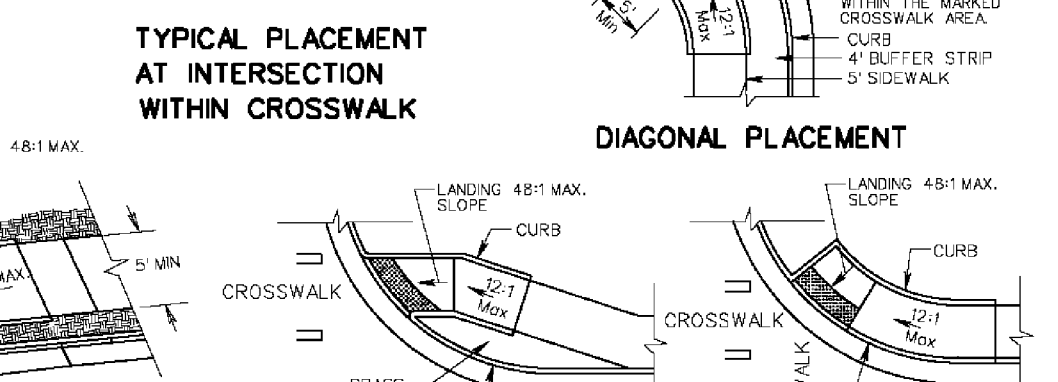
WITH BUFFER STRIP



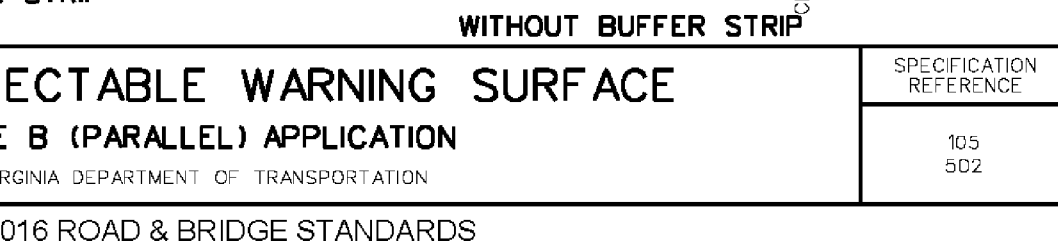
WITH BUFFER STRIP



WITHOUT BUFFER STRIP



TYPICAL PLACEMENT AT INTERSECTION WITHIN CROSSWALK



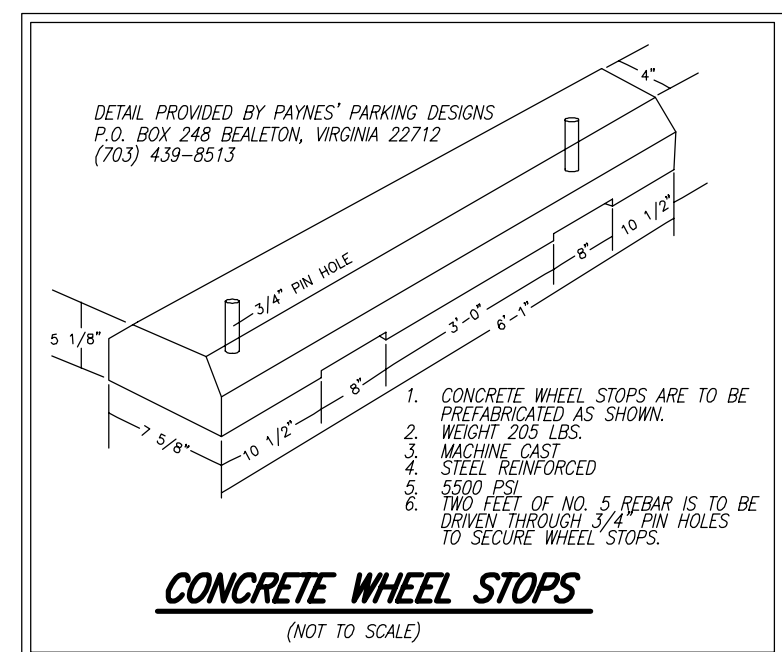
DIAGONAL PLACEMENT

**CG-12 DETECTABLE WARNING SURFACE**

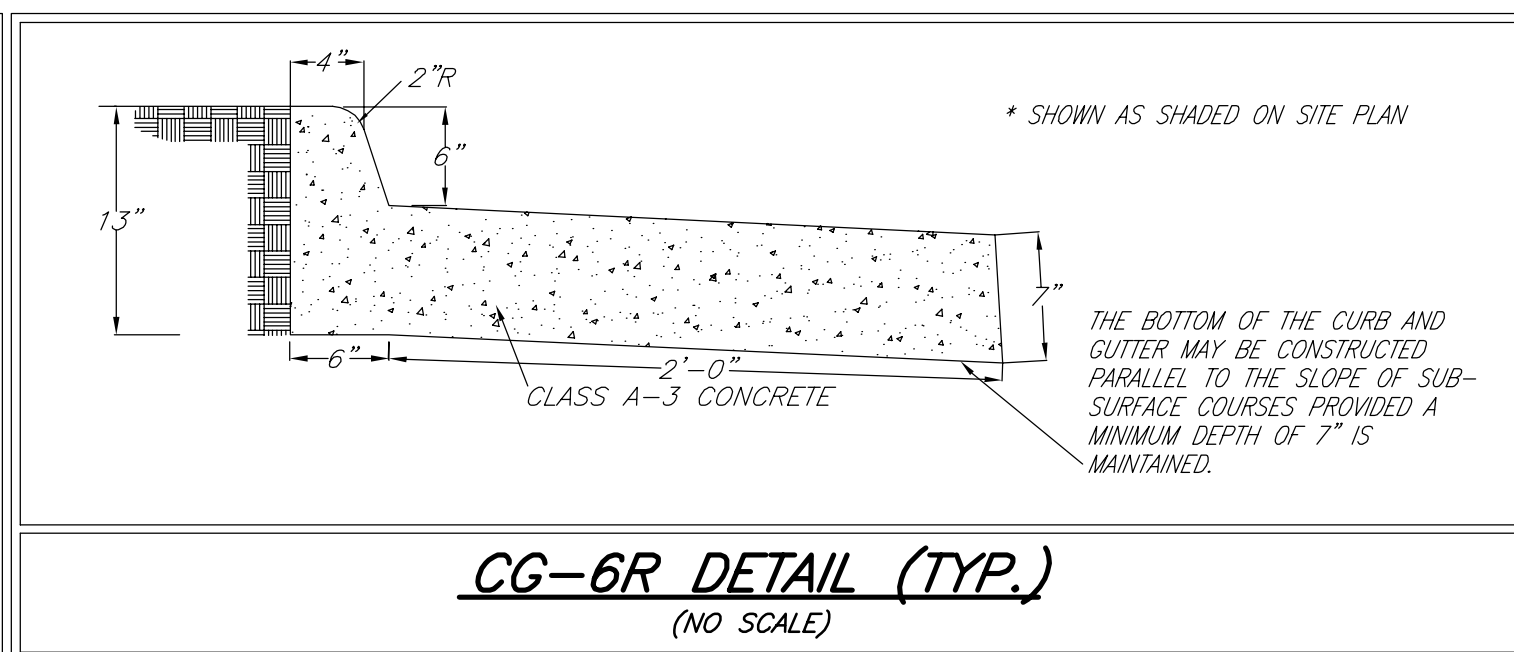
VIRGINIA DEPARTMENT OF TRANSPORTATION

VDOT ROAD AND BRIDGE STANDARDS  
SHEET 3 OF 3 REVISION DATE  
203.07

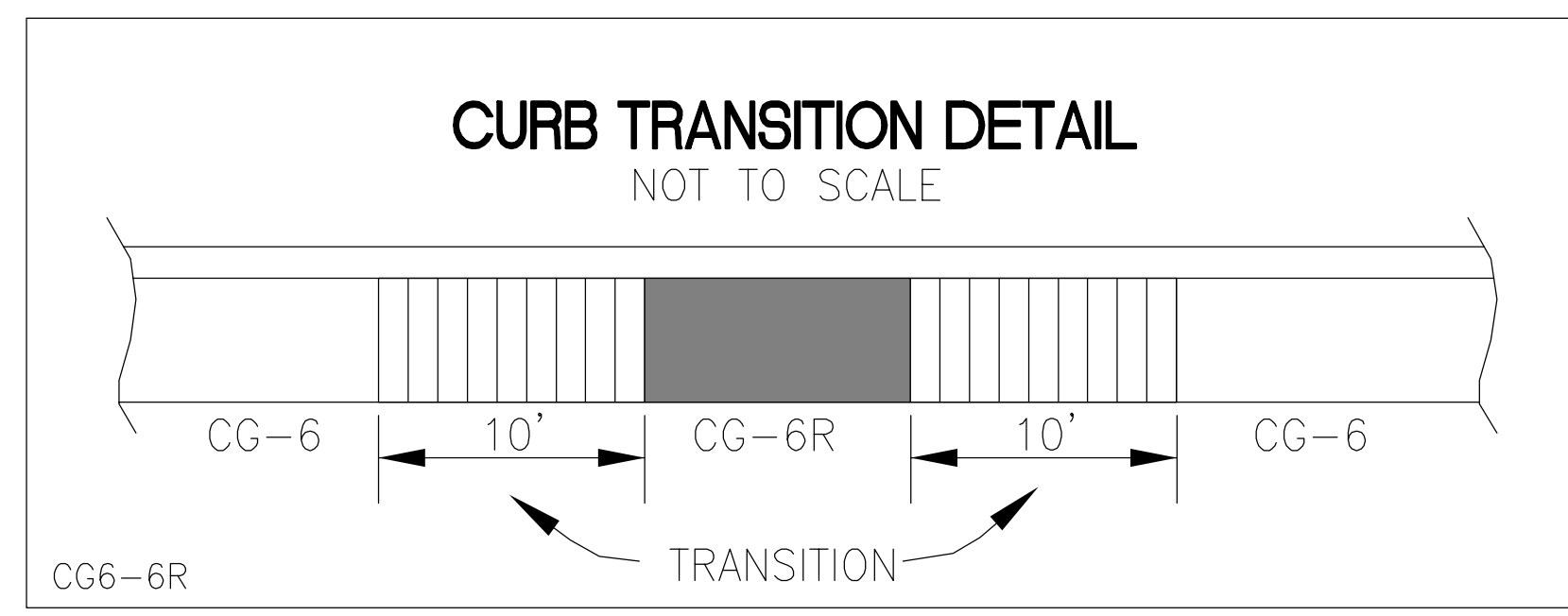
2016 ROAD & BRIDGE STANDARDS



CONCRETE WHEEL STOPS (NOT TO SCALE)



CG-6R DETAIL (TYP.) (NO SCALE)



CG6-6R

**Rinker Design Associates, P.C.**  
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"Turning Challenges into Opportunities"

COMMONWEALTH OF VIRGINIA  
SHARON D. DUSZA  
Lic. No. 033455  
PROFESSIONAL ENGINEER

**HAYMARKET TOWN CENTER REDEVELOPMENT**  
TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: SEPTEMBER 2017  
SCALE: AS SHOWN  
DESIGN: JDH  
DRAFT: JDH  
CHECKED BY: SDD  
ARCH: JOHN F. HELTZEL  
JOB NUMBER: 14-096-01  
C.03







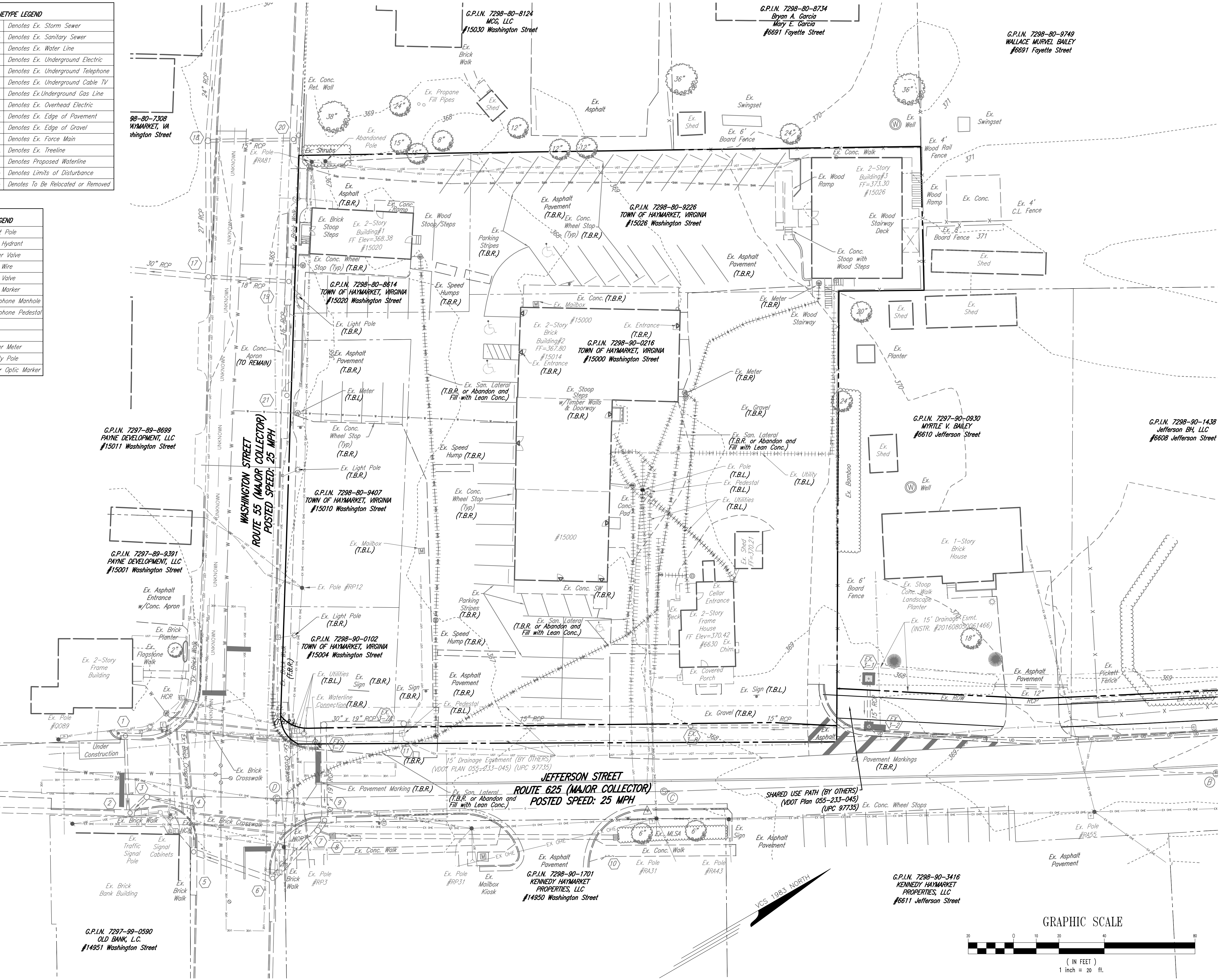
ABBREVIATION LEGEND	
A	ARC LENGTH APPROXIMATELY
A.R.V.	AIR RELEASE VALVE
B.C.V.	BACK OF CURB
B.O.V.	BLOW OFF VALVE
B.R.L.	BUILDING RESTRICTION LINE
C	CENTER LINE
C.O.	CLEAN OUT
CONC.	CONCRETE
C&G	CURB AND GUTTER
D.B.	DEED BOOK
D.I.P.	DUCTILE IRON PIPE
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
ENT.	ENTRANCE
EX.	EXISTING
F.H.	FIRE HYDRANT
H.C.	HANDICAPPED
H.D.P.E.	HIGH DENSITY POLYETHYLENE
HT.	HEIGHT
INV.	INVERT
LAT.	LATERAL
L.S.	LOADING SPACE
M.H.	MAN HOLE
N/F	NEW/FORMERLY
P&S	PROPS
P.L.	PROPERTY LINE
PVC	POLYVINYL CHLORIDE
R	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT OF WAY
SAW	SANITARY
SEW.	SEWER
S/W	SIDEWALK
SF	SQUARE FEET
STM.	STORM
T.C.	TOP OF CURB
T&M	T&M
TEMP.	TEMPORARY
T.B.A.	TO BE ADJUSTED
T.B.R.	TO BE REMOVED
T.B.L.	TO BE RELOCATED
T.B.V.	TO BE VACATED
TRAP	TRAPEZOIDAL
(TYP.)	TYPICAL
U.D.	UNDERDRAIN
V.A.	VAN ACCESSIBLE
VPD	VEHICLES PER DAY
W	WITH
W/L	WATERLINE

LINTYPE LEGEND	
---	Denotes Ex. Storm Sewer
---	Denotes Ex. Sanitary Sewer
---	Denotes Ex. Water Line
---	Denotes Ex. Underground Electric
---	Denotes Ex. Underground Telephone
---	Denotes Ex. Underground Cable TV
---	Denotes Ex. Underground Gas Line
---	Denotes Ex. Overhead Electric
---	Denotes Ex. Edge of Pavement
---	Denotes Ex. Edge of Gravel
---	Denotes Ex. Force Main
---	Denotes Ex. Tree Line
---	Denotes Ex. Proposed Waterline
---	Denotes Limits of Disturbance
---	Denotes To Be Relocated or Removed

SYMBOL LEGEND	
⊙	Denotes Ex. Light Pole
⊕	Denotes Ex. Fire Hydrant
⊖	Denotes Ex. Water Valve
⊗	Denotes Ex. Guy Wire
⊘	Denotes Ex. Gas Valve
⊙	Denotes Ex. Gas Marker
⊕	Denotes Ex. Telephone Manhole
⊖	Denotes Ex. Telephone Pedestal
⊗	Denotes Ex. Sign
⊘	Denotes Ex. Tree
⊙	Denotes Ex. Water Meter
⊕	Denotes Ex. Utility Pole
⊖	Denotes Ex. Fiber Optic Marker

### DEMOLITION NOTES

- PRIOR TO THE ONSET OF DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE TOWN OF HAYMARKET AND ANY APPLICABLE FEDERAL AGENCIES. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- MARK POSITIONS OF ALL UTILITY, DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY, BEFORE THE COMMENCEMENT OF DEMOLITION, SERVICES THAT REQUIRE INTERRUPTION OF AN ACTIVE SYSTEM THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH TRAVELWAYS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT TRAVELWAYS AND OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE TOWN AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- DEMOLITION TO BE PERFORMED IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- THE DEMOLITION AND REMOVAL OF ASPHALT SHALL BE DONE IN SMALL SECTIONS.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY THEIR FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN, HE SHALL IMMEDIATELY NOTIFY THE TOWN AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE CONTINUANCE OF SERVICE.
- UTILITY POLES & BOXES, GUY WIRES, OR OTHER ABOVE OR BELOW GROUND UTILITIES THAT CONFLICT WITH THE PROPOSED CONSTRUCTION MAY HAVE TO BE ADJUSTED OR RELOCATED. FINAL PLANS FOR THE RELOCATION OF ANY UTILITIES WILL BE COORDINATED BETWEEN THE CONTRACTOR, THE TOWN OF HAYMARKET, AND UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- EXISTING SERVICES CONNECTED TO UTILITIES TO BE REMOVED OR ABANDONED MUST BE COORDINATED WITH TOWN IN ORDER TO MINIMIZE THE DISRUPTION OF SERVICE.



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 9385 Discovery Boulevard, Suite 200, Manassas, VA 20108 Telephone: (703) 368-7373 Fax: (703) 257-5443  
 on the web @ www.rdaenv.com

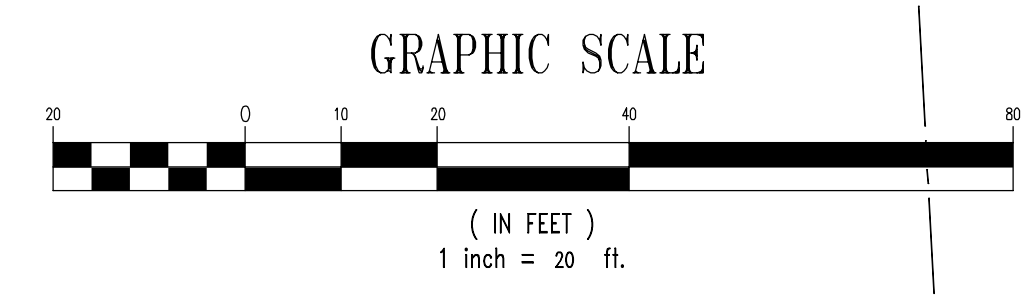
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COMMONWEALTH OF VIRGINIA  
 SHARON D. DUSZA  
 Lic. No. 033455  
 PROFESSIONAL ENGINEER

DEMOLITION PLAN  
**HAYMARKET TOWN CENTER REDEVELOPMENT**  
 TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

DATE:	SEPTEMBER 2017
SCALE:	
DESIGN:	JDH
DRAFT:	JDH
CHECKED BY:	SDD
ARCH:	JOHN F. HELTZEL
JOB NUMBER:	14-096-01
	C.05









MAINTENANCE NOTES

- (1) THE OWNER OF FEE TITLE TO ANY PROPERTY ON WHICH PLANT MATERIAL HAS BEEN ESTABLISHED IN ACCORDANCE WITH AN APPROVED LANDSCAPE/PLANTING PLAN SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF THE APPROVED PLANT MATERIAL AS REQUIRED BY THE ORDINANCE.
- (2) THE OWNER OF FEE SIMPLE TITLE TO THE PROPERTY ON WHICH THERE IS AN AREA FOR BUFFERING PURPOSES SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF ALL LANDSCAPING AND OF REPLACEMENT OF DEAD, OR DYING, PLANT MATERIALS AND FOR THE UPKEEP OF ANY BERMS, WALLS OR FENCES THEREIN.
- (3) LANDSCAPING TREES SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS OF Z.O. 58-727.
- (4) STANDARDS FOR FIELD PRACTICES FOR TREE PRESERVATION AREAS:

A. MARKING THE LIMITS OF CLEARING AND GRADING

- (1) PRIOR TO THE START OF CONSTRUCTION, THE LIMITS OF CLEARING SHALL BE VISIBLY MARKED WITH SURVEYOR'S TAPE. THE LIMITS OF CLEARING AND GRADING SHALL NOT EXCEED THAT SHOWN ON THE APPROVED PLANS.
- (2) WHEN THE AFOREMENTIONED MARKING HAS BEEN COMPLETED, A MEETING SHALL BE REQUESTED WITH THE TOWN TO INSPECT THE MARKED LIMITS OF CLEARING. ALL CLEARING LIMITS SHALL BE INSPECTED AND APPROVED, PRIOR TO ANY CLEARING TAKING PLACE.
- (3) THE PERMITTEE HAS THE OPTION TO RETAIN ADDITIONAL VEGETATION OVER AND ABOVE THAT WHICH IS REQUIRED BY THE APPROVED PLAN. HOWEVER, IT IS RECOMMENDED THAT ADDITIONAL VEGETATED AREAS ON THE SITE THAT ARE TO BE PRESERVED SHOULD BE PROTECTED FROM ENCROACHMENT BY CONSTRUCTION ACTIVITY. IF A NATURAL AREA OR INDIVIDUAL TREE NOT SHOWN ON THE PLANS TO BE PRESERVED IS RETAINED ON SITE AND IS INTENDED TO BE PRESERVED THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY, THEN THE PERMITTEE SHOULD PROTECT THESE TREES THE SAME AS DESIGNATED PRESERVATION AREAS.
- (4) WHEN AREAS SHOWN ON THE APPROVED PLAN TO BE PRESERVED DO NOT CONTAIN ANY SIGNIFICANT VEGETATION, IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO OBTAIN APPROVAL FROM THE TOWN FOR AN EXEMPTION FROM PRESERVATION AND PROTECTION REQUIREMENTS PRIOR TO COMMENCING WORK IN THE AREA.
- (5) IF AT ANY TIME, SUBSEQUENT TO THE INITIAL CLEARING, IT BECOMES NECESSARY TO REMOVE ADDITIONAL TREES WHICH WERE SHOWN ON THE PLAN TO BE PRESERVED, THE TOWN SHALL BE NOTIFIED AND MUST GRANT APPROVAL PRIOR TO PERFORMING ANY ADDITIONAL CLEARING.

B. TREE PROTECTION REQUIREMENTS:

- (1) THE PERMITTEE SHALL BE RESPONSIBLE FOR THE PROTECTION OF TOPS, TRUNKS, AND ROOTS OF ALL EXISTING TREES, AS WELL OTHER VEGETATION TO BE RETAINED ON THE SITE. AFTER VEGETATION HAS BEEN REMOVED WITHIN THE AREA AUTHORIZED TO BE CLEARED, PROTECTIVE DEVICES SHALL BE INSTALLED ALONG THE LIMITS OF CLEARING AND GRADING, PRIOR TO ANY CONSTRUCTION WORK BEGINNING ON THE SITE. PROTECTION SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY HAS BEEN COMPLETED AND SHALL NOT BE REMOVED WITHOUT THE CONSENT OF THE TOWN. IF THE TOWN FINDS THAT THE PROTECTIVE DEVICES ARE INSUFFICIENT TO PROTECT THE VEGETATION RETAINED ON THE SITE, ADDITIONAL PROTECTIVE DEVICES SHALL BE INSTALLED TO INSURE ADEQUATE PROTECTION.
- (2) ONCE CLEARING IS COMPLETED AND PROTECTIVE DEVICES INSTALLED, AN INSPECTION SHALL BE REQUESTED TO APPROVE THESE ITEMS PRIOR TO COMMENCING FURTHER CONSTRUCTION.
- (3) BARRICADES WITH APPROPRIATE SIGNS TO IDENTIFY TREE PRESERVATION AREAS SHALL BE LOCATED ALONG THE LIMITS OF CLEARING LINE. THE LIMITS OF CLEARING AND GRADING LINE SHOULD GENERALLY BE LOCATED AT THE DRIPLINE OF THE TREES TO BE RETAINED OR SPACED FROM THE EDGE OF THE TRUNKS EQUIVALENT TO ONE FOOT FOR EVERY INCH IN THE DIAMETER OF THE TREES AT BREAST HEIGHT (dbh), WHICHEVER IS GREATER. THE FOLLOWING STANDARDS SHALL APPLY TO THE AREA WITHIN THE ESTABLISHED LIMITS OF CLEARING AND GRADING LINE.
  - (a) THE SOIL SHALL NOT BE DISTURBED OR COMPACTED.
  - (b) HEAVY EQUIPMENT, VEHICULAR TRAFFIC, STOCKPILING OR ANY MATERIALS, OR DEPOSITION OF SEDIMENT, SHALL NOT BE PERMITTED.
  - (c) TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO TREES BEING RETAINED. EQUIPMENT OPERATORS SHALL NOT CLEAN ANY PART OF THEIR EQUIPMENT BY SLAMMING IT AGAINST THE TRUNKS OF TREES TO BE RETAINED.
  - (d) NO TOXIC MATERIALS SHALL BE STORED WITHIN FIFTY (50) FEET OF THE LIMITS OF CLEARING AND GRADING.
  - (e) BURN PITS SHALL NOT BE PERMITTED WITHIN ONE HUNDRED (100) FEET OF VEGETATED AREA RETAINED, UNLESS APPROVED BY THE TOWN. THEY SHALL BE LIMITED IN SIZE SO AS NOT TO ADVERSELY AFFECT THE VEGETATION.
  - (f) NO PROTECTIVE DEVICES, SIGNS, UTILITY BOXES, OR OTHER OBJECTS SHALL BE NAILED TO THE TREES TO BE RETAINED ON THE SITE.
  - (g) ADDITIONAL TREES MAY BE LEFT STANDING AS PROTECTION BETWEEN THE TRUNKS OF THE TREES TO BE RETAINED AND THE LIMITS OF GRADING. IF THE TRUNKS OF TREES IN THIS PRESERVATION AREA ARE MORE THAN SIX(6) FEET APART, ADDITIONAL PROTECTION DEVICES MAY BE REQUIRED TO PREVENT PASSAGE OF EQUIPMENT AND MATERIAL THROUGH THE AREA. WHEN ADDITIONAL TREES ARE USED AS PROTECTION, THE LIMITS OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE FLAGGED IN THE FIELD SO THAT THE ADDITIONAL PRESERVATION AREA IS DELINEATED. WHEN THIS METHOD OF PROTECTION IS USED, THESE ADDITIONAL TREES SHALL BE REMOVED PRIOR TO COMPLETION OF THE PROJECT IF REQUIRED BY THE TOWN.
  - (h) SEDIMENT-LADEN RUNOFF SHALL BE DIVERTED AWAY FROM THE PRESERVATION AREA. WHEN THE EDGE OF A PARKING LOT ADJUTS A TREE PRESERVATION AREA, CURB AND GUTTER ROLLED ASPHALT, OR SIMILAR TYPE OF GUTTERING MATERIAL, SHALL BE USED TO DIVERT RUNOFF FROM THE TREE PRESERVATION AREA.

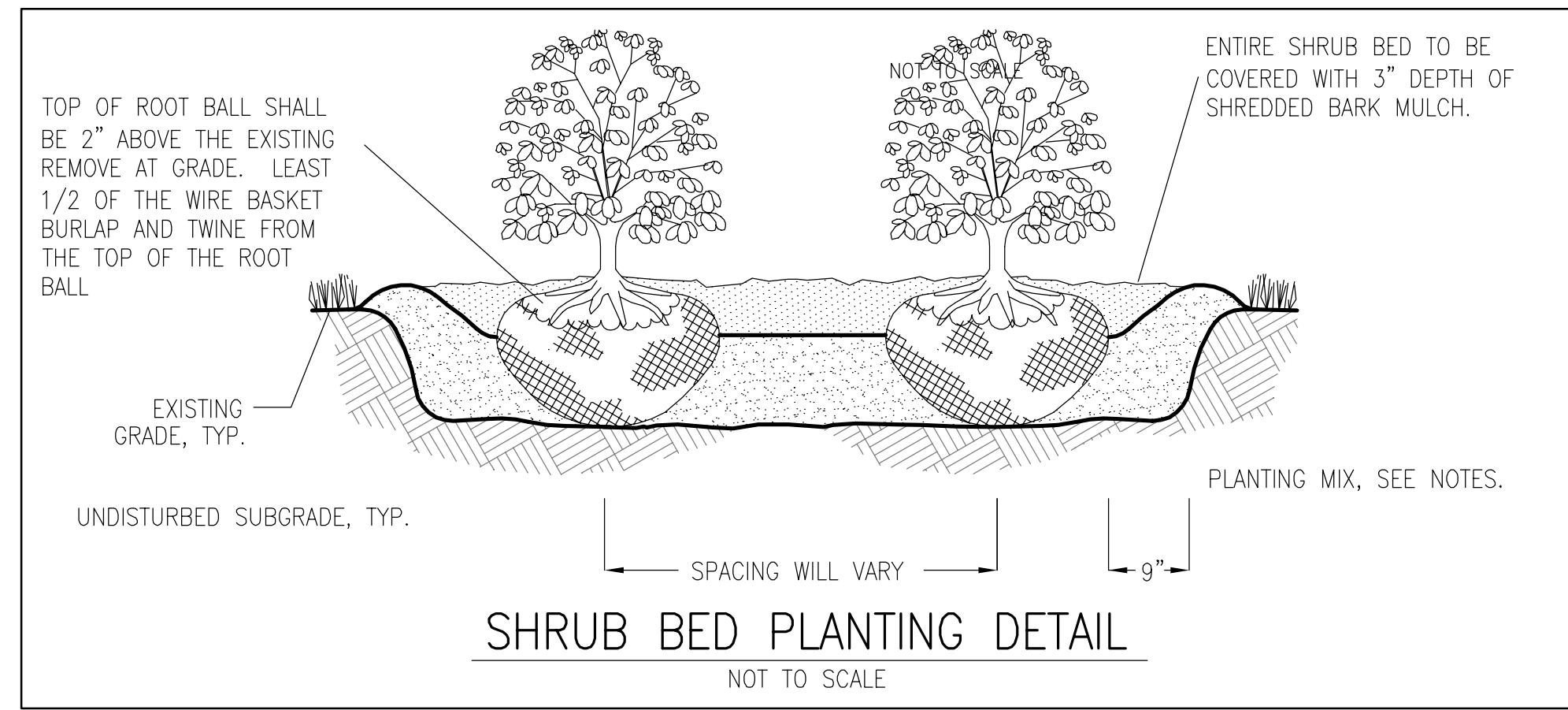
SOIL PREPARATION FOR SEEDING OR SODDING

- 1. EXISTING SOIL OR TOP SOIL STORED ON SITE AND SPREAD AT A 3"-4" DEPTH OVER AREAS TO BE SEEDED SHALL BE USED FOR ESTABLISHMENT OF TURF. ALL SUBGRADE AREAS TO BE SEEDED, SHALL BE LOOSENEED BY DISCING OR BY SCARIFYING TO A DEPTH OF NO LESS THAN 4 INCHES. ALL ESTABLISHED/EXISTING SITE GRADES MUST BE MAINTAINED. ANY ALTERATION OF EXISTING GRADES COULD CAUSE VEGETATION, TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH THE PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
- 2. WHERE THE SOIL IS ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND AGRICULTURAL LIMESTONE SHALL BE SPREAD AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET.
- 3. SLOW RELEASE NITROGEN AT THE RATE OF 3.5 POUNDS PER 1,000 SQUARE FEET SHALL BE APPLIED TO THE PREPARED SOIL JUST PRIOR TO SOD INSTALLATION. THIS MATERIAL SHALL BE APPROXIMATELY 1/3 IMMEDIATELY AVAILABLE AND 2/3 WATER INSOLUBLE NITROGEN. UREA FORMALDEHYDE (UF) AN DISOBUTYLIDENE UREA (BUD) MEET THESE STANDARDS.

LANDSCAPE SPECIFICATIONS

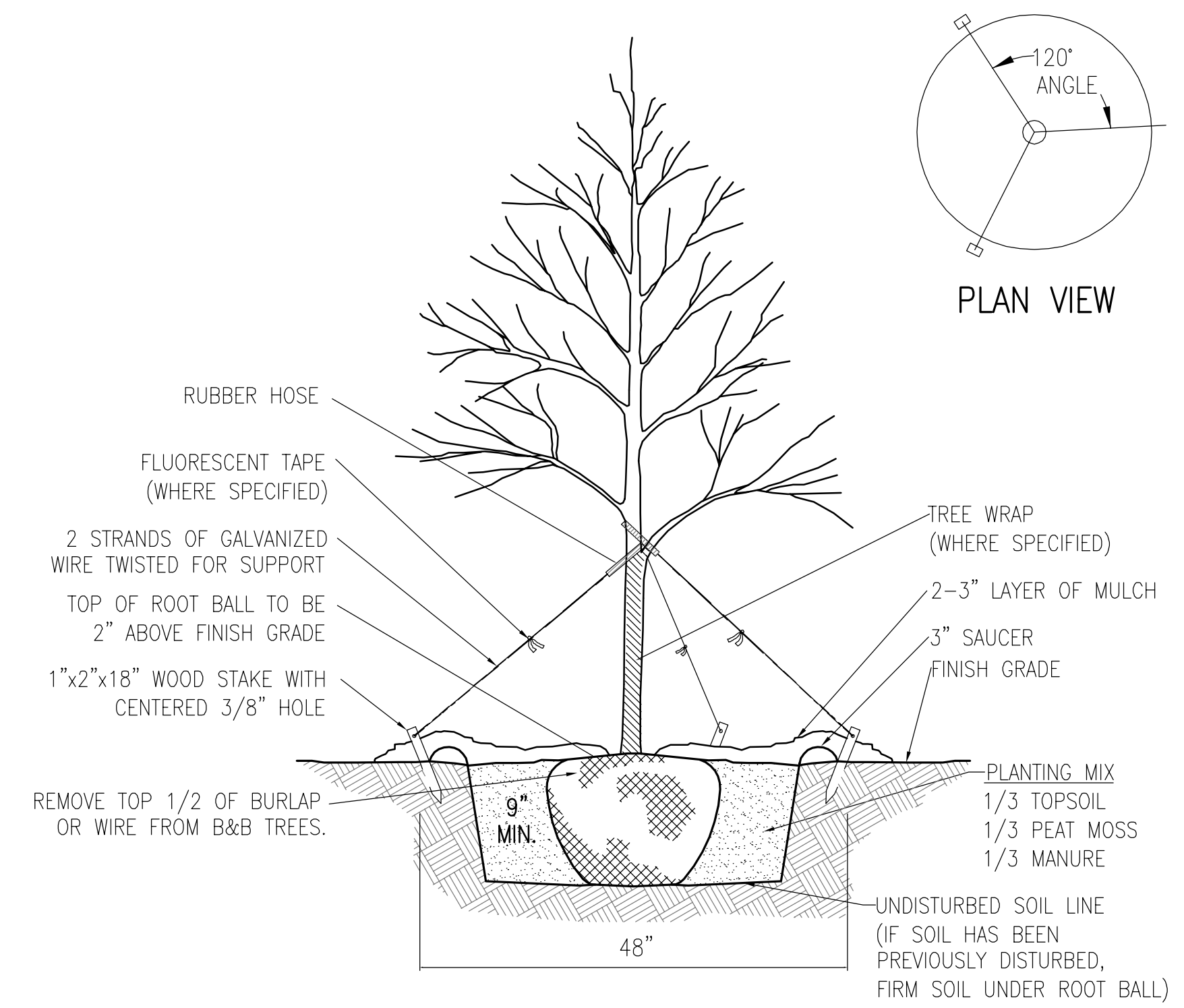
- 1. ALL PLANTS SHALL BE NURSERY GROWN.
- 2. ALL PLANTS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS, OR LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.
- 3. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE OWNER AND HIS REPRESENTATIVE.
- 4. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
- 5. THE OWNER OR HIS REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- 6. ALL TREES SHALL BE WRAPPED IMMEDIATELY AFTER THEY ARE PLANTED. APPROVED TREE WRAP SHALL BE INSTALLED ACCORDING TO ACCEPTED INDUSTRY PRACTICE.
- 7. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AAN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT, ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 8. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREES AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE THE AREA OF THE PIT AND FOR SHRUBS IN BEDS. KEEP MULCH AWAY FROM TREE TRUNKS.
- 9. TREES IN LEAF WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICANT SUCH AS WILT-PROOF. THE CONTRACTOR SHALL NOTIFY THE OWNER OR HIS REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. HE SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST FOR REVIEW AND ACCEPTANCE BY THE OWNER OR HIS REPRESENTATIVE.
- 10. MINOR ADJUSTMENTS TO TREE LOCATION MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.

THE MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING IN COMMERCIAL, INDUSTRIAL AND RESIDENTIAL OPEN SPACE SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNERS. PLANTED MATERIAL SHALL BE MAINTAINED IN A HEALTHY STATE AND REPLACED WHEN DISEASED OR DEAD. ALL LANDSCAPING STRUCTURES SHALL ALSO BE KEPT IN GOOD CONDITION.



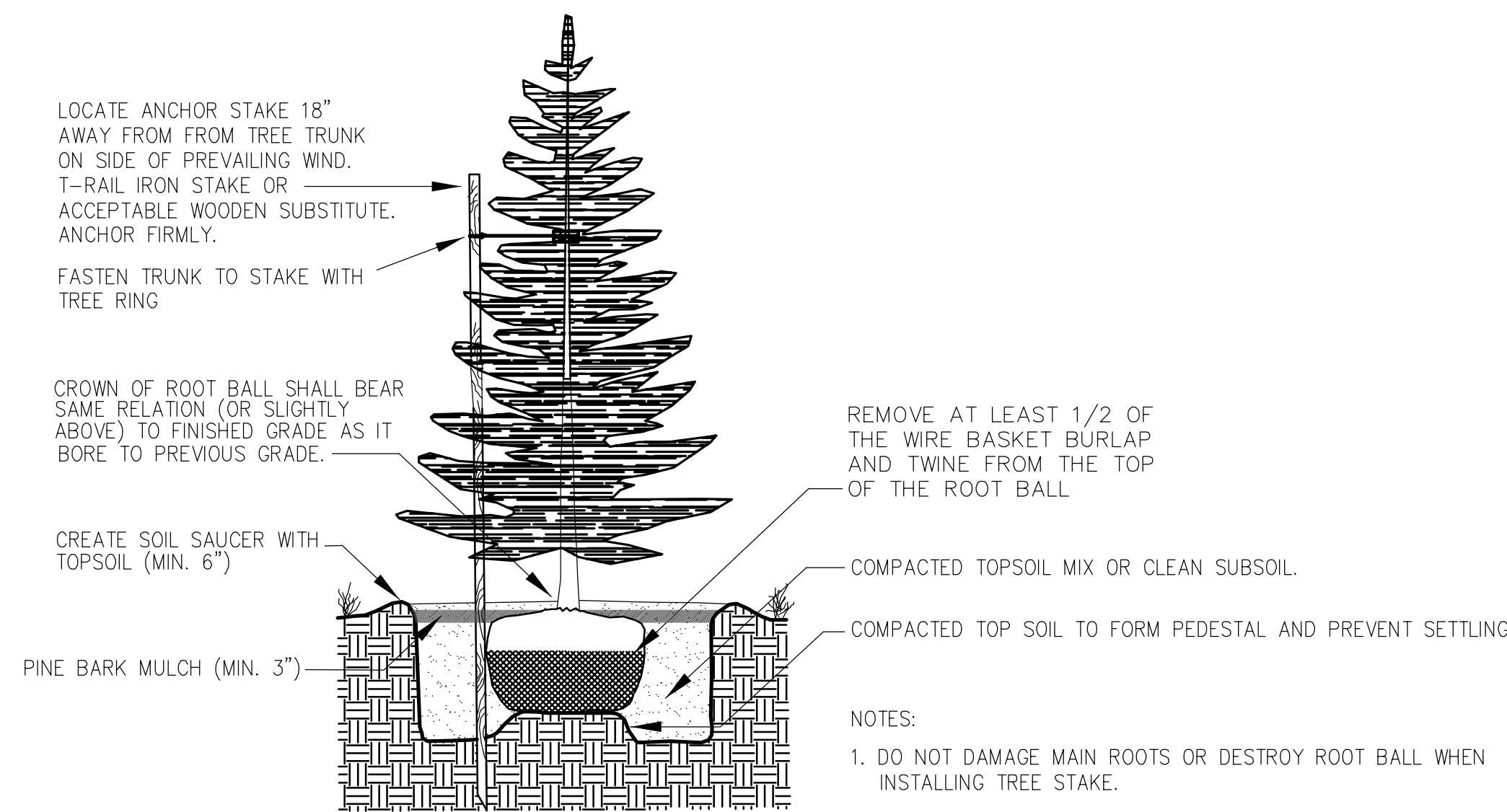
SHRUB BED PLANTING DETAIL

NOT TO SCALE



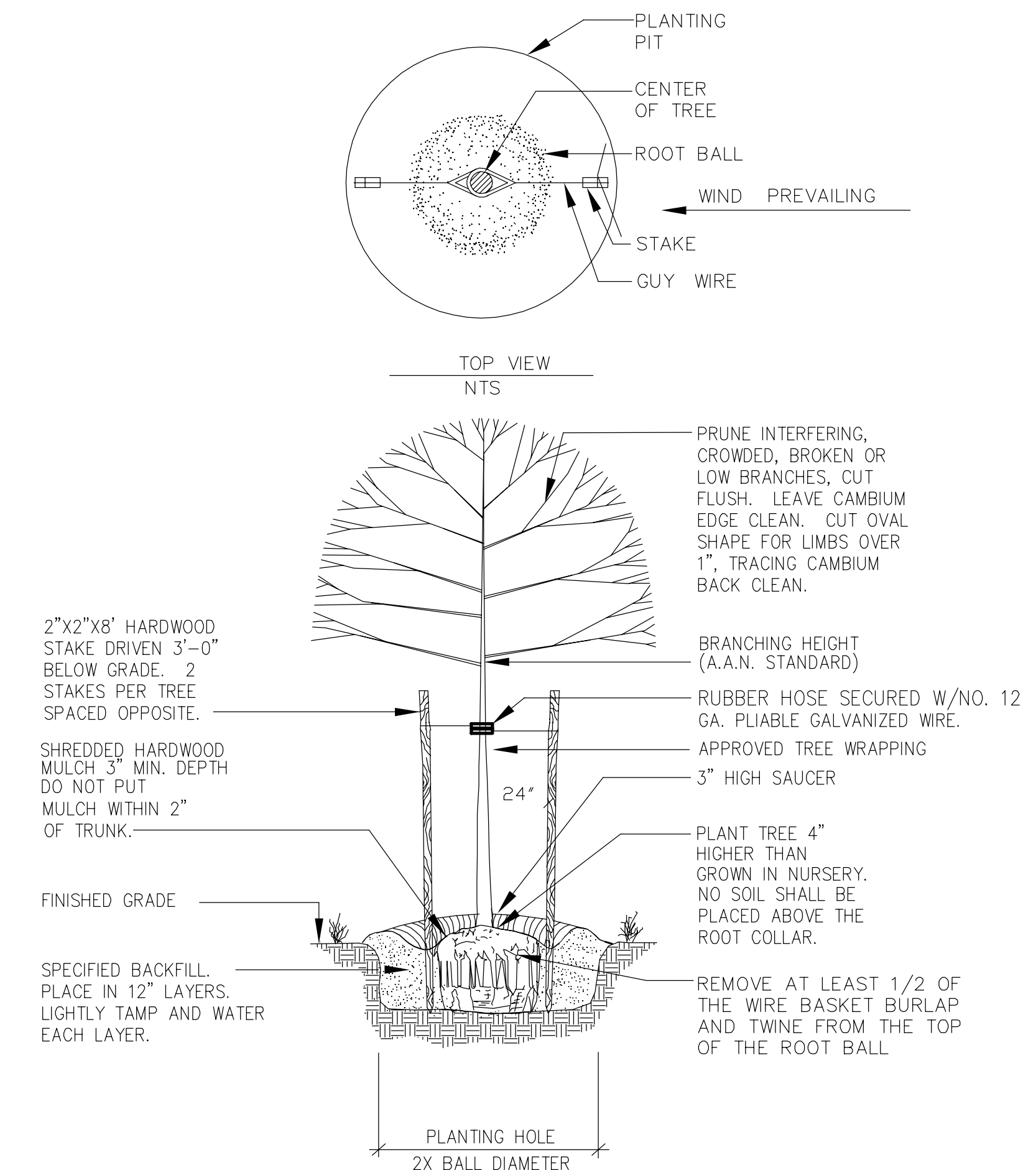
SINGLE STEM TREE PLANTING DETAIL

NOT TO SCALE



TYPICAL EVERGREEN PLANTING DETAIL

(2 1/2" CALIPER OR LESS) NOT TO SCALE



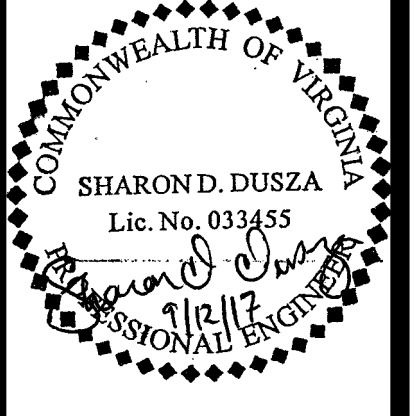
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



Rinker Design Associates, P.C. 9385 Discovery Boulevard, Suite 200, Manassas, VA 20108 Telephone: (703) 368-7373 Fax: (703) 257-5443 on the web @ www.rdaenv.com

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LANDSCAPE NOTES & DETAILS HAYMARKET TOWN CENTER REDEVELOPMENT TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

DATE: SEPTEMBER 2017  
 SCALE:  
 DESIGN: JDH  
 DRAFT: JDH  
 CHECKED BY: SDD  
 ARCH: JOHN F. HELTZEL  
 JOB NUMBER: 14-096-01  
 C.42

THIS SHEET FOR LANDSCAPING PURPOSES ONLY!!!!



**STREETSCAPE REQUIREMENTS (PER Z.O. SEC. 58-723):  
REQUIRED LANDSCAPING: FRONTAGE TO PUBLIC STREETS (WASHINGTON STREET)**

- 1) Linear feet of street frontage, not including driveway entrances: 210
- 2) Total number of plants units required: (1/25' of frontage) 8
- 3) Total number of plant units provided: 8

**STREETSCAPE REQUIREMENTS (PER Z.O. SEC. 58-723):  
REQUIRED LANDSCAPING: FRONTAGE TO PUBLIC STREETS (JEFFERSON STREET)**

- 1) Linear feet of street frontage, not including driveway entrances: 185
- 2) Total number of plants units required: (1/25' of frontage) 8
- 3) Total number of plant units provided: 6 (SEE WAIVER REQUEST)

**PARKING LOT LANDSCAPE STRIP ALONG WASHINGTON STREET (Z.O. 58-703(e))**

- 1) Linear feet of street frontage, not including driveway entrances: 67
- 2) Total number of trees required: (1/30' of frontage) 2
- 3) Total number of trees provided: 2
- 4) Total number of shrubs provided for screening: 15

**INTERIOR PARKING LOT LANDSCAPING (Z.O. 58-703(e))**

- 1) Area of parking: 27,295 FT.
- 2) Interior landscaped area required (% and sq. ft.): 5% - 1,365 FT.  
Interior landscaped area provided (% and sq. ft.): 5.6% - 1,550 SQ. FT.
- 3) Number of trees required (1 tree 10 parking spaces): 7  
Number of trees provided: 7
- 3) Number of shrubs required (3 shrubs per 10 parking spaces): 19  
Number of shrubs provided: 40

**LANDSCAPING TABULATIONS:**  
LANDSCAPE SCREENING REQUIREMENTS  
(PER Z.O. SEC. 58-699 THROUGH 58-702):  
REQUIRED ADJACENT TO R-1 ZONE: 25' OPAQUE SCREEN (SC) TYPE BUFFER  
REQUIRED ADJACENT TO B-1 ZONE: 10' BUFFER YARD, NO SCREENING REQUIRED

PROVIDED ADJACENT TO R-1 ZONE: 5' LANDSCAPE STRIP WITH EXISTING 6' BOARD FENCE ALONG THE PROPERTY LINE. A WAIVER OF BUFFER YARD AND SCREENING REQUIREMENTS IS BEING PROCESSED WITH PRELIMINARY SITE PLAN IN ACCORDANCE WITH Z.O. SECTION 58-699(c).

PROVIDED ADJACENT TO B-1 ZONE: 5' PARKING LANDSCAPE STRIP. A WAIVER IS BEING PROCESSED WITH PRELIMINARY SITE PLAN. THE SITE AREA ADJACENT TO B-1 PROPERTIES

**TABLE 3.32-D  
SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA**

	Total Lbs. Per Acre
<b>Minimum Care Lawn</b>	
- Commercial or Residential	175-200 lbs.
- Kentucky 31 or Turf-Type Tall Fescue	95-100%
- Improved Perennial Ryegrass	0-5%
- Kentucky Bluegrass	0-5%
<b>High-Maintenance Lawn</b>	200-250 lbs.
- Kentucky 31 or Turf-Type Tall Fescue	100%
<b>General Slope (3:1 or less)</b>	
- Kentucky 31 Fescue	128 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
	150 lbs.
<b>Low-Maintenance Slope (Steeper than 3:1)</b>	
- Kentucky 31 Fescue	108 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
- Crownvetch **	20 lbs.
	150 lbs.

\* Use seasonal nurse crop in accordance with seeding dates as stated below:  
 February 16th through April ..... Annual Rye  
 May 1st through August 15th ..... Foxtail Millet  
 August 16th through October ..... Annual Rye  
 November through February 15th ..... Winter Rye

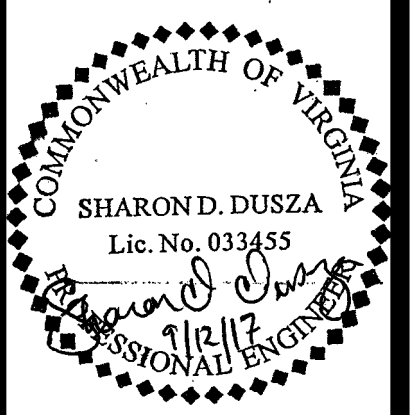
\*\* Substitute Sericea lespedeza for Crownvetch east of Farmville, Va. (May through September use hulled Sericea, all other periods, use unhulled Sericea). If Flatpea is used in lieu of Crownvetch, increase rate to 30 lbs./acre. All legume seed must be properly inoculated. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

**PLANTING SCHEDULE**

	KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIPER	REMARKS
DECIDUOUS TREES	LP		PLATANUS ACERIFOLIA	LONDON PLANETREE	5	3"	B&B
	TH		GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2	3"	B&B
	LL		TILIA CORDATA	LITTLELEAF LINDEN	2	3"	B&B
TOTAL # OF DECIDUOUS TREES = 9							
EVERGREEN TREES	RC		JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	11	6'-7'	B&B
TOTAL # OF EVERGREEN TREES = 11							
ORNAMENTAL TREES	CP		CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORNE	14	3"	B&B
	DS		AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	10	2"	B&B
TOTAL # OF ORNAMENTAL TREES = 24							
SHRUBS	BB		EUONYMUS ALATUS	BURNING BUSH	3	18"-24"	B&B
	CB		COTONEASTER DAMMERI	CORAL BEAUTY COTONEASTER	65	18"-24"	B&B
	DV		VIBURNUM PLICATUM	DOUBLEFILE VIBURNUM	5	18"-24"	B&B
	KV		VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5	18"-24"	B&B
	BF		BORDER FORSYTHIA	FORSYTHIS X INTERMEDIA	50	18"-24"	B&B
	JH		JAPANESE HOLLY	ILEX CRENATA	13	18"-24"	B&B
TOTAL # OF SHRUBS = 141							



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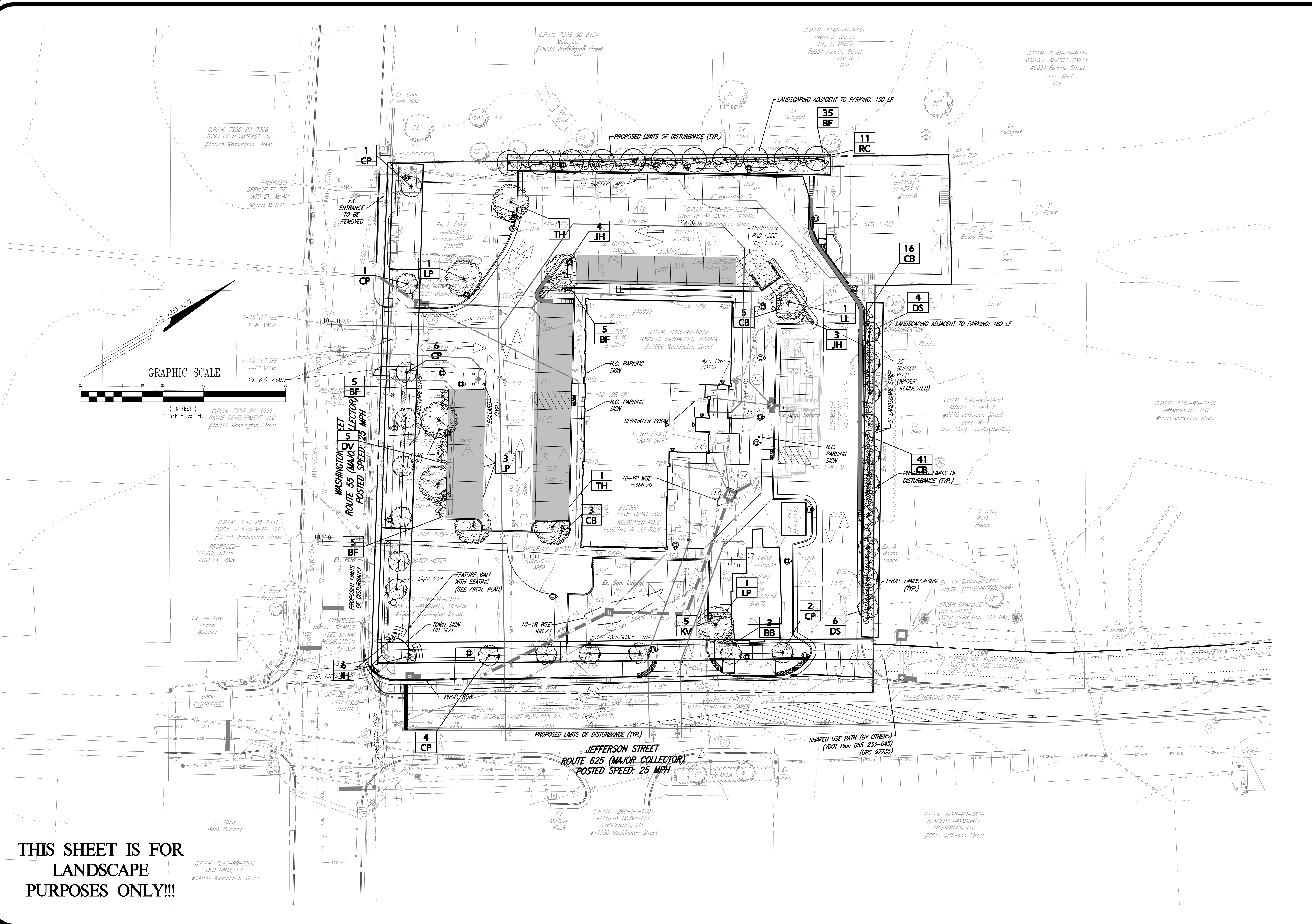
LANDSCAPE NOTES & DETAILS  
**HAYMARKET TOWN CENTER REDEVELOPMENT**  
 TOWN OF HAYMARKET, VIRGINIA

REVISIONS:


DATE: SEPTEMBER 2017  
 SCALE:  
 DESIGN: JDH  
 DRAFT: JDH  
 CHECKED BY: SDD  
 ARCH: JOHN F. HELTZEL  
 JOB NUMBER: 14-096-01  
 C-43

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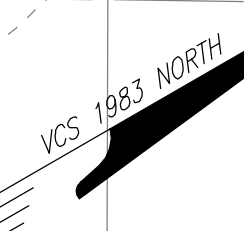
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G.P.I.N. 7297-99-0590  
OLD BANK, L.C.  
#14951 Washington Street

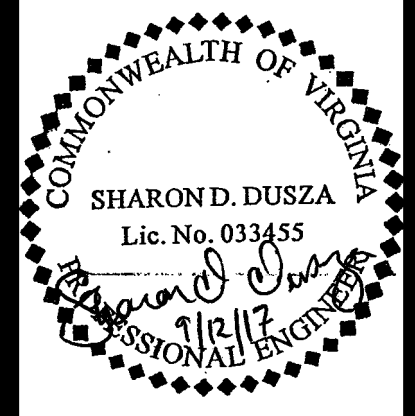
**JEFFERSON STREET  
ROUTE 625 (MAJOR COLLECTOR)  
POSTED SPEED: 25 MPH**

**WASHINGTON STREET  
ROUTE 55 (MAJOR COLLECTOR)  
POSTED SPEED: 25 MPH**

**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 20 ft.



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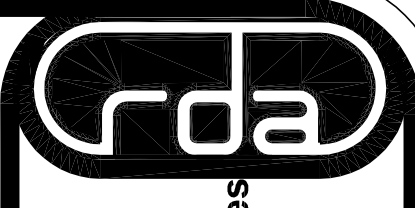


**LANDSCAPE PLAN**  
**HAYMARKET TOWN CENTER  
REDEVELOPMENT**  
TOWN OF HAYMARKET, VIRGINIA

REVISIONS:

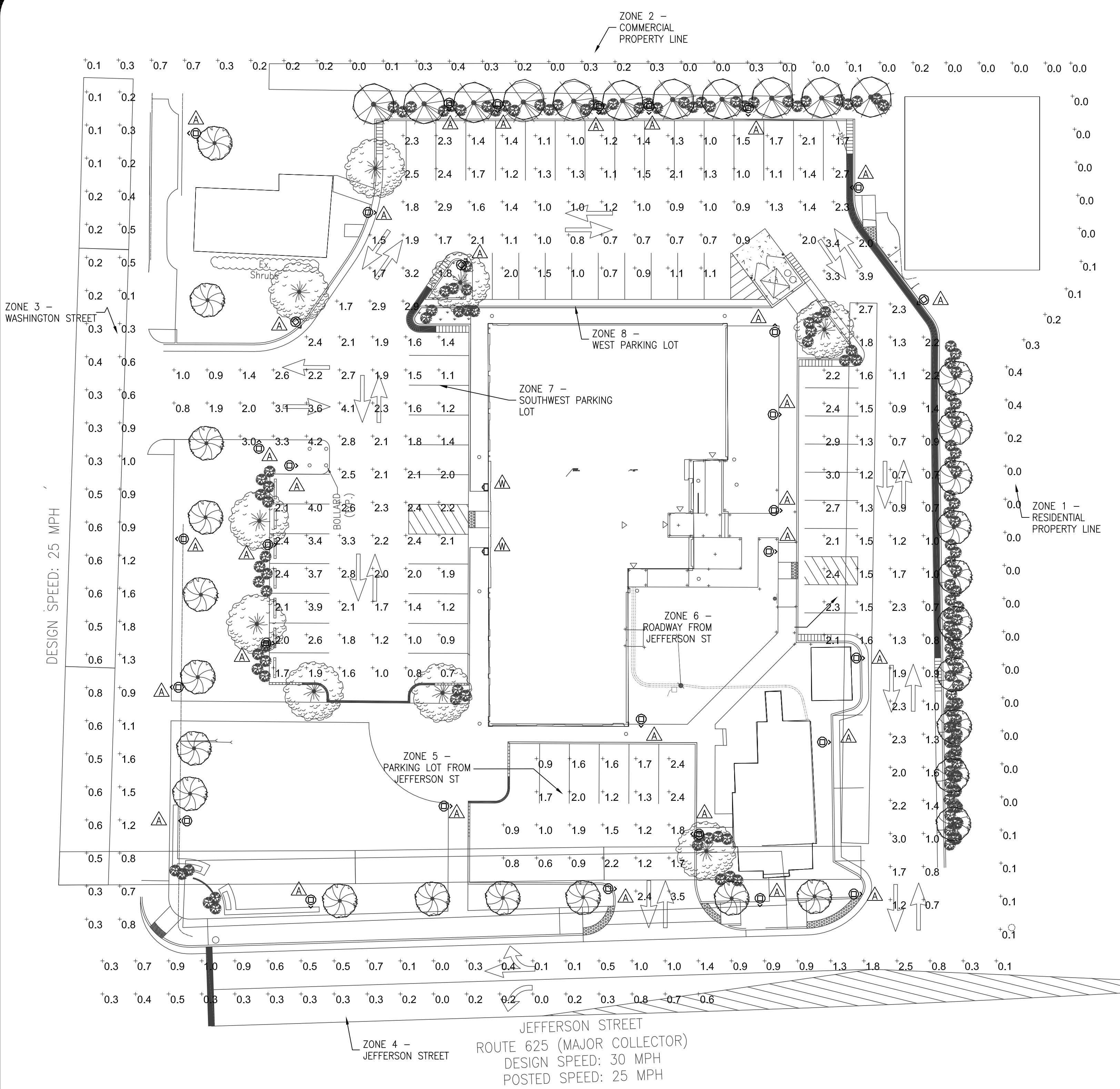

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CHECKED BY:	SDD
ARCH:	JOHN F. HELTZEL
JOB NUMBER:	14-096-01
	C.44



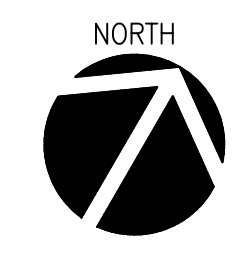


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PHOTOMETRIC STATISTICS								
	ZONE 1 - RESIDENTIAL BOUNDARY LINE	ZONE 2 - COMMERCIAL BOUNDARY LINE	ZONE 3 - WASHINGTON STREET	ZONE 4 - JEFFERSON STREET	ZONE 5 - PARKING LOT FROM JEFFERSON ST	ZONE 6 - ROADWAY FROM JEFFERSON ST	ZONE 7 - SOUTHWEST PARKING LOT	ZONE 8 - WEST PARKING LOT
AVERAGE FOOTCANDLES:	0.1	0.2	0.6	0.6	1.6	1.7	2.2	1.5
MAXIMUM FOOTCANDLES:	0.3	0.7	1.8	2.5	3.5	3.9	4.2	3.2
MINIMUM FOOTCANDLES:	0.0	0.0	0.1	0.0	0.6	0.7	0.7	0.7
AVERAGE/MIN FOOTCANDLES:	-	-	6.0:1	-	2.7:1	2.4:1	3.1:1	2.1:1



1 SITE LIGHTING PHOTOMETRIC PLAN  
 1" = 20.0'  
 20' 0 10' 20' 40'  
 1" = 20'-0"



**GENERAL NOTES:**

- A. ALL LIGHTING SHALL BE THE WASHINGTON STEEL STYLE (FLUTED) POST WITH THE WASHINGTON 118 GLOBE (ACORN STYLE), APPROXIMATELY 14 FEET IN HEIGHT, BEING HANOVER FOREST GREEN, OR EQUIVALENT, IN COLOR, HAVING 17-INCH WIDE METAL BASE AND CONCRETE FOOTER IN ACCORDANCE WITH HAYMARKET CODE OF ORDINANCES, CHAPTER 58, SECTION 58-717.
- B. PHOTOMETRIC LIGHTING PLANS SHALL BE INCLUDED WITH THE FINAL SITE PLAN AND SHALL INCLUDE A NARRATIVE OUTLINING THE SPECIFICATIONS AND RESPONSIBLE PARTIES FOR THE PERMIT, OPERATION AND ASSOCIATED MAINTENANCE COSTS IN ACCORDANCE WITH HAYMARKET CODE OF ORDINANCES, CHAPTER 58, SECTION 58-717.
- C. FIXTURES ARE TO BE LOCATED SO AS NOT TO INTERFERE WITH OTHER EXISTING UTILITIES AND TO MINIMIZE CONFLICTS WITH EXISTING BUILDINGS AND PEDESTRIAN SIGHT LINES IN ACCORDANCE WITH HAYMARKET CODE OF ORDINANCES, CHAPTER 58, SECTION 58-717.
- D. SITE LIGHTING SHALL BE LOCATED AT PRIMARY BUILDING ENTRANCES AND PARKING AREAS OF BUILDINGS WHICH ARE OCCUPIED BY BUSINESSES WHICH PROVIDE CUSTOMER SERVICE FOR THE PUBLIC AFTER 5:00 P.M., TO ESTABLISH THE MOUNTING HEIGHT, LUMINANCE AND SPACING TO PROVIDE A MINIMUM AVERAGE HORIZONTAL ILLUMINATION OF 0.6 FOOTCANDLE IN ACCORDANCE WITH HAYMARKET CODE OF ORDINANCES, CHAPTER 58, SECTION 58-719.
- E. LIGHTING SHALL BE LOCATED AT PUBLIC AND PRIVATE INTERSECTIONS TO ESTABLISH THE MOUNTING HEIGHT, LUMINANCE AND SPACING TO PROVIDE A MINIMUM HORIZONTAL ILLUMINATION OF 0.6 FOOTCANDLE ON THE ROADWAY IN ACCORDANCE WITH HAYMARKET CODE OF ORDINANCES, CHAPTER 58, SECTION 58-719.

THIS SHEET IS FOR SITE LIGHTING PURPOSES ONLY



**sai ENGINEERING INCORPORATED**  
 Mechanical and Electrical Group  
 13662 OFFICE PLACE, SUITE 101 703/590-8200  
 WOODBRIDGE, VIRGINIA 22192-4217 703/590-4994 (FAX)  
 http://www.saimap.com mail@saimap.com (Email)

LIGHTING PLAN  
**HAYMARKET TOWN CENTER REDEVELOPMENT**  
 TOWN OF HAYMARKET, VIRGINIA

REVISIONS:


DATE:	SEPTEMBER 2017
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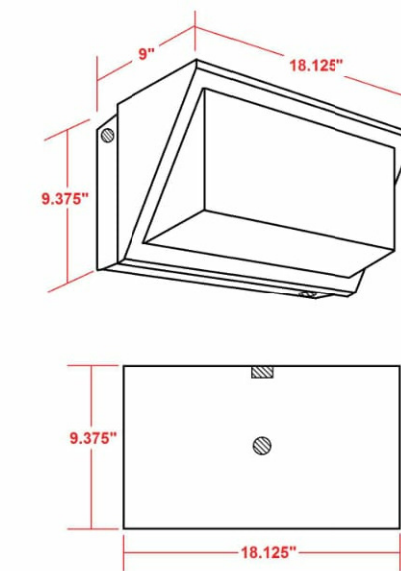


# WLFT SERIES

## LARGE FORWARD THROW WALL PACK



Similar to the WMFT series, the WLFT series combines patent pending optics with an industry standard large wall pack housing to bring you revolutionary light distribution from a familiar fixture.



### CONSTRUCTION & COMPATIBILITY

- Heavy duty LEDs
- Patent pending optics direct 90% of light downward and outward
- Standard large sized wall pack housing with prismatic glass lens
- "Hands-free" wiring with knockouts on back & sides
- 40% more lumens than our brightest medium-sized wall pack
- Over 105 lumens per watt!
- Available standard in durable bronze and white powder coat
- Compatible with 0-10V dimming controls
- Compatible with many photocells & motion sensors



### ELECTRICAL & LIGHT OUTPUT SPECIFICATIONS

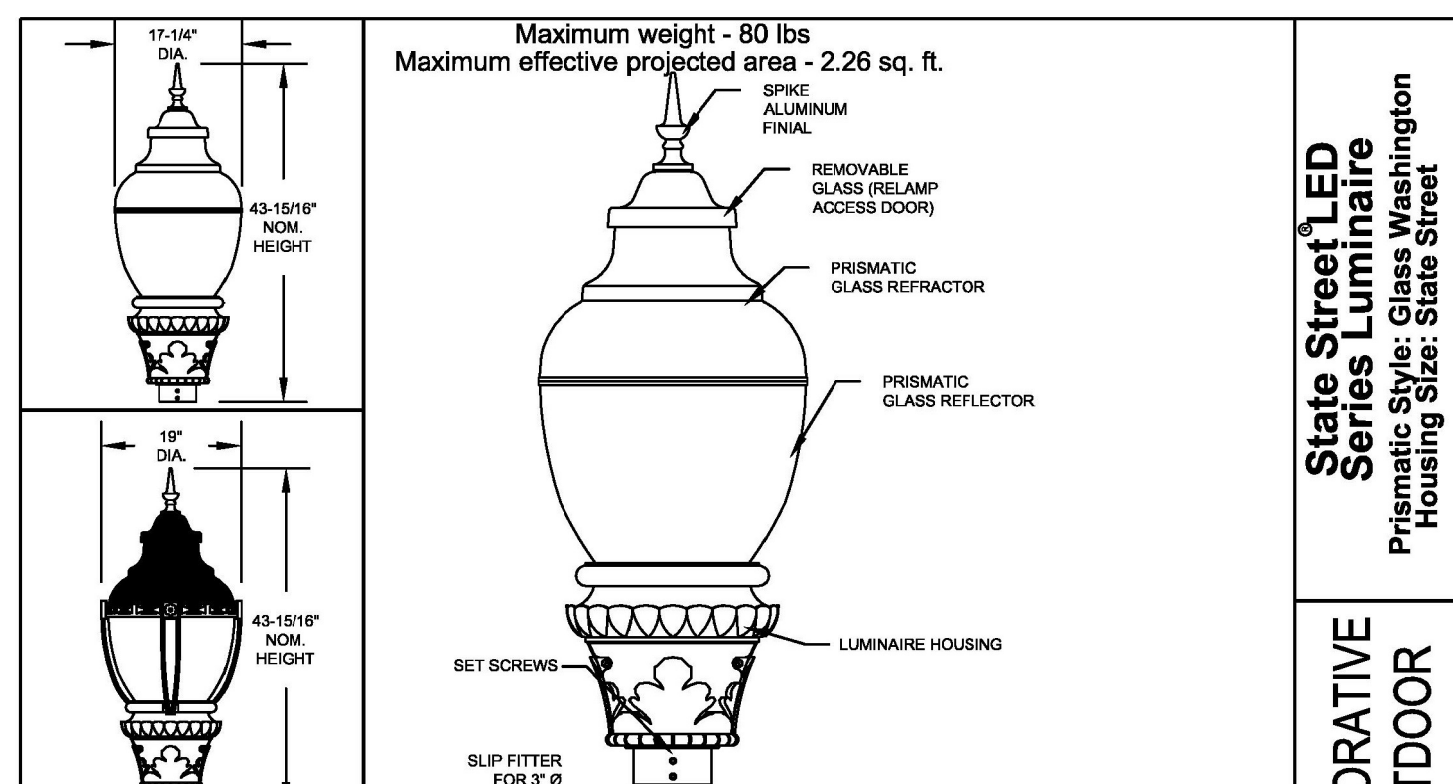
MODEL	# LEDs	INPUT	POWER	LUMENS	CCT	CRI	PF
WLFT-400	4	120-277V 50/60 Hz	105W	11,110 lm	5000K	>70	>.95

### ORDERING CHART

<b>PRODUCT FAMILY</b>	<b>METAL HALIDE EQUIVALENT</b>	<b>FINISH</b>
WLFT SERIES: WALL MOUNTED LARGE FORWARD THROW	400 (400W equivalent, 105W)	BRZ (bronze) WHT (white)



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State Street LED Series Luminaire Prismatic Style: Glass Washington Housing Size: State Street

DECORATIVE OUTDOOR

**ORDERING INFORMATION:**

**STLE2**

HOUSING STYLE	STATE STREET	POSTULITE LED
LED PERFORMANCE PACKAGE	LED PERFORMANCE PACKAGE	LED PERFORMANCE PACKAGE
TABLE FOR OPTIONS	TABLE FOR OPTIONS	TABLE FOR OPTIONS
TABLE FOR OPTIONS	TABLE FOR OPTIONS	TABLE FOR OPTIONS
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**OPTIONS**

**CONTROL OPTIONS**

**ADP** = FIELD ADJUSTABLE OUTPUT

**DE** = 0-10V DIMMING CONTROL, INCLUDES NEMA TWISTLOCK PHOTOCONTROL, RECEPTACLE

**FPDM** = FACTORY PROGRAMMED DIMMER (w/ % OF LUMENS ON WATTS)

**PND12** = 120V 0-10V PART-NIGHT DIMMING, INCLUDES BL2C & 120V BUTTON PHOTOCONTROL

**PND20427** = 208-277V 0-10V PART-NIGHT DIMMING, INCLUDES BL2C & 208-277V BUTTON PHOTOCONTROL

**PR12** = 120V DTL BUTTON STYLE PHOTOCONTROL

**PR20427** = 208-277V DTL BUTTON STYLE PHOTOCONTROL

**PRM** = 3-WAY DTL BUTTON STYLE PHOTOCONTROL

**COVER OPTIONS**

**FP** = FULL COVER

**SH** = SHOREWOOD STYLE COVER

**NEMA WATTAGE LABEL OPTIONS**

**NLTX1** = 1 X 1 NEMA LABEL

**NLTX2** = 2 X 2 NEMA LABEL

**PREMIERE LEAD OPTIONS**

**L1** = 14 FEET OF PREWIRED LEADS

**L3** = 3 FEET OF PREWIRED LEADS

**L10** = 10 FEET OF PREWIRED LEADS

**L20** = 20 FEET OF PREWIRED LEADS

**L28** = 28 FEET OF PREWIRED LEADS

**L36** = 36 FEET OF PREWIRED LEADS

**NOTES ARE LOCATED ON PAGE 3**

ORDER #: TYPE: DRAWN: RAF DATE: 6-16-2016 DWG #: LUM STLEZ 1 of 4

**NOTES**

- Not available with "AO", "DE", "FPDXX", "PND12", "PND20427", "PR12", "PR20427" or "PR34".
- Not available with "AH", "DE", "PND12" or "PND20427". Refer to instructions on website for details.
- Not available with "AO", "AH", "PND12", "PND20427", "PR12", "PR20427" or "PR34".
- Refer to the FPDX Data Table for lumens and wattage options.
- "AS" voltage only. Not available with "AO", "DE", "PND20427", "PR12", "PR20427" or "PR34".
- "AS" voltage only. Not available with "AO", "DE", "PND12", "PND20427" or "PR34".
- Available with "AS" voltage only. Not available with "DE", "PND12", "PND20427", "PR12" or "PR34".
- Available with "AS" voltage only. Not available with "AO", "DE", "PND12", "PND20427", "PR12" or "PR34".
- Available with "AH" voltage only. Not available with "AO", "DE", "PND12", "PND20427", "PR12" or "PR20427".
- Not available with cover option "S".
- Not available with cover option "F".
- Only available with "P50".
- Only available with "P10", "P20", "P30" and "P40".

State Street LED Series Luminaire Prismatic Style: Glass Washington Housing Size: State Street

DECORATIVE OUTDOOR

**Product Compatibility Table**

LED PACKAGE	AS	AH
P10	20W	33W
P20	35W	49W
P30	60W	68W
P40	81W	90W
P50	100W	100W

**Lumen Ambient Temperature (LAT) Multiplier**

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Average Lumen Ambient Temperature (LAT) Multiplier	Lumen	LED Packages
0	32	1.00
5	43	1.00
10	50	1.04
15	59	1.03
20	68	1.03
25	77	1.00
30	86	0.99
35	95	0.97
40	104	0.96

**Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in § 29°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate Lf, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Lumen Maintenance - Lf (same for all LED packages)	Hours	0	25,000	35,000	50,000	60,000	75,000	100,000
Factor	1	0.93	0.93	0.92	0.91	0.91	0.9	0.89

The italicized data is extrapolated beyond the TM-21 standard.

**L** = (LM) x (CU) x (LAT) x (LLD)  
LM and CU are obtained from published photometry.

ORDER #: TYPE: DRAWN: RAF DATE: 6-16-2016 DWG #: LUM STLEZ 3 of 4

**Performance Data**

**AS Voltage Option Data**

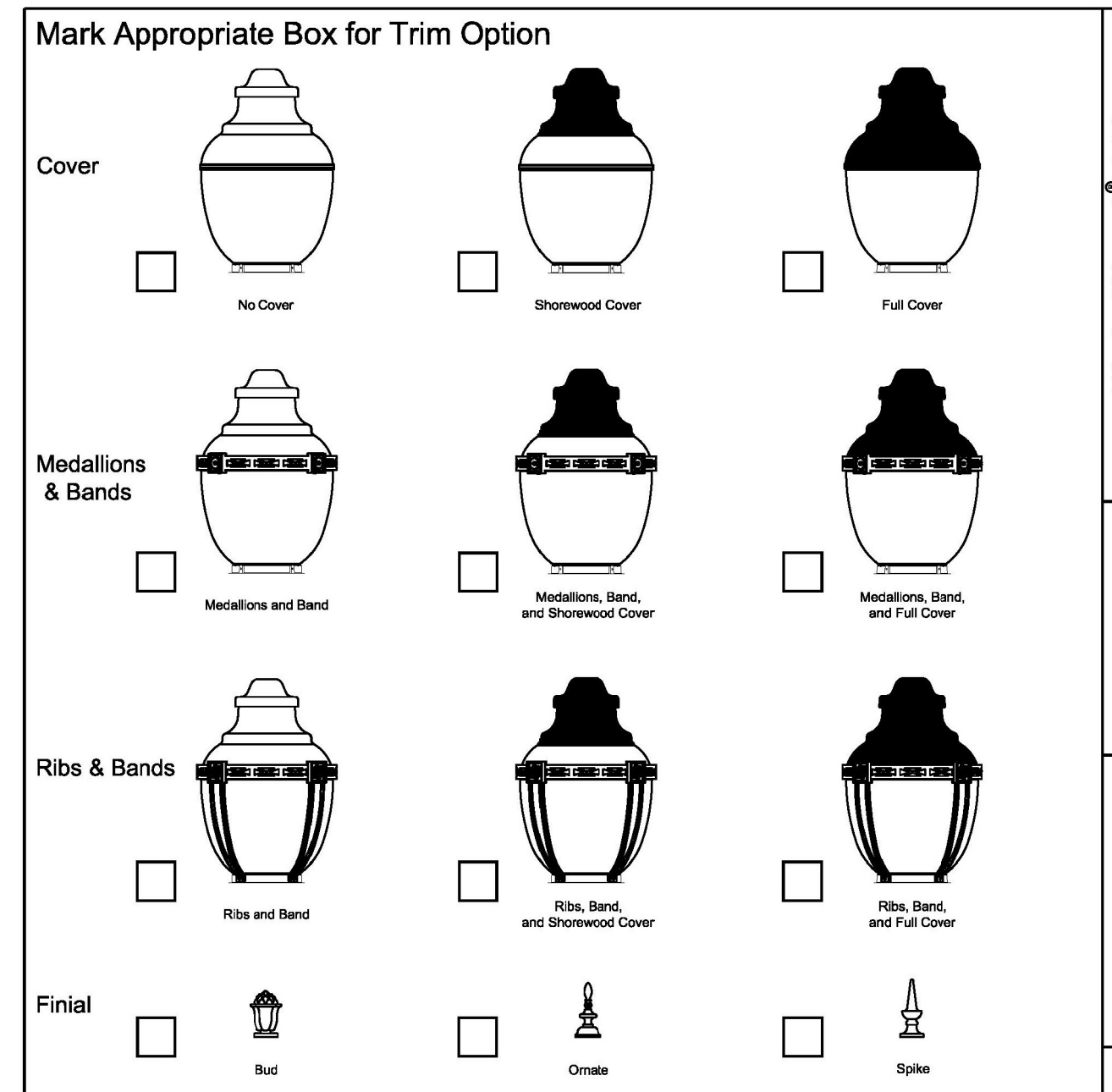
LED Package	Distribution	System Watts	30K (3000K, 70 CRI)				40K (4000K, 70 CRI)				50K (5000K, 70 CRI)						
			Lumens	LPW	B	U/G	Lumens	LPW	B	U/G	Lumens	LPW	B	U/G			
P10	3	26	3,265	126	1	4	3	3,433	132	1	4	3	3,433	132	1	4	3
	5	26	3,026	116	2	3	2	3,182	122	2	4	2	3,182	122	2	4	2
P20	3	39	4,918	126	1	4	3	5,171	133	2	5	3	5,171	133	2	5	3
	5	39	4,558	117	3	4	3	4,792	123	3	4	3	4,792	123	3	4	3
P30	3	60	6,924	115	2	5	4	7,281	121	2	5	4	7,281	121	2	5	4
	5	60	6,417	107	3	5	3	6,748	112	3	5	3	6,748	112	3	5	3
P40	3	81	8,704	107	2	5	4	9,152	113	2	5	4	9,152	113	2	5	4
	5	81	8,067	100	3	5	3	8,483	105	3	5	3	8,483	105	3	5	3
P50	3	100	10,185	102	3	5	5	10,709	107	3	5	5	10,709	107	3	5	5
	5	100	9,439	94	3	5	4	9,925	99	4	5	4	9,925	99	4	5	4

**AH Voltage Option Data**

LED Package	Distribution	System Watts	30K (3000K, 70 CRI)				40K (4000K, 70 CRI)				50K (5000K, 70 CRI)						
			Lumens	LPW	B	U/G	Lumens	LPW	B	U/G	Lumens	LPW	B	U/G			
P10	3	33	3,265	99	1	4	3	3,433	104	1	4	3	3,433	104	1	4	3
	5	33	3,026	92	2	3	2	3,182	96	2	4	2	3,182	96	2	4	2
P20	3	49	4,918	100	1	4	3	5,171	106	2	5	3	5,171	106	2	5	3
	5	49	4,558	93	3	4	3	4,792	98	3	4	3	4,792	98	3	4	3
P30	3	68	6,924	102	2	5	4	7,281	107	2	5	4	7,281	107	2	5	4
	5	68	6,417	94	3	5	3	6,748	99	3	5	3	6,748	99	3	5	3
P40	3	90	8,704	97	2	5	4	9,152	102	2	5	4	9,152	102	2	5	4
	5	90	8,067	90	3	5	3	8,483	94	3	5	3	8,483	94	3	5	3
P50	3	100	10,185	102	3	5	5	10,709	107	3	5	5	10,709	107	3	5	5
	5	100	9,439	94	3	5	4	9,925	99	4	5	4	9,925	99	4	5	4

**FPDxx Data Table (Only Available With AS Option)**

FPDxx setting	P10 40K			P10 40K			P10 40K		
	AS	Not Available	Not Available	Not Available	Not Available	Not Available	Not Available	Not Available	
Standard	39	4,918	4,558	5,171	4,792	5,171	4,792	4,945	4,581
FPD5	38	4,701	4,357	4,945	4,581	4,945	4,581	4,711	4,366
FPD6	36	4,481	4,133	4,711	4,366	4,711	4,366	4,477	4,149
FPD8	34	4,258	3,946	4,477	4,149	4,477	4,149	4,239	3,928
FPD8D	32	4,032	3,737	4,239	3,928	4,239	3,928	3,998	3,705
FPD7S	30	3,802	3,524	3,998	3,705	3,998	3,705		
<b>FPDxx setting</b>									
P30 30K			P30 40K			P30 50K			
Standard	60	6,924	6,417	7,281	6,748	7,281	6,748		
FPD5	57	6,749	6,255	7,097	6,577	7,097	6,577		
FPD6	54	6,552	6,072	6,890	6,385	6,890	6,385		
FPD8	51	6,334	5,870	6,660	6,173	6,660	6,173		
FPD8D	48	6,095	5,649	6,409	5,940	6,409	5,940		
FPD7S	45	5,836	5,409	6,137	5,688	6,137	5,688		
<b>FPDxx setting</b>									
P40 40K			P40 40K			P40 50K			
Standard	81	8,704	8,067	9,152	8,483	9,152	8,483		
FPD5	76	8,410	7,795	8,843	8,197	8,843	8,197		
FPD6	72	8,100	7,507	8,517	7,894	8,517	7,894		
FPD8	68	7,772	7,203	8,172	7,575	8,172	7,575		
FPD8D	64	7,427	6,883	7,809	7,238	7,809	7,238		
<b>FPDxx setting</b>									
P50 30K			P50 40K			P50 50K			
Standard	100	10,185	9,439	10,709	9,925	10,709	9,925		
FPD5	95	9,927	9,200	10,438	9,674	10,438	9,674		
FPD6	90	9,637	8,931	10,133	9,391	10,133	9,391		
FPD8	85	9,317	8,634	9,796	9,079	9,796	9,079		



State Street LED Series Luminaire Prismatic Style: Glass Washington Housing Size: State Street

DECORATIVE OUTDOOR

**Specifications**

**DESCRIPTION**

The State Street LED Luminaire is styled to replicate the acorn luminaires that lighted streets in the first half of the 20th century. Designed for superior light control, ease of installation, and maintenance, the State Street has a precision prismatic glass optical system for best street lighting performance as well as beauty.

**OPTICAL ASSEMBLY**

The optical assembly is a precisely molded thermal resistant borosilicate glass reflector and refractor. The upper portion of this system incorporates a series of reflecting prisms that reflect over 50% of the upward light into the controlling refractor while allowing a soft uplight component to define the traditional acorn shape. Two decorative aluminum cover options are available. The lower portion uses precisely molded refracting prisms to control the distribution of light to maximize uniformity, uniformity, and luminaire spacing. The very top of this assembly is a prismatic glass cover with decorative finial. Two unique optical assemblies are available, designed for IES type III, and type V distribution.

**LUMINAIRE HOUSING**

A decorative leaf style cast aluminum luminaire housing, cradles the optical assembly and provides an enclosure for the plug-in electrical module. A slipfitter will accept a 3 inch high by 2-7/8 inch to 3-1/8 inch O.D. pipe tenon.

**ELECTRICAL MODULE / LUMINAIRE HOUSING DOOR**

The decorative leaf style cast aluminum housing door contains the electronic components and is held in place by two captive 1/4-20 stainless steel screws. A matching six conductor plug connects to the receptacle in the luminaire housing to complete the wiring. The door has a retaining strap which, allows both hands to be free while making or breaking connections.

**DRIVER**

AS drivers are programmable dimmable drivers, with 0-10V control leads and AH drivers are dimmable (0-10V) drivers.

**FINISH / MATERIAL**

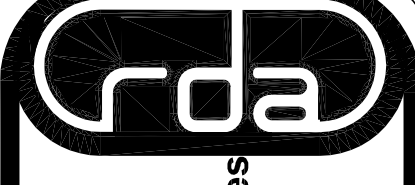
The luminaire is finished with polyester powder paint to insure maximum durability. All castings utilize aluminum for maximum corrosion resistance and all exposed hardware is corrosion resistant.

**NOTE**

The luminaire is CSA listed as suitable for wet locations.

The luminaire housing is rated IP65 and the optical system IP66 rated.

ORDER #: TYPE: DRAWN: RAF DATE: 6-16-2016 DWG #: LUM STLEZ 4 of 4



**Rinker Design Associates, P.C.**

9385 Discovery Boulevard, Suite 200, Manassas, VA 20109 Telephone: (703) 368-7373 Fax: (703) 257-5443  
on the web @ www.rdaonline.com

Engineering \* Surveying \* Land Planning \* Transportation \* Environmental Services  
"Turning Challenges into Opportunities"

**LIGHTING PLAN**

**HAYMARKET TOWN CENTER REDEVELOPMENT**

TOWN OF HAYMARKET, VIRGINIA

**REVISIONS:**

DATE: SEPTEMBER 2017
SCALE:
DESIGN: JDH
DRAFT: JDH
CHECKED BY: SDD
ARCH: JOHN F. HELTZEL
JOB NUMBER: 14-096-01
C.46



**sai engineering** SAI ENGINEERING INCORPORATED Mechanical and Electrical Group

13662 OFFICE PLACE, SUITE 101 703/590-8200  
WOODBIDGE, VIRGINIA 22192-4217 703/590-4994 (FAX)  
http://www.saimap.com mail@saimap.com (Email)





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Right of Way • CEI • Land Planning • Environmental

**TOWN OF HAYMARKET  
WAIVER REQUEST**

**Date:** September 13, 2017  
**Project Name:** Haymarket Town Center  
**Site Location:** 15000 Washington Street  
**Applicant:** Town of Haymarket

**Requirements to be waived:**

- 1. **Zoning Ordinance Section 58-11:** There must be 1 space per 300 sf for an office building and 1 space per 250 sf for a retail building.

*This plan is for improvements to the existing Haymarket Town Hall property. The purpose of the project is to improve the aesthetic appeal of the property by adding parking, curb & gutter, sidewalks and landscaping throughout the site as well as to address drainage issues.*

*We are hereby requesting that the Town will consider a reduction in the number of parking spaces required in accordance with the Zoning Ordinance Section 58-11 which states "There must be 1 space per 300 sf for an office building and 1 space per 250 sf for a retail building." When performing those calculations, the required parking for this project is 70 spaces.*

*In coordination with the Town of Haymarket, we have been advised to increase the amount of open space as long as the number of proposed parking spaces is greater than the number of existing parking spaces. We are proposing 61 spaces whereas the number of existing parking spaces is 53. The Town has requested more green open space in lieu of additional parking spaces. Additionally, VDOT's requirements for throat length for commercial entrances will not allow for additional parking spaces to be added closer to Washington Street without a VDOT waiver. Because we are providing 8 additional spaces over what is currently being provided, we believe that we have met the required number of parking spaces requested by the Town of Haymarket.*

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Right of Way • CEI • Land Planning • Environmental

**TOWN OF HAYMARKET  
WAIVER REQUEST**

**Date:** August 16, 2017  
**Project Name:** Haymarket Town Center  
**Site Location:** 15000 Washington Street  
**Applicant:** Town of Haymarket

**Requirements to be waived:**

- 1. **Zoning Ordinance Section 58-700 to 58-702:** B-1 zoning adjacent to R-1 requires a 25 foot buffer with opaque screening.
- 2. **Zoning Ordinance Section 58-701 & 58-702:** B-1 zoning adjacent to B-1 requires a 10 foot buffer with no screening.
- 3. **Zoning Ordinance Section 58-703(c)(1):** For parking adjacent to a public street a continuous strip at least 10 feet in width not inclusive of sidewalk shall be located between the property owner's parking lot and the property line.
- 4. **Zoning Ordinance Section 58-723(b):** There will be one street tree for every 25 feet of street frontage and plantings should be at even intervals wherever possible.
- 5. **VDOT Road Design Manual Buffer Strip:** A Design Waiver shall be submitted for buffer strips less than 3 feet for Posted Speeds 25 mph or less.

*This plan is for improvements to the existing Haymarket Town Hall property. The purpose of the project is to improve the aesthetic appeal of the property by adding parking, curb & gutter, sidewalks and landscaping throughout the site as well as to address drainage issues.*

*We are hereby requesting that the Town will consider an alternative landscape screening and buffer yard design in accordance with Zoning Ordinance Section 58-699(e) which states, "Alternative planting programs achieving the objectives of the required screens shall be permitted to allow flexibility in landscape design. The planning commission and the architectural review board may approve any of the alternative screens or a combination of the alternatives if the applicant proves that the objective of the screen or screenings has been met. The planning commission or architectural review board may reduce or eliminate the requirements for a screen if a landscape plan proposes the use of hedges, shrubs, walls, berms or combination that achieve the same objective of the required screen." In addition Section 58-703(f) allows for flexibility in landscape design. This section states, "The town council may waive or reduce the requirement for perimeter parking lot landscaping as described in this section when a suitable screening alternative has been provided and is acceptable to the town council." We are unable to meet requirements 1 and 2 listed above while still satisfying the parking requirements for the proposed building uses on site. We are able to provide a 5 foot landscape strip with trees and shrubs along the entire length of the parking lot adjacent to the neighboring R-1 and B-1 zoned properties to the north of the site. In addition, there is an existing 6 foot board fence separating our site from the residential properties. Since the plan will improve the screening between the site and neighboring properties by adding trees, shrubs and a 5 foot landscape strip that does not currently exist, a waiver should be justified.*

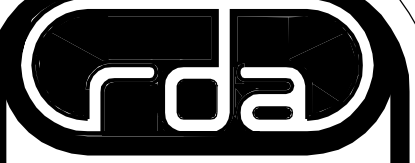
*We are also unable to meet requirement 3 listed above along Jefferson Street. Using the minimums for sidewalk, parking stalls and travelways, the landscape strip provided is approximately 6.6 feet along the frontage except where the VDOT shared use plan connects to the property.*

*Zoning requirement 4 above cannot be satisfied due to obstructions along the frontage that prevent trees from being placed. Along Washington Street, 7 of the 8 trees required are provided along the frontage. There is*

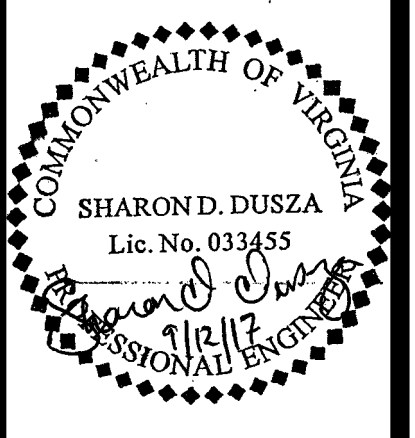
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*no additional space for trees along the street due to the existing building (#15020), the existing utility pole and guy wires, and feature wall around the town sign. An extra tree has been provided in the landscape strip adjacent to the parking lot to make up for one of the trees that the Washington Street frontage needs. Along Jefferson Street, 6 trees are provided along the frontage of the 8 required. The feature wall around the town sign, the walkway and porch of the existing house (#6630), and the shared use path at the corner of the site prevent any other trees from being placed along the frontage of Jefferson Street. Although these requirements are not being met, the landscaping shown on this plan is a great improvement from the existing conditions of the site which provide little to no trees in the interior of the parking lot and along Jefferson and Washington Street frontage. A "Town Green" area is also provided as open space for Town functions. While not landscaped with trees and shrubs, this grassy area will be a benefit to the site.*

*VDOT requires a minimum of a 3 foot wide buffer strip between the back of curb and the sidewalk to place all lateral obstructions and to ensure that the pedestrian access route is free of obstacles. Along Jefferson Street, the sidewalk will be constructed immediately behind the curb in a similar manner to Washington Street. An 8' wide sidewalk will be provided as a continuation of the shared use path from VDOT plan #055-233-045 UPC 97735. There are no lateral obstructions in this vicinity and any that may be required in the future will be placed behind the sidewalk. A buffer strip is not provided due to the limited space on site and the Town's desire to provide a wide pedestrian access path across the Town Hall property on both Washington and Jefferson Streets.*



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**WAIVERS**  
**HAYMARKET TOWN CENTER REDEVELOPMENT**  
TOWN OF HAYMARKET, VIRGINIA

REVISIONS:


DATE: SEPTEMBER 2017  
SCALE:  
DESIGN: JDH  
DRAFT: JDH  
CHECKED BY: SDD  
ARCH: JOHN F. HELTZEL  
JOB NUMBER: 14-096-01  
C.47



15000 Washington Street  
 Suite 100  
 Haymarket, Virginia 20169  
 Twitter: @townofhaymarket



703-753-2600  
 Fax 703-753-2800  
 www.townofhaymarket.org  
 Facebook: Haymarket Town Hall

August 15, 2017

ADDO Haymarket, Inc.  
 C/O: Mr. & Mrs. Payne  
 15073 Valhalla Court  
 Haymarket, VA 20169

RE: Site Plan for "A Dog's Day Out"

Dear Mr. and Mrs. Payne:

On July 17, 2017, I provided you a lengthy letter outlining my opinion and suggestions for possible zoning text amendments. I have been asked by the Town Manager and Town Attorney to retract and rewrite that letter to better outline § 15.2-2311 Appeals to Board; and outline the matter of your planned use in a more concise format.

Simply stated:

- Your "A Dog's Day Out" Site Plan was reviewed as a Dog Grooming / Personal Service and not a Kennel. Definitions for both Kennel and Personal Services are attached. Should you keep more than three dogs that are more than six months of age in connection with boarding for which a fee is charged, ADDO Haymarket Inc. would be in violation of the Zoning Ordinance.
- An apartment is not an allowed by right permitted use. Apartments are permitted only as accessory to a residential use.

I would strongly suggest that you take time to consider this matter immediately. My suggested first step for you regarding this issue, as well as other zoning and site planning issues, is to schedule an appointment to discuss appropriate measures and anticipated time frames.

You have the right to appeal these determinations within 30 days. The appeal process is attached for your reference.

Sincerely,

Stephen M. Gyurisin, Town Planner  
 Acting on behalf of the appointed Zoning Administrator  
 for the Town of Haymarket, Virginia - August 4, 2017

cc: Kimberly Murray, Town Manager  
 Martin Crim, Town Attorney

Attachments: Zoning Definitions; Code of Virginia - Appeals to board

Attachment: ADDO Haymarket - Signed Letter from Town - 15 August 2017 (3302 : A Dog's Day Out Update)

The Zoning Ordinance defines Personal Service as:

Personal services - Establishments or places of business engaged in the provision of frequently or recurrently needed services of a personal nature. Typical uses include beauty and barber shops; grooming of pets; seamstresses, tailors, or shoe repairs; florists; and laundromats and dry cleaning stations serving individuals and households.

The Zoning Ordinance defines Kenel as:

Kenel - Any place in which more than three (3) dogs more than six (6) months of age are kept, or any number of dogs are kept for the purpose of sale or rental or in connection with boarding, care or breeding, for which any fee is charged.

---

Code of Virginia

§ 15.2-2311

Appeals to board

A. An appeal to the board may be taken by any person aggrieved or by any officer, department, board or bureau of the locality affected by any decision of the zoning administrator or from any order, requirement, decision or determination made by any other administrative officer in the administration or enforcement of this article, any ordinance adopted pursuant to this article, or any modification of zoning requirements pursuant to § 15.2-2286. Notwithstanding any charter provision to the contrary, any written notice of a zoning violation or a written order of the zoning administrator dated on or after July 1, 1993, shall include a statement informing the recipient that he may have a right to appeal the notice of a zoning violation or a written order within 30 days in accordance with this section, and that the decision shall be final and unappealable if not appealed within 30 days. The zoning violation or written order shall include the applicable appeal fee and a reference to where additional information may be obtained regarding the filing of an appeal. The appeal period shall not commence until the statement is given. A written notice of a zoning violation or a written order of the zoning administrator that includes such statement sent by registered or certified mail to, or posted at, the last known address of the property owner as shown on the current real estate tax assessment books or current real estate tax assessment records shall be deemed sufficient notice to the property owner and shall satisfy the notice requirements of this section. The appeal shall be taken within 30 days after the decision appealed from by filing with the zoning administrator, and with the board, a notice of appeal specifying the grounds thereof. The zoning administrator shall forthwith transmit to the board all the papers constituting the record upon which the action appealed from was taken. The fee for filing an appeal shall not exceed the costs of advertising the appeal for public hearing and reasonable costs. A decision by the board on an appeal taken



pursuant to this section shall be binding upon the owner of the property which is the subject of such appeal only if the owner of such property has been provided notice of the zoning violation or written order of the zoning administrator in accordance with this section. The owner's actual notice of such notice of zoning violation or written order or active participation in the appeal hearing shall waive the owner's right to challenge the validity of the board's decision due to failure of the owner to receive the notice of zoning violation or written order. For jurisdictions that impose civil penalties for violations of the zoning ordinance, any such civil penalty shall not be assessed by a court having jurisdiction during the pendency of the 30-day appeal period.

B. An appeal shall stay all proceedings in furtherance of the action appealed from unless the zoning administrator certifies to the board that by reason of facts stated in the certificate a stay would in his opinion cause imminent peril to life or property, in which case proceedings shall not be stayed otherwise than by a restraining order granted by the board or by a court of record, on application and on notice to the zoning administrator and for good cause shown.

C. In no event shall a written order, requirement, decision or determination made by the zoning administrator or other administrative officer be subject to change, modification or reversal by any zoning administrator or other administrative officer after 60 days have elapsed from the date of the written order, requirement, decision or determination where the person aggrieved has materially changed his position in good faith reliance on the action of the zoning administrator or other administrative officer unless it is proven that such written order, requirement, decision or determination was obtained through malfeasance of the zoning administrator or other administrative officer or through fraud. The 60-day limitation period shall not apply in any case where, with the concurrence of the attorney for the governing body, modification is required to correct clerical errors.

D. In any appeal taken pursuant to this section, if the board's attempt to reach a decision results in a tie vote, the matter may be carried over until the next scheduled meeting at the request of the person filing the appeal.



A Dog's Day Out Haymarket, Inc.

6680 Fayette Street (15073 Valhalla Ct Mailing Address)

Haymarket, VA 20169

August 16, 2017

Town of Haymarket  
 Attn: Mr. Stephen M. Gyuris, Town Planner  
 150000 Washington Street  
 Suite 100  
 Haymarket, VA 20169

RE: Site Plan for "A Dog's Day Out" Response

Dear Mr. Gyuris:

In response to your letter dated August 15, 2017, we would like to thank you for your time in meeting with us on Tuesday, August 15<sup>th</sup> at 4:00PM EST.

We would like to ask the Town of Haymarket to strongly consider changing the definition of Personal Services to include Dog Day Care Centers. Dog Day Care Centers is a business that were first introduced in the 1990's. [Wikipedia references Dog Day Care Centers](#) as the following:

*"**Dog Daycare**, often known as "Doggy Daycare," refers to a short-term daytime care for dogs. It shares many similarities with a regular **daycare** for children, with the exception being that a dog daycare is for **canines**.<sup>[1]</sup> It fills a niche between multi-day kennel boarding and **pet sitting**, where the sitter comes to the pet's home.<sup>[2]</sup> The two share the same **philosophy**. Parents, or in the case of the dog daycare, owners, have a busy schedule and the often-prolonged hours at work drastically reduce the time that could be spent with their children or pets"*

*There are multiple environments and varieties of dog daycare service. For example, some facilities provide a cage-free environment where dogs play under the supervision of a trained staff member.<sup>[1][1]</sup> Other facilities may provide a cage free environment for dogs to play for a portion of the day, placing dogs in cages at other times of the day. A daycare **kennel** is a type of facility that offers cages or runs where the dog will be placed alone during the day.*

*Some facilities allow dogs to play in an outside environment. Others have indoor-only facilities, where dog interact and play in an indoor area and relieve themselves in designated inside areas.<sup>[1][2][13][14]</sup>*

This notion of Dog Day Care better references A Dog's Day Out Haymarket's business more so than a traditional kennel definition as found in the current ordinance. A Dog's Day Out Haymarket will offer 24/7, 365 days a year Cage-Free Dog Daycare, Boarding, & Certified Grooming. We will offer both indoor and outdoor play areas for our clients. The dogs will socialize with our cage-free Small, Medium, or Large dog pack & dog-loving ADDO staff throughout each day.

The current zoning ordinance for a kennel is outdated and its current definition is "Any place in which more than three (3) dogs more than six (6) months of age are kept, or any number of dogs are kept for the purpose of sale or rental or in connection with boarding, care or breeding, for which any fee is charged". For the record, this Kennels definition does not fit our business services as we do not offer rent or sale of any animals in addition, we do not provide breeding services.

Additionally, there was the question of an apartment is not allowed by right permitted use. Apartments are permitted only as accessory to a residential use. The previous ordinance did provide this allowance in the B-1 Town Center District as noted in Section 58:177 but did not get transferred to the new ordinance. We respectfully request that the Town of Haymarket restores this language in the new ordinance with the addition of accessory apartment secondary to business use that is less than forty percent of the square footage for the primary use.

Respectfully,

Jim & Andrea Payne

A Dog's Day Out Haymarket, Inc.